

**Fire Building Feasibility Study Committee**  
**Tuesday, April 22, 2025, at 10:00 am**  
**Station 2**  
**28 Blackstone Street, Bellingham, MA 02019**

Meeting called to order at 10:00 am

**Members Present:**

Fire Chief William Miller  
Deputy Robert Provost III  
Capital Improvements Chairman Roland Lavallee  
Capital Improvements Member Joseph Collamati  
Selectboard Member Don Martinis

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**Tecton Architects**

Providence, RI  
Members present:  
Jeff McElravy, Principal Director of Public Safety Design  
Matthew Salad, Associate and Project Manager

Tecton Architects provided information regarding a Program and Space-Use Analysis Matrix that was recently completed for Station #2. An existing conditions assessment for all 3 Stations was prepared and provided to members for review. A copy of the Space-Use Analysis Matrix and Existing Conditions are included with the set of minutes.

Station #1 is a concern due to lack of space for both the apparatus and the crew members. This Station has 3 crew members on duty daily for their 24-hour shifts. With the size and length of the Town, Station #1 is available for emergency calls that come in for the South end of Town. When Station #1 is already on a call, the crew from Station #2 addresses calls that come in at the same time. This can cause concern for response time, depending which part of Town the next call is for.

Information was also discussed on the possible creation of adding a 2<sup>nd</sup> story to a section of Station #2. The current building is limited on space and has to use some sections of the apparatus bays and offices for storage. Mr. McElravy provided information on some areas of the current building that could be added to, in addition to proposing changes for entry to the apparatus bays.

Station #3, which is the North Station, only has 1 apparatus bay and needs to be first on the list for proposed projects. This Station doesn't have the space available for crew members to conduct their shift, as well as not having the space for the apparatus needed there. Having the ability to use this area to address situations that happen at the North end of Town would be greatly beneficial.

Mr. McElravy let members know that he will conduct more review of Station #3 and will work on being able to present options for the ability to possibly use that Station more in the future. Information for possible options at Station #3 will be provided at the next meeting, before moving forward with any other proposed projects for the other 2 Stations.

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Tecton Representatives remained available to provide information to any Committee members that had additional questions regarding specific study details.

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J. Collamati made a motion to approve the minutes from the July 22, 2024. D. Martinis seconded. Approved 3/0.

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The next meeting will take place at 9:00 am, on Thursday, May 29, 2025.

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Meeting Adjourned at 12:07 pm.

Respectfully Submitted,

*Tina M. Griffin*

Tina M. Griffin  
Fire Department Administrator

# BELLINGHAM FIRE DEPARTMENT

## Program and Space-Use Analysis Matrix



**H2M** architects + engineers  
433 River Street, Ste 8002  
Troy, NY 12180 | tel: 518.765.5105

### Headquarters

Program Item #	Space Name	Area	Factor	Subtotal	Total
<b>Apparatus Bays</b>					
G3	Apparatus Bays - 4 Double-deep Drive-Through	6,000 SF	1	6,000 SF	
G6	Mezzanine	1,280 SF	1	1,280 SF	
				<b>Apparatus Bays &gt;</b>	
					<b>7,280 SF</b>
<b>Firematic Support</b>					
H.1	Firematic Storage Room #1	180 SF	1	180 SF	
H.2	Firematic Storage Room #2	250 SF	1	250 SF	
H.3	Mechanic Bay - Part of Bays: Item G3	0 SF	1	0 SF	
H.4	Firematic Decon/Laundry	200 SF	1	200 SF	
H.5	EMS Laundry	180 SF	1	180 SF	
H.6	Turnout Gear Room	300 SF	1	300 SF	
H.7	Hose Storage - Part of Tower	100 SF	1	100 SF	
H.8	Walk-Off Room (Triage)	100 SF	1	100 SF	
H.9	Apparatus Bay Rest Room	64 SF	1	64 SF	
H.10	Hot Zone Transition Area	80 SF	1	80 SF	
				<b>Firematic Support &gt;</b>	
					<b>1,454 SF</b>
<b>Firefighters</b>					
I.1	Firefighters' & EMT/Paramedics' Day Room	400 SF	1	400 SF	
I.2	Kitchen	300 SF	1	300 SF	
I.5	Pantries	20 SF	1	20 SF	
I.6	Dining	250 SF	1	250 SF	
I.7	Fitness	500 SF	1	500 SF	
I.8	Private Entry	42 SF	1	42 SF	
				<b>Firefighters &gt;</b>	
					<b>1,512 SF</b>
<b>Bunking</b>					
J.1	Officer Bunk Rooms (2) 120 sf each	240 SF	1	240 SF	
J.2	Responder Bunks (10) 165 sf each	1,650 SF	1	1,650 SF	
J.3	Lockers (part of responder bunks)	0 SF	1	0 SF	
J.4	Bath/Showers (3)	300 SF	1	300 SF	
J.5	Study Room	100 SF	1	100 SF	
J.6	Laundry	100 SF	1	100 SF	
J.7	Housekeeping Storage	40 SF	1	40 SF	
				<b>Bunking &gt;</b>	
					<b>2,430 SF</b>
<b>Administration</b>					
K.1	Training Room	700 SF	1	700 SF	
K.1	Media Room	120 SF	1	120 SF	
K.2	Training Room Storage	120 SF	1	120 SF	
K.3	Training & Fire Prevention Office' Office	180 SF	1	180 SF	
K.4	Conference Room	308 SF	1	308 SF	
K.5	Chief's Office	208 SF	1	208 SF	
K.6	Deputy Chief's Office	208 SF	1	208 SF	
K.7	Administration Office	120 SF	1	120 SF	
K.8	EMS Office	120 SF	1	120 SF	
K.9	Captain's Office	120 SF	1	120 SF	
K.10	Spare	100 SF	1	100 SF	
K.13	Workspace	60 SF	1	60 SF	
K.14	Network/IT	60 SF	1	60 SF	
K.15	Two Restrooms 75 SF each	150 SF	1	150 SF	
				<b>Administration &gt;</b>	
					<b>2,574 SF</b>
<b>Public Spaces</b>					
L	Not Applicable	0 SF	1	0 SF	
				<b>Public Spaces &gt;</b>	
					<b>0 SF</b>
<b>Miscellaneous Spaces</b>					
M.1	Custodial Closet	40 SF	1	40 SF	
M.2	Mechanical Room	350 SF	1	350 SF	
M.3	Elevator & Machine Room - NA	0 SF	1	0 SF	
				<b>Miscellaneous Spaces &gt;</b>	
					<b>390 SF</b>
<b>Subtotal (Net) Square Footage</b>					
					<b>15,250 SF</b>
<b>Net to Gross Adjustment</b>					
				25%	<b>3,813 SF</b>
<b>Total (Gross) Square Footage</b>					
					<b>19,063 SF</b>

BELLINGHAM FIRE DEPARTMENT

Program and Space-Use Analysis Matrix



H 2 M architects + engineers  
433 River Street, Ste 8002  
Troy, NY 12180 | Tel 518.765.5105

Stations 1 & 3

Program	Space Name	Area	Factor	Subtotal	Total
	Item #				
<b>Apparatus Bays</b>					
G3	Apparatus Bays - 2 Single deep	2,400 SF	1	2,400 SF	
G6	Mezzanine	720 SF	1	720 SF	
				<b>Apparatus Bays &gt;</b>	<b>3,120 SF</b>
<b>Firematic Support</b>					
H.1	Firematic Storage Room #1	100 SF	1	100 SF	
H.2	Firematic Storage Room #2	120 SF	1	120 SF	
H.3	Mechanic Bay - Part of HQ	0 SF	1	0 SF	
H.4	Firematic Decon/Laundry	100 SF	1	100 SF	
H.5	EMS Laundry - Part of HQ	0 SF	1	0 SF	
H.6	Turnout Gear Room	150 SF	1	150 SF	
H.7	Hose Storage - Part of HQ	0 SF	1	0 SF	
H.8	Walk-Off Room (Triage) - Part of HQ	0 SF	1	0 SF	
H.9	Apparatus Bay Rest Room	64 SF	1	64 SF	
H.10	Hot Zone Transition Area	80 SF	1	80 SF	
				<b>Firematic Support &gt;</b>	<b>614 SF</b>
<b>Firefighters</b>					
I.1	Firefighters' & EMT/Paramedics' Day Room	200 SF	1	200 SF	
I.2	Kitchen	150 SF	1	150 SF	
I.5	Pantries	20 SF	1	20 SF	
I.6	Dining	180 SF	1	180 SF	
I.7	Fitness	400 SF	1	400 SF	
I.8	Private Entry	42 SF	1	42 SF	
				<b>Firefighters &gt;</b>	<b>992 SF</b>
<b>Bunking</b>					
J.1	Officer Bunk Room	120 SF	1	120 SF	
J.2	Responder Bunks (5) 165 sf each	825 SF	1	825 SF	
J.3	Lockers (part of responder bunks)	0 SF	1	0 SF	
J.4	Bath/Shower (2)	200 SF	1	200 SF	
J.5	Study Room	100 SF	1	100 SF	
J.6	Laundry	100 SF	1	100 SF	
J.7	Housekeeping Storage	40 SF	1	40 SF	
				<b>Bunking &gt;</b>	<b>1,385 SF</b>
<b>Administration</b>					
K.1	Training Room - Part of HQ	0 SF	1	0 SF	
K.2	Training Room Storage - Part of HQ	0 SF	1	0 SF	
K.3	Training & Fire Prevention Office' Office - Part of HQ	0 SF	1	0 SF	
K.4	Conference Room - Part of HQ	0 SF	1	0 SF	
K.5	Chief's Office - Part of HQ	0 SF	1	0 SF	
K.6	Deputy Chief's Office - Part of HQ	0 SF	1	0 SF	
K.7	Administration Office - Part of HQ	0 SF	1	0 SF	
K.8	EMS Office - Part of HQ	0 SF	1	0 SF	
K.9	Captain's Office	120 SF	1	120 SF	
K.10	Spare- Part of HQ	0 SF	1	0 SF	
K.11	Office	100 SF	1	100 SF	
K.12	Study Room	100 SF	1	100 SF	
K.15	Restroom	75 SF	1	75 SF	
				<b>Administration &gt;</b>	<b>395 SF</b>
<b>Public Spaces</b>					
L	Not Applicable	0 SF	1	0 SF	
				<b>Public Spaces &gt;</b>	<b>0 SF</b>
<b>Miscellaneous Spaces</b>					
M.1	Custodial Closet	40 SF	1	40 SF	
M.2	Mechanical Room	180 SF	1	180 SF	
M.3	Elevator & Machine Room	150 SF	1	150 SF	
				<b>Miscellaneous Spaces &gt;</b>	<b>370 SF</b>
<b>Subtotal (Net) Square Footage</b>					<b>6,506 SF</b>
Net to Gross Adjustment					25% 1,627 SF
<b>Total (Gross) Square Footage</b>					<b>8,133 SF</b>



## FIRE/EMS PROGRAMMING

### BELLINGHAM FIRE DEPARTMENT Headquarters – 28 Blackstone St. Station #1 – Paine St. Station #3



## A. GENERAL INFORMATION

- A1.** Type of Entity: **Municipal Fire Department**
- A2.** County: **Norfolk, MA**
- A3.** Date: **November 25, 2024**
- A4.** Program Attendees:

Name	Title
William Miller	Fire Chief
Robert (Robie) Provost, III	Deputy Fire Chief
Dennis Ross	H2M
Jeff McElravy	Tecton

- A5.** Number of Companies or Departments Involved: **Three (3) Stations, HQ and Station #1 (South). Station #3 which is used for storage of vehicles and equipment (no response) and will follow the same programming as Station #1.**

- A6.** Date of Meetings:

Monthly Meeting: Union/Department	<b>Union Monthly and Department Quarterly</b>
Other Meeting(s): EMS & Academy	<b>Monthly EMS and Academy</b>
Drill:	<b>Regularly</b>

**A7. Zoning:**

Exempt: <input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> TBD
Variance:

**A8. Sustainable Design Options:**  Yes  No

**Meet or exceed MA Stretch Energy Codes. Focus on reducing energy and maintenance costs. Owner's comments: Building should be energy efficient and resilient over the life of the building. The operating costs and maintenance cost should be considered over the life, but also do not over design systems that can't be maintained locally or economically. The goal is not a specific sustainable design designation (such as LEED or stretch does) but rather practical solutions to reduce impacts on the environment and to reduce energy usage.**

**B. RESPONDERS/STAFF**

**B1. Type of Department**

(Check all that apply)

<input checked="" type="checkbox"/> Paid	<input type="checkbox"/> Volunteer
<input checked="" type="checkbox"/> Shifts: HQ: 5 per shift	<input checked="" type="checkbox"/> Shift Change: 7 am – 7 am
<b>Station #1: 1 per shift</b>	List Shifts: <b>24 hrs on, 48 hrs off 24 hrs on, 4 days off</b>
<input type="checkbox"/> EMT	<input type="checkbox"/> Other:

**B2. Vehicle Staffing:**

Number of Staff Now: <b>Not NFPA</b>	Number Staffed in Future: <b>Try to achieve NFPA recommendations</b>
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**B3. Number of Members:**

Males: <b>28</b>	Females: <b>8</b>
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**B4. Number of Calls per Year: 3,356 (2024)**

Fire: <input checked="" type="checkbox"/>	Rescue: <input checked="" type="checkbox"/>	Transport: <input checked="" type="checkbox"/>	Other: <input type="checkbox"/>
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**B5. Number of Civilian Staff:**

Males: <b>None</b>	Females: <b>one (1) Admin</b>
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**B6. Other Information:**

**C. RESPONSE**

**C1. Types of Response**

(Check all that apply)

<input checked="" type="checkbox"/> Fire	<input checked="" type="checkbox"/> EMS	<input checked="" type="checkbox"/> ALS	<input checked="" type="checkbox"/> BLS
<input checked="" type="checkbox"/> Transport	<input checked="" type="checkbox"/> Heavy	<input checked="" type="checkbox"/> Rescue	<input checked="" type="checkbox"/> HAZ MAT
<input checked="" type="checkbox"/> Water Rescue	<input checked="" type="checkbox"/> Ice Rescue	<input type="checkbox"/> Dive Team	<input type="checkbox"/> Other

**D. ACTIVE TRAINING**

**D1. Tower and/or Mezzanine:**

**Training Requirements:**

(Check all that apply)

<input checked="" type="checkbox"/> Rappelling	<input checked="" type="checkbox"/> Stairs	<input checked="" type="checkbox"/> Roof Access	<input checked="" type="checkbox"/> Roof Training
<input checked="" type="checkbox"/> Windows	<input checked="" type="checkbox"/> Hose	<input checked="" type="checkbox"/> Confined Space	<input checked="" type="checkbox"/> Denver Drill
<input checked="" type="checkbox"/> Bail Out	<input checked="" type="checkbox"/> Smoke	<input checked="" type="checkbox"/> Maze	<input checked="" type="checkbox"/> Manhole
<input checked="" type="checkbox"/> Room Layouts	<input checked="" type="checkbox"/> Blackout	<input checked="" type="checkbox"/> Mask Confidence	<input type="checkbox"/> Sprinkler Wet
<input checked="" type="checkbox"/> Sprinkler Dry	<input checked="" type="checkbox"/> Standpipe	<input type="checkbox"/> Other	

**D2. Training in Mezzanine:**  Yes  No

**D3. Training in Bays:**  Yes  No

**D4. Water/Fire Service Entrance:**  Yes  No

**D5. Active Training on the Site:**  Yes  No

**D6. Other Tower Uses:**  Drying  Winch  Hose Storage

**D7. Training Uses:** (Check all that apply)

<input checked="" type="checkbox"/> Pads	<input checked="" type="checkbox"/> Apron	<input checked="" type="checkbox"/> Apparatus Certification
<input type="checkbox"/> Drafting	<input type="checkbox"/> Other	



## E. MISCELLANEOUS

**E1.** Will Facility be used as an Emergency Shelter:  Yes  No

**E2.** Will Facility be used by the Community:  Yes  No

**E3.** Describe Access Control: **Electronic access at exterior doors, at areas needing public access and at interior locked door for tracking and access maintenance.**

**E4.** Describe Vendor's Access/Drop off: **Deliveries**

**E5.** Do you require access to SCBA:  Yes  No

**E6.** Will other Fire Companies Utilize Bays and certain building areas:  Yes  No  
If yes, Describe Usage: **Mutual Aid**  
Number of Vehicles: **One (1) engine**  
Number of Personnel: **2 – 4**

**E7.** Other Activities/Issues:

## F. SITE for Station #1

**(Site information for HQ will be completed once a specific site is identified)**

**F1.** Site Information:

Owner Status:	<b>Town Owned</b>
Owner Entity:	
Size:	<b>Unknown</b>
Shape:	<b>Irregular</b>
Corner Lot:	<input type="checkbox"/> Yes <input type="checkbox"/> No: <b>Bounded by two streets.</b>
Tax Map and Number:	<b>TBD</b>
Geotechnical Report Status:	<b>Unknown</b>
Survey Status:	<b>None</b>

Soil Types:	<b>Unknown</b>
Slope:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Location: <b>Varies</b>
List existing Structures:	<b>Fire Station</b>
Vegetation:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Flood Plain/Wetlands:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Rocks:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Historic:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Describe Ingress/Egress:	<b>Very Difficult due to complex intersection</b>
Traffic Control:	<input type="checkbox"/> Currently exists <input checked="" type="checkbox"/> Needs to be created Agency Involved: <b>D.O.T.</b>
Type of Road Facility is on:	<input type="checkbox"/> State <input type="checkbox"/> County <input checked="" type="checkbox"/> Local
Describe View Lines:	<b>Good</b>

**F2. Outdoor Recreational Needs: No Space Available for outdoor Recreational**

**F3. Parking Space Needs: Fifteen (15) at HQ and Six (6) at Station #1**

Total Responder Parking Spaces:	Total Staff Parking Spaces: <b>15 – HQ and 6 at Station #1</b>
Total On-Call Parking Spaces: <b>None</b>	Total Public Parking Spaces:
Do you require a Helipad: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	EV Chargers: <input checked="" type="checkbox"/> Yes: <b>HQ – 4, Station #1: – 2</b>

**F4. Utilities at Site:**

<input checked="" type="checkbox"/> Water at HQ only	Water Size: <b>2"</b>	Location:
<input type="checkbox"/> Sanitary Sewer	Type: <input type="checkbox"/> Public <input type="checkbox"/> Septic	Size:
<input type="checkbox"/> Storm	Storm Type:	Location:
<input type="checkbox"/> Electrical	Electrical Type:	Location:
<input type="checkbox"/> Phone	Phone Provider:	
<input type="checkbox"/> Cable	Cable Provider:	

<input type="checkbox"/> Natural Gas	Natural Gas Provider:
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## G. APPARATUS BAYS

G1. Number of Vehicles: Now: **Station #1: 3 HQ: 5**

Future: **Station #1: 2 HQ: 4 including 2 on order**

Name	Year/Make/Model	Length	Weight	Current or Future	Station currently Housed
Engine 3	2023/Pierce/Enforcer	31/10	42,000	Current	#1
A1	2022/Ram/5500	30/10	19,500	Current	#1
Squad 1	2022/Ford/F350	22/8	13,500	Current	#1
Engine 2	2019/KME/Predator	35/10	47,000	Current	HQ
Engine 4	2024/Pierce/Enforcer	31/10	42,000	On order	HQ
Ladder 1	2024/Pierce/Enforcer	41/10	77,000	On Order	HQ
A2	2021/Ram/5500	30/10	19,500	Current	HQ
Bush 2	2024/Ford/F550	24/10	17,500	Current	HQ
Gator	Deere UTV	22/6		Current	HQ
Boat	Zodiac Mil-Pro	16/8: 21 ft trailer		Current	HQ
Car 5	2011/Ford/F350	22/8	13,500	Current	HQ
A1	Ford/F550	30/10	19,500	Future	#1
Squad 1	Ford/F350	22/8	13,500	Future	#1
A3	Ford/F550	30/10	19,500	Future	HQ
Engine 5	Pierce/BX Wildland	22/10	26,000	Future	HQ



## G2. Total number of Bays Required: **For HQ**

(Check all that apply)

<input checked="" type="checkbox"/> Drive-through	Number of Drive-through Bays: <b>As many as possible</b>	
<input checked="" type="checkbox"/> Double Deep	Number of Double Deep: <b>All if bays are Drive-Through</b>	
<input type="checkbox"/> Single Deep	Number of Single Deep:	
<input type="checkbox"/> Maintenance Bay	<input type="checkbox"/> Flex Bay	<input type="checkbox"/> Wash Bay: <b>Wash in Place</b>
Future Expansion of Bays: <input checked="" type="checkbox"/> Yes <b>Possible one additional bay</b>		
Number of Front-Line Response: <b>Four (4)</b>		

## Total number of Bays required: **Station #1**

<input type="checkbox"/> Drive-through	Number of Drive-through Bays: <b>None</b>	
<input type="checkbox"/> Double Deep	Number of Double Deep: <b>None</b>	
<input checked="" type="checkbox"/> Single Deep	Number of Single Deep: <b>Two (2)</b>	
<input type="checkbox"/> Maintenance Bay	<input checked="" type="checkbox"/> Flex Bay: <b>2 non-response bays for Storage</b>	<input type="checkbox"/> Wash Bay: <b>Wash in Place</b>
Future Expansion of Bays: <input type="checkbox"/> Yes		
Number of Front-Line Response: <b>Two (2)</b>		

## G3. Apparatus Bay Doors: **HQ**

<input checked="" type="checkbox"/> Front	<input checked="" type="checkbox"/> Overhead	<input type="checkbox"/> four-fold	Quantity: <b>All</b>	Width: <b>14'</b>	Height: <b>14'</b>
<input checked="" type="checkbox"/> Rear	<input checked="" type="checkbox"/> Overhead	<input type="checkbox"/> four-fold	Quantity: <b>All</b>	Width: <b>14'</b>	Height: <b>14'</b>

#### G4. Other Item Requirements: HQ and Station #1

(Check all that apply)

<input type="checkbox"/> Foam and Type:	<input checked="" type="checkbox"/> Trench Drains
<input type="checkbox"/> Catch Basins	<input checked="" type="checkbox"/> Fume Exhaust
<input checked="" type="checkbox"/> Oil/Water Separator, # of Gallons: <b>1,000</b>	<input checked="" type="checkbox"/> Hose Reel(s)
<input checked="" type="checkbox"/> Truck Fills Overhead	<input type="checkbox"/> Wall Hydrant
<input checked="" type="checkbox"/> Outdoor Hydrant	<input checked="" type="checkbox"/> Overhead Fans
<input checked="" type="checkbox"/> Electrical Drops, # of Vehicles: <b>All</b>	<input checked="" type="checkbox"/> Air Drops for brakes, # of Vehicles: <b>All</b>
<input type="checkbox"/> Brakes, # of Vehicles:	<input checked="" type="checkbox"/> Compressed Air for Tools
<input checked="" type="checkbox"/> Sink(s)	<input type="checkbox"/> Ice Machine: <b>Not in Bays</b>
<input checked="" type="checkbox"/> Fire Poles	<input checked="" type="checkbox"/> Power Washer
Flooring Type: <input checked="" type="checkbox"/> Epoxy (Non-slip) <input type="checkbox"/> Sealer <input type="checkbox"/> Polished	
Other Equipment:	

#### G5. Comments/Miscellaneous:

#### G6. Mezzanine: For HQ

Size: **As large as possible**

Describe Use of Mezzanine: **Training (Davit or Overhead hoist beam) and storage.**

o Tower:  Yes  No

Describe Use of Tower: **Winch and hose storage.**



## H. FIREMATIC SUPPORT

### H.1 STORAGE ROOM #1: Maintenance Equipment/Hose

Location: **Directly to Apparatus Bay and Tower in HQ**

Size: **HQ: 12' x 15' and Station #1: 10' x 10'**

Security:  Yes  No

Describe items to be Stored: **Hose, maintenance equipment, spedi-dry, loose equipment, nozzles etc.**

(Check all that apply)

<input checked="" type="checkbox"/> Electrical Outlets	<input checked="" type="checkbox"/> Ventilation	<input type="checkbox"/> Mop/Broom Holder
<input type="checkbox"/> Sink	<input checked="" type="checkbox"/> Shelving Unit(s)	<input type="checkbox"/> File Cabinets
<input type="checkbox"/> Wall/Base Cabinet(s)	<input checked="" type="checkbox"/> Spare Equipment	<input type="checkbox"/> Chair/Table Rack(s)

Adjacencies/Comments for Storage Room #1:

### H.2 STORAGE ROOM #2: HQ and Station #1, EMS SCBA/Oxygen Air Room

Location: **Off ambulance bay**

Size: **HQ: 250 sq. ft. and Station #1: 120 sq. ft.**

Security:  Yes  No

Describe items to be Stored: **Oxygen, Medicine, equipment, resupplies, etc.**

(Check all that apply)

<input checked="" type="checkbox"/> Electrical Outlets	<input checked="" type="checkbox"/> Ventilation	<input checked="" type="checkbox"/> Fridge for storage of Meds
<input checked="" type="checkbox"/> Sink: <b>4 sinks w/sideboards</b>	<input checked="" type="checkbox"/> Shelving Unit(s): <b>All around room</b>	<input type="checkbox"/> File Cabinets
<input checked="" type="checkbox"/> Wall/Base Cabinet(s)	<input type="checkbox"/> Spare Equipment	<input type="checkbox"/> Chair/Table Rack(s)
<input checked="" type="checkbox"/> Work bench for Repairs	<input checked="" type="checkbox"/> Sound Batts	<input checked="" type="checkbox"/> Air Bottles Amount: <b>12</b>
<input checked="" type="checkbox"/> Use Existing Compressor	<input checked="" type="checkbox"/> SCBA Racks	<input checked="" type="checkbox"/> Cleaning Station for SCBA

Adjacencies/Comments for Storage Room #2: **May require supplemental HVAC**



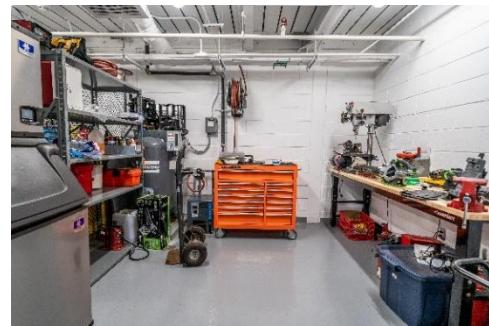
**H.3 MECHANIC BAY: HQ**

Location: **In Bays with room/alcove  
for tool storage**

Size: **14' x 64'**

Security:  Yes  No

Describe type of service to be performed:



**Repairs and maintenance**

(Check all that apply)

<input checked="" type="checkbox"/> Workbench	<input checked="" type="checkbox"/> Tool Chest	<input type="checkbox"/> Rolling Cart
<input checked="" type="checkbox"/> Compressed Air	<input checked="" type="checkbox"/> Wall Cabinet(s)	<input checked="" type="checkbox"/> Base Cabinet(s)
<input checked="" type="checkbox"/> Shelving Unit(s)	<input checked="" type="checkbox"/> Utility Sink	<input checked="" type="checkbox"/> Countertop

Adjacencies/Comments for Mechanic Work Room:

**H.4 FIREMATIC DECON/LAUNDRY**

Location: **Off Bays**

Size: **HQ: 200 sq. ft.**

Security:  Yes  No

Requires Exterior Door:  Yes  No

(Check all that apply)

<input checked="" type="checkbox"/> DeCon Shower	<input checked="" type="checkbox"/> Sink	<input type="checkbox"/> Folding Table/Counter
<input checked="" type="checkbox"/> Floor Drain	<input checked="" type="checkbox"/> Hose Bib	<input type="checkbox"/> Holding Tank

<input checked="" type="checkbox"/> Drench/Eye Wash	<input type="checkbox"/> Commercial Washer	<input type="checkbox"/> Residential Washer
<input type="checkbox"/> Commercial Dryer	<input type="checkbox"/> Residential Dryer	<input checked="" type="checkbox"/> Gear Dryer Cabinet
<input type="checkbox"/> New Extractor Brand:	<input checked="" type="checkbox"/> Use Existing Extractor Brand:	<input checked="" type="checkbox"/> Concrete Pad to Secure Extractor
<input checked="" type="checkbox"/> NFPA 1581 Direct Access to Hot Zone Transition Area Requirement		

Firematic DeCon/Laundry Adjacencies/Comments: **District access to transition zone.**



## H.5 EMS LAUNDRY - HQ

Location: **Clean side of station, combine with Responder's laundry**

Size: **12' x 15'**

Security:  Yes  No

Requires Exterior Door:  Yes  No

(Check all that apply)

<input type="checkbox"/> DeCon/Drench Shower	<input checked="" type="checkbox"/> Sink	<input type="checkbox"/> Folding Table/Counter
<input checked="" type="checkbox"/> Floor Drain	<input type="checkbox"/> Hose Bib	<input type="checkbox"/> Holding Tank
<input type="checkbox"/> Red Bag	<input type="checkbox"/> Blood Borne Pathogen	<input type="checkbox"/> Backboard/Stretcher Cleaning
<input type="checkbox"/> Drench/Eye Wash	<input type="checkbox"/> Commercial Washer	<input checked="" type="checkbox"/> Residential Washer
<input type="checkbox"/> Commercial Dryer	<input checked="" type="checkbox"/> Residential Dryer	<input type="checkbox"/> Gear Dryer
<input type="checkbox"/> New Extractor Brand:	<input type="checkbox"/> Use Existing Extractor Brand:	<input type="checkbox"/> Concrete Pad to Secure Extractor

EMS Laundry Adjacencies/Comments:

## H.6 TURNOUT GEAR ROOM - HQ

Location: **Direct access to Bays, near transition zone, bathroom and DeCon areas.**

Size: **300 sq. ft.**

Security:  Yes  No

(Check all that apply)

<input checked="" type="checkbox"/> Floor Drain	<input checked="" type="checkbox"/> Outlets & USB at each locker
<b>Ventilation:</b>	<input checked="" type="checkbox"/> Overhead Fans <input checked="" type="checkbox"/> A/C <input checked="" type="checkbox"/> Constant Exhaust <input checked="" type="checkbox"/> HEPA Filter: <b>24/7/365</b>
<b>Lockers:</b>	Type: <input checked="" type="checkbox"/> Gear Grid: <b>To hold 2 sets of gear for each FF</b> Quantity: <b>36</b> <input checked="" type="checkbox"/> Plan for Future Growth: Quantity for Future Growth: <b>12 more</b>
<b>Racks:</b>	<input type="checkbox"/> Rolling Racks <input checked="" type="checkbox"/> Wall Mount Racks Rack Size: <b>As large as possible (24" x 30")</b> Rack Quantity:
<b>Benches:</b>	<input type="checkbox"/> Wall Mount Bench <input checked="" type="checkbox"/> Portable Bench Quantity of Benches: <b>As needed</b>

Turnout Gear Room Adjacencies/Comments:



## H.7 HOSE STORAGE ROOM: Part of Tower at HQ

Location: **Direct access to Mezzanine**

Size: **100 sq. ft.**

Security:  Yes  No

(Check all that apply)

<input checked="" type="checkbox"/> Ventilation	<input checked="" type="checkbox"/> Floor Drain	<input checked="" type="checkbox"/> Winch Required
-------------------------------------------------	-------------------------------------------------	----------------------------------------------------

Hose Type and Size: <b>All types</b>	<input checked="" type="checkbox"/> Racks Quantity:	Hose Drying: <input checked="" type="checkbox"/> Tower <input type="checkbox"/> Other:
-----------------------------------------	--------------------------------------------------------	----------------------------------------------------------------------------------------------

Hose Storage Room Adjacencies/Comments:



**H.8 WALK-OFF ROOM (Triage): HQ only**

Location: **Lobby in HQ, requires public access**

Size: **10' x 10'**

Describe Use: **for Walk-Ins, will require WELL-signed exterior entrance**

Security:  Yes  No

(Check all that apply)

<input checked="" type="checkbox"/> Exam Table	<input checked="" type="checkbox"/> Floor Drain	<input checked="" type="checkbox"/> Sink
<input checked="" type="checkbox"/> Locked Supplies Cabinet(s)	<input checked="" type="checkbox"/> Seating for Visitor	

Walk-Off Room Adjacencies/Comments:

**H.9 REST ROOM FOR APPARATUS BAY: HQ and Station #1**

Location: **Direct access to Transition area**

Size: **64 sq. ft.**

Quantity of Rest Rooms: **One (1)**

Type:  Male  Female  Unisex

Security:  Yes  No

(Check all that apply)

<b>Plumbing:</b>	<input checked="" type="checkbox"/> Toilet <input checked="" type="checkbox"/> Sink <input type="checkbox"/> Urinal <input type="checkbox"/> Shower <input checked="" type="checkbox"/> Floor Drain
<b>Finishes:</b>	<input checked="" type="checkbox"/> Solid Surfaces <input checked="" type="checkbox"/> Tile <input type="checkbox"/> Stainless Steel Fixtures <input checked="" type="checkbox"/> Exhaust Fan <input checked="" type="checkbox"/> Auto Flush Fixtures <input type="checkbox"/> HDPE Toilet Partition
<b>Floor Finish</b>	<input checked="" type="checkbox"/> Epoxy Floor <input type="checkbox"/> Tile
<b>Wall Finish</b>	<input type="checkbox"/> Epoxy painted CMU <input checked="" type="checkbox"/> Tile

Rest Room Adjacencies/Comments:

**H.10 TRANISTION AREA: HQ and Station #1**

Location: **From Hot zone to Cold zone**

Size: **As needed for each station**

Security:  Yes  No



<b>Plumbing:</b>	<input checked="" type="checkbox"/> Sink <input type="checkbox"/> Shower <input checked="" type="checkbox"/> Floor Drain
<b>Equipment:</b>	<input checked="" type="checkbox"/> Boot Wash <input checked="" type="checkbox"/> Hooks <input checked="" type="checkbox"/> Bench(es) <input type="checkbox"/> Lockers <input checked="" type="checkbox"/> Clothes Hooks <input checked="" type="checkbox"/> Hand Sanitizer <input checked="" type="checkbox"/> Walk-off Mats <input type="checkbox"/> Washer/Dryer <input checked="" type="checkbox"/> Air Pressure Differential
<b>Electrical:</b>	<input checked="" type="checkbox"/> UV Lights <input checked="" type="checkbox"/> Exhaust Fan
<b>Door Hardware</b>	<input checked="" type="checkbox"/> Closer <input checked="" type="checkbox"/> Panic Hardware <input checked="" type="checkbox"/> Weatherstripping <input checked="" type="checkbox"/> Threshold <input checked="" type="checkbox"/> Vision Lite <input checked="" type="checkbox"/> Open Alarm
<b>Floor Finish</b>	<input type="checkbox"/> Tile Flooring <input type="checkbox"/> High End Vinyl Flooring <input type="checkbox"/> Polished Concrete <input type="checkbox"/> Epoxy Floor
<b>Wall Finish</b>	<input checked="" type="checkbox"/> Epoxy painted CMU <input type="checkbox"/> Tile

Transition Area Adjacencies/Comments: **Easy access to flow pattern from bays, adjacent restroom, turnout gear and firematic DeCon laundry.**

## I. FIREFIGHTERS/EMT'S

### I.1 FIREFIGHTERS' AND/OR EMTS'/PARAMEDICS' DAY ROOM – HQ and Station #1

Location: **Clean side of building**

Size: HQ: **400 sq.ft** and Station #1: **200 sq. Ft.**

Describe Use:

Number of Seating: **HQ: Eight (8) to Ten (10). Station #1: Five (5).**

Security:  Yes  No

(Check all that apply)

<b>Seating Type:</b>	<input checked="" type="checkbox"/> Recliners <input type="checkbox"/> Couches <input type="checkbox"/> Side Chair(s)
<b>Furnishings:</b>	<input checked="" type="checkbox"/> End Table(s) <input checked="" type="checkbox"/> Entertainment Cabinet <input type="checkbox"/> Built-Ins <input type="checkbox"/> Bookshelves <input type="checkbox"/> Display Case(s) <input type="checkbox"/> Table
<b>Equipment:</b>	<input checked="" type="checkbox"/> TV(s) <input type="checkbox"/> Wall Mount TV <input type="checkbox"/> Projector
<b>Electrical/Plumbing:</b>	<input checked="" type="checkbox"/> Overhead Fan <input checked="" type="checkbox"/> Dimmer Lighting <input checked="" type="checkbox"/> Overhead Lighting

Day Room Adjacencies/Comments: **Living room, central socialization space for volunteers to encourage time spent as the station, dialogues, and knowledge transfer.**



## I.2 KITCHEN – Staff Only

Location: **Adjacent to Day Room**

Size: **HQ: 300 sq. ft. and Station #1: 150 sq. ft.**

Requires Exterior Door for Patio Access/Food Deliveries:  Yes, if possible

(Check all that apply)

<input checked="" type="checkbox"/> Commercial Kitchen	<input type="checkbox"/> Residential Kitchen
<input checked="" type="checkbox"/> Combine with Dining	<input checked="" type="checkbox"/> Combine with Day Room



## I.3 KITCHEN EQUIPMENT

(Check all that apply)

<b>Stove:</b>	<input checked="" type="checkbox"/> Gas/Propane <input type="checkbox"/> Electric <input type="checkbox"/> Griddle <input checked="" type="checkbox"/> Ansul Hood
Number of Burners: <b>HQ: Six (6) and Station #1: Two (2)</b>	
<b>Oven:</b>	<input checked="" type="checkbox"/> Gas/Propane <input type="checkbox"/> Electric
<b>Refrigerator with Freezer:</b> <b>Two (2) required at HQ</b> <b>One (1) at Station #1</b>	<input checked="" type="checkbox"/> Double Door <input type="checkbox"/> Single Door <input checked="" type="checkbox"/> Ice Maker
<b>Stainless Steel Sink</b>	<input checked="" type="checkbox"/> Deep Basin <input checked="" type="checkbox"/> Sprayer <input checked="" type="checkbox"/> Sideboard/Drainer
	Number of Basins: <b>Two (2)</b>
<b>Dishwasher:</b>	<input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Residential
<b>Microwave:</b>	<input type="checkbox"/> Under Counter Mount <input checked="" type="checkbox"/> Countertop
<b>Miscellaneous:</b>	<input checked="" type="checkbox"/> Ice Machine <input checked="" type="checkbox"/> Coffee/Espresso Machine <input checked="" type="checkbox"/> Direct Plumb/Water Line for refrigerator <input checked="" type="checkbox"/> Floor Drain

#### I.4 KITCHEN CASEWORK/BUILT-INS AND FINISHES/MATERIALS

<b>Casework/Built-Ins:</b>	<input checked="" type="checkbox"/> Wall Cabinets <input checked="" type="checkbox"/> Base Cabinets <input checked="" type="checkbox"/> Prep Island
<b>Finishes/Materials</b>	<input checked="" type="checkbox"/> Solid Surface Countertops <input type="checkbox"/> Stainless Steel Fixtures
<b>Ceiling/Walls:</b>	<input checked="" type="checkbox"/> Tile Flooring <input type="checkbox"/> High End Vinyl Flooring <input type="checkbox"/> Polished Concrete Flooring <input type="checkbox"/> Solid Surface Walls



#### I.5 KITCHEN PANTRY/FOOD STORAGE: HQ: Combined with Refrigerators

<b>Refrigerator</b>	<b>Pantry</b>	<b>Refrigerator</b>	<b>Pantry</b>
---------------------	---------------	---------------------	---------------

Size:

Will this be part of the Kitchen:  Yes  No

Will this be a separate room:  Yes  No

Does each shift require their own Pantry:  No, **Pantries to be shared**

Will Pantry/Storage Unit need to be locked:  Yes  No

Kitchen Adjacencies/Comments:

#### I.6 DINNING AREA

Location: **Part of kitchen and Day Room**

Size: **HQ: 250 sq. ft. and Station #1: 180 sq. ft.**

Number of Seating: **Ten (10) at HQ and Five (5) at Station #1**

Will Dinning Area be combined with Kitchen:  Yes  No

Will Dinning Area be combined with Day Room:  Yes  No

<b>Furnishings:</b>	<input type="checkbox"/> Round/Oval Table <input checked="" type="checkbox"/> Rectangle Table <input type="checkbox"/> Counter <input checked="" type="checkbox"/> TV/Mount
<b>Flooring:</b>	<input type="checkbox"/> Tile Floor <input checked="" type="checkbox"/> Vinyl Floor <input type="checkbox"/> Polished Concrete

Dinning Adjacencies/Comments: **Dining / Kitchen / Day Room all flow together**

#### I.7 FITNESS ROOM FOR HQ AND STATION #1

Location: **Clean Side of building**

Size: **HQ: 500 sq. ft. Station #1: 400 sq. ft.**

Security:  Yes  No

Will the room be shared with other departments:  Yes  No

Require a private exterior entrance:  Yes  No

High ceilings to accommodate equipment:  Yes  No

<b>Equipment:</b>	<input checked="" type="checkbox"/> Cardio <input checked="" type="checkbox"/> Weights <input checked="" type="checkbox"/> Machines <input checked="" type="checkbox"/> Universal <input checked="" type="checkbox"/> New Equipment <input type="checkbox"/> Existing Equipment
<b>Furnishings:</b>	<input checked="" type="checkbox"/> Recycled Rubber Floor <input checked="" type="checkbox"/> Handrails <input checked="" type="checkbox"/> Blocking in Walls <input checked="" type="checkbox"/> Mirrors <input checked="" type="checkbox"/> High TV Mount

Exercise Room Adjacencies/Comments: **Exterior door to patio if possible**



## I.8 PRIVATE LOBBY

Location: **HQ: Near Admin and Bunks**

Size: **42 sq. ft.**

Security:  Yes  No

Describe Use: **For Responder access apart from public**

Private Lobby Adjacencies/Comments: **Walk-off mat in floor**

## J. BUNKING

### J.1 OFFICER BUNK ROOM(S): **HQ: 2 required and Station #1: 1 required**

Location: **Part of bunker suite – Private**

Size: **NFPA recommendation**

Quantity: **One (1) room with Two (2) Beds**

Meet NFPA 15801.3-3.1 “Sleeping Areas” Requirements:  Yes  No

Security:  Yes  No

(Check all that apply)

<b>Furnishings:</b>	<input checked="" type="checkbox"/> Twin Size Bed ( <b>X-long</b> ) <input type="checkbox"/> Bunk Bed <input type="checkbox"/> Murphy Bed <input type="checkbox"/> Desk <input type="checkbox"/> Wardrobe <input checked="" type="checkbox"/> Nightstand <input type="checkbox"/> Table/Chairs <input checked="" type="checkbox"/> Room darkening Shade
<b>Electrical:</b>	<input checked="" type="checkbox"/> Overhead Lighting <input checked="" type="checkbox"/> Dimmer(s) <input checked="" type="checkbox"/> Ceiling Fan <input checked="" type="checkbox"/> Station Alerting System

Officer Bunk Room Adjacencies/Comments: **This room is for bunks only, no offices.**

### J.2 BUNKERS/BEDROOMS: **HQ – Ten (10) Rooms. Station #1 – Five (5) Rooms**

Location: **Private, part of bunker suite**

Size: **All will be single rooms**

Meet NFPA 15801.3-3.1 “Sleeping Areas” Requirements:  Yes  No

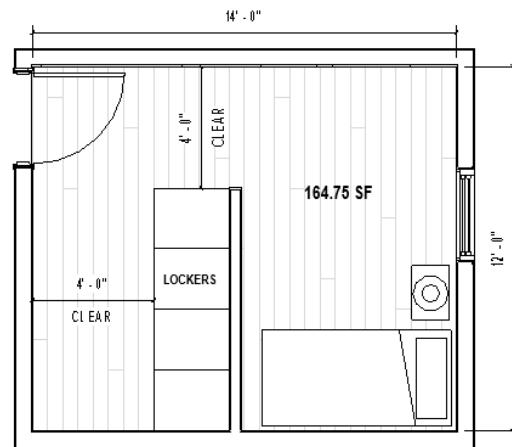
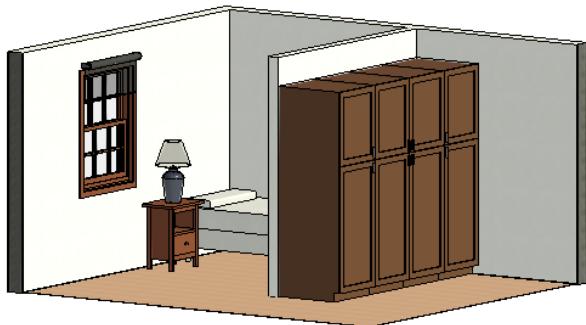
Security:  Yes  No

(Check all that apply)

<b>Type:</b>	<input type="checkbox"/> Male <input type="checkbox"/> Female <input checked="" type="checkbox"/> Unisex <input checked="" type="checkbox"/> Single <input type="checkbox"/> Double <input type="checkbox"/> Quad <input type="checkbox"/> Gang
<b>Furnishings:</b>	<input checked="" type="checkbox"/> Twin Size Bed <input type="checkbox"/> Bunk Bed <input type="checkbox"/> Murphy Bed <input checked="" type="checkbox"/> Storage Cabinets ( <b>Wood</b> ) <input checked="" type="checkbox"/> Nightstand <input checked="" type="checkbox"/> Room darkening Shade
<b>Electrical:</b>	<input type="checkbox"/> Overhead Lighting <input checked="" type="checkbox"/> Dimmer(s) <input checked="" type="checkbox"/> Ceiling Fan <input checked="" type="checkbox"/> Station Alerting System

Bunkers/Bedrooms Adjacencies/Comments: **Minimum number of turns or long corridors to get to Bays.**

#### J.3 LOCKERS



Location: **Wood lockers in each bunk room**

Locker Type: **Wood**

Locker Size: **24" x 24"**

Locker Adjacencies/Comments: **Near bunkroom door**

#### J.4 BATH/SHOWERS

Location: **In Bunk Suite**

Size: **100 sq. ft. each**

Quantity: **HQ: Three – Four (3 – 4). Station #1: Two (2)**

Type:  Male  Female  Unisex

Require a Washer/Dryer area:  Yes  No, Dryer Vent:  Yes  No

(Check all that apply)

<b>Furnishings:</b>	<input checked="" type="checkbox"/> Toilet <input type="checkbox"/> Urinal <input checked="" type="checkbox"/> Sink(s) <input checked="" type="checkbox"/> Shower(s) <input type="checkbox"/> Lockers <input checked="" type="checkbox"/> Benches <input checked="" type="checkbox"/> Paper Towels
<b>Fixtures:</b>	<input type="checkbox"/> Hand Dryer <input type="checkbox"/> Automatic Flush <input type="checkbox"/> Automatic Faucets <input checked="" type="checkbox"/> Exhaust Fan <input checked="" type="checkbox"/> Solid Surfaces

Bath/Shower Adjacencies/Comments: **All hand faucets & fixtures**

#### J.5 STUDY ROOM

Location: **HQ: Admin area**

Size: **100 sq. ft.**

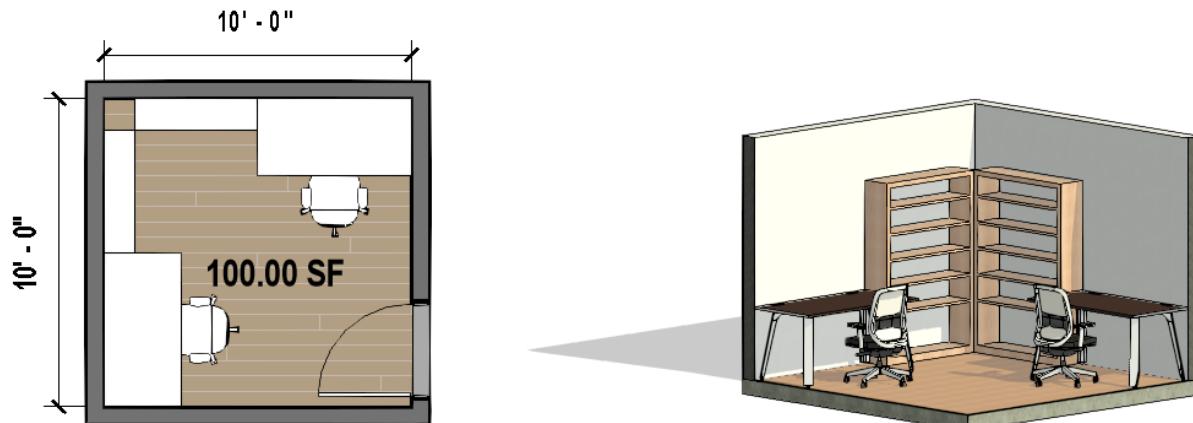
Describe Use: **Computer use for 1 – 2 people**

Security:  Yes  No

(Check all that apply)

<b>Furnishings:</b>	<input checked="" type="checkbox"/> Computers <input checked="" type="checkbox"/> Workstation(s) <input checked="" type="checkbox"/> Desk <input checked="" type="checkbox"/> Shelving <input checked="" type="checkbox"/> Bookshelves <input type="checkbox"/> File Cabinet
<b>Electrical:</b>	<input type="checkbox"/> Overhead Lighting <input checked="" type="checkbox"/> Task Lighting <input checked="" type="checkbox"/> Inter-Net Connection <input checked="" type="checkbox"/> 4-Plex Outlets

Study Room Adjacencies/Comments: **Work from home desks to encourage volunteers to be at station to reduce response times.**



#### J.6 LAUNDRY ROOM

Location: **Bunker Suite**

Size: **HQ and Station #1: 100 sq. ft.**

Security:  Yes  No

(Check all that apply)

<input checked="" type="checkbox"/> Sink	<input checked="" type="checkbox"/> Folding Table/Counter	<input checked="" type="checkbox"/> Outlets
<input type="checkbox"/> Commercial Washer	<input checked="" type="checkbox"/> Residential Washer	<input checked="" type="checkbox"/> Floor Drain
<input type="checkbox"/> Commercial Dryer	<input checked="" type="checkbox"/> Residential Dryer	<input type="checkbox"/> Dryer Vent

Laundry Adjacencies/Comments:

#### J.7 HOUSE KEEPING STORAGE

Location: **Bunker Suite**

Size: **HQ and Station #1: 40 sq. ft.**

Will this storage room require ventilation:  Yes  No

Security:  Yes  No

(Check all that apply)

<b>Furnishings/Equipment:</b>	<input type="checkbox"/> Wall Cabinet(s) <input type="checkbox"/> Base Cabinet(s) <input type="checkbox"/> Counter <input checked="" type="checkbox"/> Storage Shelving <input checked="" type="checkbox"/> Mop/Broom holder
<b>Plumbing/Electrical:</b>	<input checked="" type="checkbox"/> Utility/Mop Sink <input checked="" type="checkbox"/> Floor Drain <input checked="" type="checkbox"/> Outlets <input checked="" type="checkbox"/> Exhaust Fan

House Keeping Storage Adjacencies/Comments:

## K. ADMINISTRATION

### K.1 TRAINING ROOM: HQ - With Separate Media Room for E.O.C.

Location: **Admin area**

Size: **Training Room: 700 sq. ft. Media Room: 120 sq. ft.**

Number of seating: **Forty (40)**

Security:  Yes  No

Will this room require a room divider:  Yes  No

Will this room be used for State Programs:  Yes  No

Will this room be used for County Programs:  Yes  No

Will this room be used for Secondary EOC:  Yes  No

Will this room be shared with Police:  Yes  No

Frequency use of Training Room:  Daily  Weekly  Monthly

(Check all that apply)

<b>Technical Needs:</b>	<input checked="" type="checkbox"/> AV <input checked="" type="checkbox"/> TV <input type="checkbox"/> TV Mounts <input checked="" type="checkbox"/> Cable for Media <input checked="" type="checkbox"/> Smart Board <input checked="" type="checkbox"/> Ceiling Hung Projector & Screen <input checked="" type="checkbox"/> Outlets/Cable in Training Table <input checked="" type="checkbox"/> USB Outlets <input checked="" type="checkbox"/> Additional Conduit for future
<b>Furnishings:</b>	<input checked="" type="checkbox"/> Training Tables <input checked="" type="checkbox"/> Podium <input type="checkbox"/> Oval Conference Table <input type="checkbox"/> Rectangle Conference Table
<b>Casework/Built-Ins:</b>	<input type="checkbox"/> Wall Cabinet <input type="checkbox"/> Base Cabinet <input type="checkbox"/> Countertop <input type="checkbox"/> Bookshelves <input checked="" type="checkbox"/> Wainscot <input checked="" type="checkbox"/> Chair Rail
<b>Training Layout:</b>	<input type="checkbox"/> Classroom <input type="checkbox"/> U-Shape <input checked="" type="checkbox"/> EOC Layout
<b>Coffee Bar:</b>	<input checked="" type="checkbox"/> Water Line <input checked="" type="checkbox"/> Mini Refrigerator <input checked="" type="checkbox"/> Sink
<b>Lighting/Sound:</b>	<input checked="" type="checkbox"/> Overhead Lighting <input checked="" type="checkbox"/> Dimmers <input checked="" type="checkbox"/> Several Layers <input checked="" type="checkbox"/> Sound Control
<b>Flooring</b>	<input checked="" type="checkbox"/> LVT or <input checked="" type="checkbox"/> Bamboo

Training Room Adjacencies/Comments: **Direct to public entry**



**K.2 TRAINING ROOM STORAGE: For E.O.C. items, AV equipment, and mannequins**

**Location: Directly attached to the Training Room.**

**Size: 10' x 12'**

Will this storage room require ventilation:  Yes  No

Security:  Yes  No

(Check all that apply)

<b>Usage of Room:</b>	<input checked="" type="checkbox"/> Store Tables/Chairs <input type="checkbox"/> Table/Chair Racks <input checked="" type="checkbox"/> Training Equipment <input type="checkbox"/> Other:
<b>Requirements:</b>	<input checked="" type="checkbox"/> Double Doors <input type="checkbox"/> Wall/Base Cabinets <input type="checkbox"/> Stainless Steel Shelving <input type="checkbox"/> Outlets <input checked="" type="checkbox"/> Chair Rail
<b>Flooring:</b>	<input checked="" type="checkbox"/> LVT <b>OR</b> <input checked="" type="checkbox"/> Bamboo

Training Room Storage Adjacencies/Comments:

**K.3 TRAINING OFFICER'S & FIRE PREVENTION OFFICE: HQ**

**Location: Admin area**

**Size: 12' x 15'**

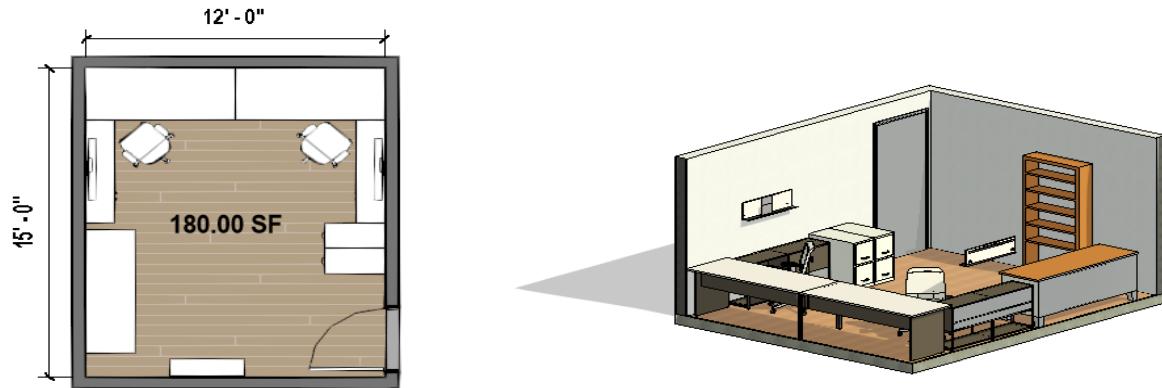
Number of occupants: **Two (2) at different times**

Security:  Yes  No

(Check all that apply)

<b>Furnishings:</b>	<input checked="" type="checkbox"/> <b>Two</b> Desks <input type="checkbox"/> Workstation <input type="checkbox"/> Side Table <input type="checkbox"/> Table/2 Chairs <input checked="" type="checkbox"/> Credenza <input checked="" type="checkbox"/> File Cabinet <input checked="" type="checkbox"/> Bookcase(s) <input type="checkbox"/> Bulletin Board
<b>Electrical:</b>	<input checked="" type="checkbox"/> 4-Plex outlets <input checked="" type="checkbox"/> Overhead Lighting <input checked="" type="checkbox"/> Task Lighting

Training Officer's & Fire Prevention Office Adjacencies/Comments: **Requires a small closet**



#### K.4 CONFERENCE ROOM: HQ - If Space is available

Location: **Admin area**

Size: **14' x 22'**

Number of seating: **Twelve (12) at the table plus additional chairs**

Security:  Yes  No

(Check all that apply)

<b>Furnishings:</b>	<input type="checkbox"/> Oval Conference Table <input checked="" type="checkbox"/> Rectangle Conference Table <input type="checkbox"/> Podium <input type="checkbox"/> Chair Rail <input type="checkbox"/> Bookcase(s)
<b>Flooring:</b>	<input type="checkbox"/> Carpet <input type="checkbox"/> Linoleum <input checked="" type="checkbox"/> LVT
<b>Technical Needs:</b>	<input checked="" type="checkbox"/> AV <input checked="" type="checkbox"/> TV <input type="checkbox"/> TV Mount <input type="checkbox"/> Monitors <input type="checkbox"/> Smart/White Board <input type="checkbox"/> Screen/Ceiling Hung Projector <input type="checkbox"/> Cable for Media <input checked="" type="checkbox"/> Outlets/Cable in Conference
<b>Lighting/Sound:</b>	<input checked="" type="checkbox"/> Overhead Lighting <input checked="" type="checkbox"/> Dimmers <input checked="" type="checkbox"/> Switching Options <input checked="" type="checkbox"/> Sound Control

Conference Room Adjacencies/Comments: **Will use training room if no other space is available.**



#### K.5 HQ OFFICE #1: CHIEF

Location: **Admin area**

Size: **200 sq. ft.**

Occupied by: **Chief**

Number of occupants: **One (1)**

Security:  Yes  No

(Check all that apply)

<b>Furnishings:</b>	<input checked="" type="checkbox"/> Desk <input type="checkbox"/> Workstation <input checked="" type="checkbox"/> Side Table <input checked="" type="checkbox"/> Table/4 Chairs <input checked="" type="checkbox"/> Credenza <input type="checkbox"/> File Cabinet <input checked="" type="checkbox"/> Bookcase(s) <input type="checkbox"/> Bulletin Board
<b>Electrical:</b>	<input checked="" type="checkbox"/> 4-Plex outlets <input checked="" type="checkbox"/> Overhead Lighting <input checked="" type="checkbox"/> Task Lighting
<b>Plumbing:</b>	<input checked="" type="checkbox"/> Shower <input checked="" type="checkbox"/> Toilet <input checked="" type="checkbox"/> Sink

Office #1 Adjacencies/Comments: **Attached bathroom, 75 sq. ft.**

#### K.6 HQ OFFICE #2: Deputy Chief

Location: **Admin area**

Size: **208 sq. ft.**

Occupied by: **Deputy Chief**

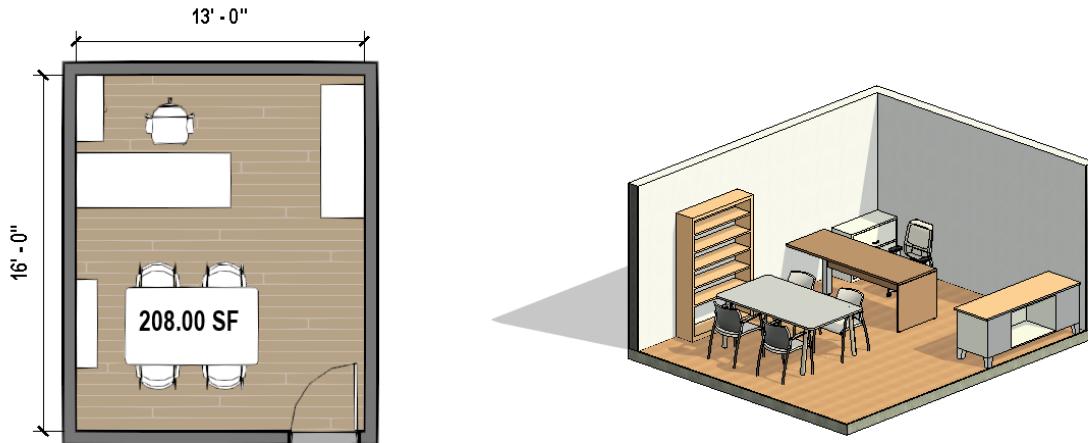
Number of occupants: **One (1)**

Security:  Yes  No

(Check all that apply)

<b>Furnishings:</b>	<input checked="" type="checkbox"/> Desk <input type="checkbox"/> Workstation <input checked="" type="checkbox"/> Side Table <input checked="" type="checkbox"/> Table/4 Chairs <input checked="" type="checkbox"/> Credenza <input type="checkbox"/> File Cabinet <input checked="" type="checkbox"/> Bookcase(s) <input type="checkbox"/> Bulletin Board
<b>Electrical:</b>	<input checked="" type="checkbox"/> 4-Plex outlets <input checked="" type="checkbox"/> Overhead Lighting <input checked="" type="checkbox"/> Task Lighting
<b>Plumbing:</b>	<input checked="" type="checkbox"/> Shower <input checked="" type="checkbox"/> Toilet <input checked="" type="checkbox"/> Sink

Office #2 Adjacencies/Comments: **Attached bathroom, 75 sq. ft.**



### K.7 HQ OFFICE #3: Administration

Location: **Near public entry**

Size: **120 sq. ft.**

Occupied by: **Civilian Admin**

Number of occupants: **One (11)**

Security:  Yes  No

(Check all that apply)

<b>Furnishings:</b>	<input checked="" type="checkbox"/> Desk <input type="checkbox"/> Workstation <input checked="" type="checkbox"/> Side Table <input type="checkbox"/> Table/2 Chairs <input checked="" type="checkbox"/> Credenza <input checked="" type="checkbox"/> File Cabinet <input type="checkbox"/> Bookcase(s) <input checked="" type="checkbox"/> Bulletin Board
<b>Electrical:</b>	<input checked="" type="checkbox"/> 4-Plex outlets <input checked="" type="checkbox"/> Overhead Lighting <input checked="" type="checkbox"/> Task Lighting

Office #3 Adjacencies/Comments: **Will control public access during working hours.**

### K.8 HQ OFFICE #4: EMS

Location: **Admin area**

Size: **120 sq. ft.**

Occupied by:

Number of occupants: **One (1)**

Security:  Yes  No

(Check all that apply)

<b>Furnishings:</b>	<input checked="" type="checkbox"/> Desk <input type="checkbox"/> Workstation <input checked="" type="checkbox"/> Side Table <input checked="" type="checkbox"/> 2 Chairs <input checked="" type="checkbox"/> Credenza <input type="checkbox"/> File Cabinet <input type="checkbox"/> Bookcase(s) <input type="checkbox"/> Bulletin Board
<b>Electrical:</b>	<input checked="" type="checkbox"/> 4-Plex outlets <input checked="" type="checkbox"/> Overhead Lighting <input checked="" type="checkbox"/> Task Lighting

Office #4 Adjacencies/Comments:

### K.9 HQ OFFICE #5: Captain

Location: **Admin area**

Size: **120 sq. ft.**

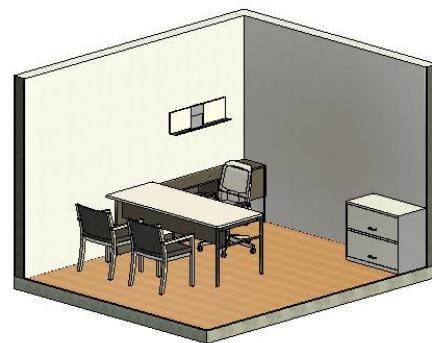
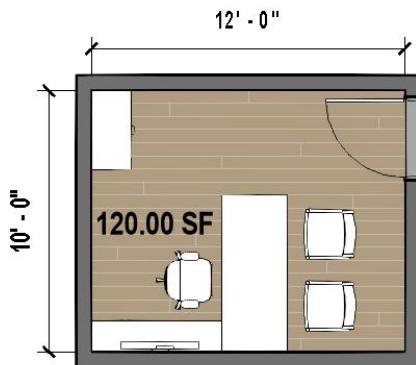
Number of occupants: **One (1)**

Security:  Yes  No

(Check all that apply)

<b>Furnishings:</b>	<input checked="" type="checkbox"/> Desk <input type="checkbox"/> Workstation <input checked="" type="checkbox"/> Side Table <input checked="" type="checkbox"/> 2 Chairs <input checked="" type="checkbox"/> Credenza <input type="checkbox"/> File Cabinet <input type="checkbox"/> Bookcase(s) <input type="checkbox"/> Bulletin Board
<b>Electrical:</b>	<input checked="" type="checkbox"/> 4-Plex outlets <input checked="" type="checkbox"/> Overhead Lighting <input checked="" type="checkbox"/> Task Lighting

Office # 5 Adjacencies/Comments:



### K.10 HQ OFFICE #6: Spare Office

Location: **Admin area**

Size: **100 sq. ft.**

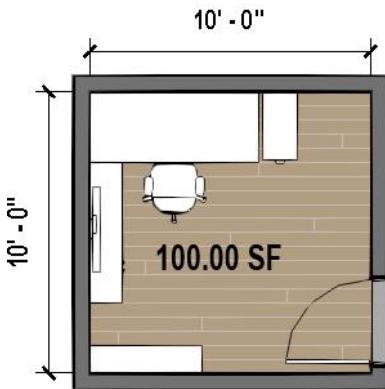
Number of occupants: **N/A**

Security:  Yes  No

(Check all that apply)

<b>Furnishings:</b>	<input checked="" type="checkbox"/> Desk <input type="checkbox"/> Workstation <input checked="" type="checkbox"/> Side Table <input checked="" type="checkbox"/> 2 Chairs <input type="checkbox"/> Credenza <input type="checkbox"/> File Cabinet <input type="checkbox"/> Bookcase(s) <input type="checkbox"/> Bulletin Board
<b>Electrical:</b>	<input checked="" type="checkbox"/> 4-Plex outlets <input checked="" type="checkbox"/> Overhead Lighting <input type="checkbox"/> Task Lighting

Office #6 Adjacencies/Comments:



### K.11 STATION #1 OFFICE

Location: **Near entry**

Size: **100 sq. ft.**

Number of occupants: **One (1)**

Security:  Yes  No

(Check all that apply)

<b>Furnishings:</b>	<input checked="" type="checkbox"/> Desk <input type="checkbox"/> Workstation <input type="checkbox"/> Side Table <input type="checkbox"/> Table/2 Chairs <input checked="" type="checkbox"/> Credenza <input checked="" type="checkbox"/> File Cabinet <input type="checkbox"/> Bookcase(s) <input type="checkbox"/> Bulletin Board
<b>Electrical:</b>	<input checked="" type="checkbox"/> 4-Plex outlets <input checked="" type="checkbox"/> Overhead Lighting <input checked="" type="checkbox"/> Task Lighting

Station #1 Office #1 Adjacencies/Comments:

### K.12 STATION #1 STUDY ROOM

Location: **Near Office**

Size: **100 sq. ft.**

Number of occupants: **One**

Security:  Yes  No

(Check all that apply)

<b>Furnishings:</b>	<input checked="" type="checkbox"/> Desk <input type="checkbox"/> Workstation <input type="checkbox"/> Side Table <input type="checkbox"/> Table/2 Chairs <input type="checkbox"/> Credenza <input type="checkbox"/> File Cabinet <input type="checkbox"/> Bookcase(s) <input type="checkbox"/> Bulletin Board
<b>Electrical:</b>	<input checked="" type="checkbox"/> 4-Plex outlets <input checked="" type="checkbox"/> Overhead Lighting <input checked="" type="checkbox"/> Task Lighting

Station #1 Study Room Adjacencies/Comments:

### K.13 WORKSPACE - HQ

Location: **Near Office #3**

Size: **60 sq. ft.**

Security:  Yes  No

(Check all that apply)

<b>Space Use:</b>	<input checked="" type="checkbox"/> Copier/Printer <input type="checkbox"/> Fax Machine <input checked="" type="checkbox"/> Office Supplies <input checked="" type="checkbox"/> 4 Plex Outlets
<b>Casework/Built-Ins:</b>	<input checked="" type="checkbox"/> Mail Slots <input checked="" type="checkbox"/> Wall Cabinets <input checked="" type="checkbox"/> Base Cabinets <input checked="" type="checkbox"/> Counter Workspace <input type="checkbox"/> Credenza <input type="checkbox"/> File Cabinets

Workspace Adjacencies/Comments:

### K.14 NETWORK/IT - HQ

Location: **Admin area**

Size: **60 sq. ft.**

Security:  Yes  No

(Check all that apply)

<b>Furnishing/Equipment:</b>	<input type="checkbox"/> Workstation <input checked="" type="checkbox"/> Racks <input checked="" type="checkbox"/> Cable Trays <input checked="" type="checkbox"/> Access Control <input type="checkbox"/> 911 Console <input checked="" type="checkbox"/> Phone Backboard
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	<input checked="" type="checkbox"/> Camera System <input checked="" type="checkbox"/> Security System
<b>Ventilation/Sprinkler:</b>	<input checked="" type="checkbox"/> Constant HVAC with High Temp Alarm <input type="checkbox"/> Halon Fire Protection System <input type="checkbox"/> UPS <input checked="" type="checkbox"/> Dry Fire Protection <input checked="" type="checkbox"/> Additional Conduit for Future Use

Network/IT Adjacencies/Comments:

**K.15 REST ROOM(S): HQ**

Location: **Admin area**

Size: **75 sq. ft. each**

Quantity of Rest Rooms: **Two (2)**

Type:  Male  Female  Unisex

Security:  Yes  No

(Check all that apply)

<b>Plumbing:</b>	<input checked="" type="checkbox"/> Toilet <input checked="" type="checkbox"/> Sink <input checked="" type="checkbox"/> Urinal <input checked="" type="checkbox"/> Floor Drain
<b>Finishes:</b>	<input checked="" type="checkbox"/> Solid Surfaces <input type="checkbox"/> Tile <input type="checkbox"/> Stainless Steel Fixtures <input checked="" type="checkbox"/> Exhaust Fan <input checked="" type="checkbox"/> Auto Flush Fixtures <input type="checkbox"/> HDPE Toilet Partition

Rest Room Adjacencies/Comments: **Station #1: part of Fire Fighters bathrooms near bunks**

**L. PUBLIC SPACES – Not Applicable**

## M. MISCELLANEOUS

### M.1 CUSTODIAL CLOSET

Location: **Admin area**

Size: **40 sq. ft. for each station**

Will this closet require ventilation:  Yes  No

Security:  Yes  No

(Check all that apply)

<b>Furnishings/Equipment:</b>	<input checked="" type="checkbox"/> Shelving <input checked="" type="checkbox"/> Gear Grid Mop/Broom Holder
<b>Plumbing/Electrical:</b>	<input type="checkbox"/> Utility Sink <input checked="" type="checkbox"/> Floor/Mop Sink <input checked="" type="checkbox"/> Floor Drain <input checked="" type="checkbox"/> Outlets

Custodial Closet Adjacencies/Comments:

### M.2 MECHANICAL ROOM

Location: **As needed**

Size: **HQ: 350 sq. ft. and Station #1: 180 sq. ft.**

Will this room require ventilation:  Yes  No

Does this room serve entire facility:  Yes  No

Security:  Yes  No

(Check all that apply)

<b>Equipment:</b>	<input type="checkbox"/> Boiler <input checked="" type="checkbox"/> Wall Hung Boiler <input checked="" type="checkbox"/> Water Heater <input checked="" type="checkbox"/> Electrical Panel
	<input type="checkbox"/> Wall Hung Water Heater <input checked="" type="checkbox"/> Transfer Switch <input checked="" type="checkbox"/> Main Disconnect

Mechanical Room Adjacencies/Comments:

### M.3 ELEVATOR AND MACHINE ROOM **New will be required for Station #1**

Location: **Admin area**

Size: **150 sq. ft. for elevator and machine room**

Public Access:  Yes  No

Security:  Yes  No

Elevator and Machine Room Adjacencies/Comments: **An elevator will be required for HQ if it is a multi-story building.**

#### **M.4 MECHANICAL, ELECTRICAL, PLUMBING HVAC, SPRINKLER, ALARM**

##### **M.5 Mechanical/HVAC System Requirements:**

<b>Fuel Type:</b>	<input checked="" type="checkbox"/> Natural Gas <input type="checkbox"/> Propane kit <b>For HQ, Station #1 all electric</b>
<b>Fuel Tank:</b>	<input type="checkbox"/> N/A <input type="checkbox"/> Interior <input checked="" type="checkbox"/> Exterior <input checked="" type="checkbox"/> Above Ground <input type="checkbox"/> Below Ground <input checked="" type="checkbox"/> Fenced <input type="checkbox"/> Secured
<b>Heating Type:</b>	<input checked="" type="checkbox"/> Zone Heating Describe Zones: <b>As needed</b> Describe Heating in Bay: <b>In floor radiant</b>
<b>A/C Type:</b>	<input type="checkbox"/> Entire Facility <input type="checkbox"/> Zoned Describe Zones:

Mechanical/HVAC Comments:

##### **M.6 Electrical Requirements:**

AMP Service Size: **Assume 1,000 AMP for HQ and 600 AMP for Station #1**

<b>Bay Lighting:</b>	<input checked="" type="checkbox"/> LED <input checked="" type="checkbox"/> Switches for override
<b>Site Lighting:</b>	<input checked="" type="checkbox"/> On Building <input type="checkbox"/> On Site <input checked="" type="checkbox"/> LED <input checked="" type="checkbox"/> Shielded <input type="checkbox"/> Timers <input checked="" type="checkbox"/> "Dark Sky" Compliant
<b>Interior Lighting: All LED</b>	<input checked="" type="checkbox"/> Occupancy Sensors: <b>Where required by code</b> <input checked="" type="checkbox"/> Dimming Options for Sleeping Spaces <input checked="" type="checkbox"/> Standardize Fixtures/Bulbs

##### **M.7 Generator Requirements:**

Location: **Exterior**

Describe type: **Both are new in HQ and Station #1**

Generator requires a screen:  Yes  No

Generator requires muffler/sound enclosure:  Yes  No

<b>Fuel Type:</b>	<input type="checkbox"/> Propane <input type="checkbox"/> Gas <input checked="" type="checkbox"/> Diesel <b>for both HQ and #1</b>
<b>Fuel Tank: 250 gallons</b>	<input type="checkbox"/> N/A # of days of operation needed:
<b>Electrical Requirements:</b>	AMP Size: <input checked="" type="checkbox"/> Ground Building <input checked="" type="checkbox"/> Lightning Protection <input type="checkbox"/> UPS System <input checked="" type="checkbox"/> Surge Protection

Generator Comments:

**M.8 Plumbing/Sprinkler Requirements:**

Sprinkler Requirements:  Entire building except where indicated the need for Dry Sprinkler, i.e.: **IT Room**

Plumbing Requirements: **2 services required, domestic and sprinkler**

Size of Main: **2-1/2 for domestic, and 4" or 6" for fire**

Exterior Hose Bib(s):  Yes  No

Describe the usage and Size for the following:

Domestic Water: **2-1/2"**

Fire Use: **4" – 6"**

Oil/Water Separator:

Number of Gallons: **HQ: 1,000 and Station #1: 500**

Location: **Exterior to sanitary**

Requires Pumping Out:  Yes  No

Grease Trap:

Number of Gallons: **HQ: 500 and Station #1: 200**

Location: **Exterior to sanitary**

Requires Pumping Out:  Yes  No

Sprinkler/Plumbing Comments:

**M.9 Alarm/Security Requirements:**

Describe Exterior Security Types: **FOBs for interior and exterior for both stations**

Describe Interior Security Types:

<b>Alarm Types:</b>	<input checked="" type="checkbox"/> Smoke <input checked="" type="checkbox"/> Strobe Lights <input checked="" type="checkbox"/> Tie into Kitchen Hood System
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Alarm/Security Comments:

**M.10 MISCELLANEOUS ISSUES/COMMENTS:**

DRAFT

FIRE COMPANY #1  
EXISTING CONDITIONS ASSESSMENT

**Tecton**  
ARCHITECTS

## FIRE COMPANY #1 - EXISTING CONDITIONS ASSESSMENT

### The Facility:

Name:	Fire Company #1
Address:	1 Wrentham Rd, Bellingham, MA 02019
Type / Use:	Fire Station – 3 Apparatus bays
Total Building Area (SF):	5, 387 SF
Site Area (acres):	~0.23 Acres
Stories (above grade – lowest level):	2 stories
Original Construction:	1950
Additions (dates):	Rear Bay (Unknown dates)
Construction Type(s):	VB (equivalent)
Building / Framing Materials:	Brick & Stucco walls Wood studs Vinyl Siding
Roof Types & Age:	Asphalt Shingles (unknown) Membrane (unknown)
Split-level / ramps (interior):	half-Level rear apparatus step up into multiple spaces
Heating (types):	Forced Hot Air/Radiant
Stairs (interior):	"Open" communicating stair from upper to lower level, Exterior Fire Escape
Fuel Types:	Natural Gas
Elevator:	no
Cooling (centralized):	Rooftop Units
Basement:	Yes
Ventilation:	General & Vehicle Exhaust (Plymovent)
Mezzanine	N/A
Electrical:	Overhead
Crawl Space / Tunnels:	N/A
Generator:	50Kw Diesel
Temporary Structures:	N/A
Fire Alarm:	Yes
Auxiliary Buildings:	N/A
Sewer / Septic	Sewer
Full ADA Compliance:	No
Municipal Water / Well	Municipal Water
Sprinklered (full / partial):	None
Site Amenities / Training:	None

# Fire Company #1 Existing Conditions Assessment

## Overview

On December 4, 2024, Tecton Architects performed a visual assessment of the existing Fire Company #1 building and site. Fire Company #1 is located at 1 Wrentham Road and is a two-story building of approximately 5,387 sf. The main Apparatus Bay doors face West towards the intersection of Wrentham Road and Paine Street on the main floor. The main entrance is located on the first floor and also faces West. The building was constructed in 1950 and appears to have received two additions that make up the rear apparatus bay. The building was renovated in 2017, dividing a large day room into bunk rooms and a smaller day room space.

*The following is a summary of deficiencies that may require consideration as part of a Capital Improvement Plan (CIP), future renovation, or addition.*

## Major Deficiencies Summary

- Accessibility issues
  - No elevator
  - Toilet, lavatory, and shower facilities are not ADA compliant
  - Accessibility limited at second floor
- Operational
  - Response deficiencies
  - No separation of hot and cold zones
- Site
  - No designated parking
  - Drive aisles and curbs in poor condition
  - Deteriorating site walls and exterior stair
  - No compliant accessible paths
- Structural
  - Unreinforced duct penetrations
  - Additional structural deficiencies may exist depending on the level of renovation or alteration the building may undergo in the future. The building structural system should be evaluated by a licensed structural engineer prior to undergoing any major renovation.
- Ineffective thermal envelope throughout
  - Insulation limited to stud bays at exterior walls
  - Bays lack insulation
- No separation of hot & cold zones in apparatus bay and support spaces
- Mechanical, Electrical, Plumbing & Fire Protection Systems (MEP/FP)
  - No fire sprinklers

### Site

Bellingham Fire Company #1 is located at the intersection of Wrentham Road and Paine Street on the Southern end of Bellingham. The parcel is roughly 1/3 of an acre and triangular in shape. The site is bounded on two sides with streets on the North, West, and South and the third by adjacent residential parcels to the East. The station takes up much of the site with a drive aisle wrapping the rear. A rock garden, memorial, and flagpole take up most of the area in front of the building adjacent to the apron for the front apparatus bays.

The rear drive aisle slopes from Wrentham Road towards Paine Street and appears to be where staff vehicles are parked. The site does not have any striped or designated parking areas. The fire station site is separated from neighboring residential properties by only a curb. Bituminous asphalt paving makes up the drive aisle and aprons for both apparatus bays and is in poor condition throughout. A concrete walkway connects the public street walk to the entrance stair and ramp on the West elevation. The walkway does not appear to meet cross slope requirements to be considered an accessible walk and has multiple cracks leaving it in fair to poor condition. Max cross slope per 521 CMR is 1:50. The apron for the West apparatus bays is a mix of concrete and bituminous asphalt paving. The apron is only 43'-0" from the door to the public way, which does not meet the recommended length of 50 feet for modern Apparatus. A mix of block and stone site walls wrap the North, West, and South edges of the raised walks and lawn area. The walls are in fair condition with minor cracking and spalling at the concrete caps. There is no dedicated site lighting, however, a pole mounted light on an adjacent sidewalk could potentially cast some light towards the main entrance walkway. Despite not observing any on-site catch basins, one downspout appears to be tied to a subsurface storm water system. It is unclear where this connection leads.

The main entrance is served by a combination ramp and stair structure. The ramp and stair is constructed of wood with a composite decking surface and metal pipe guard rail. None of the stair, ramp, guardrail, or handrails are compliant with the Architectural Access Board (AAB) pursuant to 521 CMR regulations. Issues include but are not limited to; space between the guardrail pipes exceeding 4", the stair lacking a handrail with proper extensions, the landings appearing to exceed cross slope limits, guardrails not being tall enough at the upper run, and riser heights at the stair being inconsistent and exceeding maximum riser height requirements per the current Massachusetts Building Code. In addition, the compressor for one of the building mini-split units is wall mounted within the travel path of the main entry at a height that is not within.

### Structural and Foundations

Duct penetrations in basement masonry walls do not have lintels.

*The scope of work did not include a structural evaluation by a license structural engineer. The building should be evaluated prior to undertaking any major renovations.*

### Building Envelope Evaluation

The building envelope is in fair condition and is made up of a mix of 4" brick veneer at the lower level and stucco finish on the upper level. The exterior walls appear to be wood framed per drawings from the 2017 renovation project, however, apparatus bays are double wythe masonry. It is assumed that insulation is in the cavity space at the wood framed walls and that the main apparatus bays are uninsulated mass walls. Neither condition meets the minimum R-value per the current Massachusetts energy code. Exterior brick and stucco finishes are in fair condition throughout with minor staining noted adjacent to downspouts. The rear apparatus bay appears to be a mix of multiple additions and is assumed to be wood framed with cavity insulation. Vinyl siding at the exterior is in fair condition. Wood window trim, door trim, and soffits appear to have been recently repainted and are in fair condition.

The main volume of the building consists of an architectural asphalt shingle hip-style roof with gutters and downspouts on all four eaves. Historical photographs indicate this roof was replaced sometime in the last two years. The rear additions consist of a membrane roof and the age is unclear. Some ponding was present adjacent to the top of the metal stair. Additional information has not been provided regarding warranty and exact age of the roofs. Gutters and downspouts throughout are in good condition at the roof level, however, most stop well short of grade and are draining directly onto the exterior wall of the building. Over time, this will cause mortar joints to wash out at masonry walls and water to infiltrate behind the vinyl siding. Roof-mounted equipment on the lower roof appears to be relatively new but it is sitting on exposed wood blocking that is in poor condition. Entrance canopies at the exterior doors are a membrane roofing. The reglet and counterflashing has been removed where roofing is tied into the brick, leaving an exposed raked-out mortar joint. This is a location for potential water infiltration.

All windows appear to be vinyl replacements and would have been installed as a part of the 2017 renovation project. All windows and screens are in good condition. Overhead sectional doors are in good condition with minor cosmetic dents. Exterior hollow metal doors are in good condition and appear recently replaced.

### **Building Interior Evaluation**

The lower level consists of Apparatus bays, a kitchen, an open dining/report area, and combination toilet/shower rooms. Interior partitions are a mix of painted drywall, wood paneling, and plaster which are all in good condition. The main level apparatus bays are painted brick in fair condition. The third apparatus bay is located in the rear addition and at a lower elevation. Interior walls are a painted wood paneling in fair condition. Flooring material is a mix of vinyl composite tile (VCT) and engineered snap-in wood flooring at the toilet shower rooms and ceramic tile throughout the kitchen and dining area. The VCT and ceramic tile is in fair condition. The snap-in engineered wood flooring is in poor condition, with large gaps between planks. Painted concrete floors throughout the apparatus bays is also in poor condition. Large cracks span in front of each overhead door and the paint has worn away for most of the high traffic floor area. Shower and toilet rooms consist of 2'x2' Acoustic Panel Ceiling (APC) and some areas of wood panel. Both ceiling types are in fair condition with some tile staining. The dining area is a painted gridded ceiling with metal tiles in fair condition. The main level apparatus bays have a painted plaster ceiling in good condition; however, the lower apparatus bay is a painted oriented strand board (OSB) ceiling and is in fair to poor condition.

The sole communicating stair connects the main second floor corridor and the Entry Lobby. Rubber tread flooring system and painted plaster walls and ceilings are all in good condition at the stair. The drawings from the 2017 renovation project indicates a 1-hour rating at the stair, however, the door at the top landing has been removed. It is assumed that the remainder of the stair construction could be compliant if a rated door is reinstalled.

The second floor consists of a day room, bunk rooms, laundry, locker rooms, and a fitness room. Interior partitions were added as a part of the 2017 renovation project to define the day room and bunks. The fitness room and female locker room is located in what appears to be a former stage and the ancillary wing rooms. Walls throughout the second floor consist of painted wood, drywall, and plaster and are all in good condition. The one exception is the painted plaster walls and ceilings in the storage and laundry room which is poor. APC ceilings throughout the second floor are in good condition with some minor staining in the toilet room. Carpet throughout the level is in good condition. VCT in the toilet room is in fair condition.

The basement/crawl space is accessible only from the exterior of the building. A door between the crawl space and the rear apparatus bay has been closed off and is now used as a pathway for

ductwork. The basement houses a mix of operational and abandoned mechanical units as well as storage space. Exterior walls are painted brick and interior walls are painted plaster which are both in fair to poor condition. The plaster ceiling throughout is in poor condition with many large holes and unfilled penetrations. Due to building age and conditions observed, the basement may contain hazardous materials. The building should be inspected and tested by a licensed hygienist for hazardous materials and potential abatement or encapsulation efforts prior to any major renovations.

### **Life Safety/Code/ADA**

The facility does not have an elevator which limits accessible access to the second floor which contains primary functions such as bunk rooms, fitness, and the Day Room. Showers, sinks and toilets throughout the building do not have the required clearances or grab bars to be considered accessible and pipes below the sinks in the toilet rooms are not insulated. The threshold into both the male and female restrooms exceeds the maximum height allowed by the 521 CMR. The door into the main apparatus bays steps down at the threshold which creates both an unsafe condition and non-accessible space. The only access between the main apparatus bay and the third apparatus bay is by stair as well. This stair does meet the minimum tread and maximum rise requirements of the Massachusetts State Building Code; however, it lacks guardrails at a change in elevation over 2'-0". A window between the kitchen and the rear apparatus bay appears to be constructed of plexiglass which does not provide a fire rating.

The women's locker room, laundry, and gym all have steps to access them from the general floor elevation of the second level. In addition, the laundry is located on a landing with no guardrail, no handrail, limited head clearance, and limited working clearance in front of the units. This is considered both an unsafe and non-accessible condition. There is no fire sprinkler system in the building. There are two means of egress from the second level. One is the communicating stair which does not have functioning lighting, lacks a continuous handrail, and lacks a continuous fire rating due to the removal of the second level doors. The second is an exterior fire escape which exits from the second story onto a flat roof and then down to grade via a metal grate stair. The guardrail on both the roof and the stair itself is not code compliant. The guardrail is not tall enough and exceeds 4" between the bars. This stair does not have a handrail with proper extensions. Open risers are not permitted on a means of egress in a Business (B) occupancy. The fire escape is also not currently protected from snow and rain. Bunk rooms do not appear to have the required fire resistance rating per the Massachusetts Building Code and are not permitted without a fire sprinkler system.

### **Operational**

Besides kitchen and dining, all other programmed spaces including bunk rooms, fitness, and the day room are located on the second floor. The response travel path includes an egress stair with non-functioning lighting, a step down into the main apparatus bay and an additional stair to reach the rear apparatus bay. The apparatus bays contain storage functions, including gear lockers, open to the bay floor. This should be separated from the bay space to avoid cross contamination per NFPA 1581. The front apparatus bays are 29'-4" x 27'-8" with a clear ceiling height of 10'-9". The front apparatus bays are single sided with overhead sectional doors that are 9'-8" x 10'-0" and 12'-0" x 10'-0" respectively. These bays, along with site constraints, require the Apparatus to be backed into after a response event. The rear apparatus bay is a single-deep, pull-through bay that is 44'-6" deep and 13'-9" wide with a 14'-6" clear ceiling height. All noted dimensions limit apparatus size, prevent storage of larger apparatus in the future, and have limited working clearance around the vehicles. The modern standard for Apparatus Bay overhead doors is 14'-0" x 14'-0" with a 19'-4" minimum overhead clearance above the engine end of the apparatus. There are no transition zones between hot and cold areas of the apparatus bay and support spaces. Hot Zones, as defined by NFPA 1500, are control zones that are in contact with hazardous materials such as the Apparatus Bays and Turnout Gear. Cold Zones are areas

that do not potentially have contact with hazardous substances, such as the bunk rooms. Turnout gear is also located on the far end of the apparatus bays, requiring responders from inside the building to have to traverse the entire bay floor to get their gear increasing response time and reducing responding safety as they need to cross vehicle paths. Turnout gear should not be located within the bay per NFPA 1581. Bunk rooms are undersized, have minimal storage, and do not contain a desk outside of the officer bunk. Window shades were observed to not be effective when utilized. The apparatus bay is equipped with a vehicle exhaust extraction system manufactured by Plymovent.

### **Site Utilities**

The building is served by a natural gas service located on the north side of the building.

### **Fire Protection**

The existing building does not contain a fire sprinkler system. The building appears to have a functioning Fire Alarm System with horn strobes and smoke detectors located in bunk rooms and toilets throughout.

### **Mechanical Systems**

Heating and cooling in the building is provided by a mix of ductless mini split units and forced hot air all installed within the last ten years. Entry points are supplemented with radiant baseboard heating.

### **Electrical Systems**

Electrical power is provided by overhead wires to the Southwest corner of the building. Further investigation is required to confirm if the building has three phase power.

Interior lighting consists of a mix of 2x2, 2x4, and strip LED fixtures. Lighting in the main stair was not functional at the time of observation. Ceiling fan in the dining area contained incandescent lighting.

Standby power is provided to the entire building by a 50 kW MTU diesel generator. The generator is located outside on the South of the building and has an integral subbase fuel tank and weather enclosure.



Photo 1: West façade & apron.



Photo 2: South façade.



Photo 3: Partial East façade.



Photo 4: Partial East façade (vinyl siding).



Photo 5: North façade.



Photo 6: Rear Apparatus Bay (West).



Photo 7: Rear Apparatus Bay (East).



Photo 8: Main Entry Ramp.



Photo 9: Main Entry Stair.



Photo 10: Side canopy – missing counterflashing.

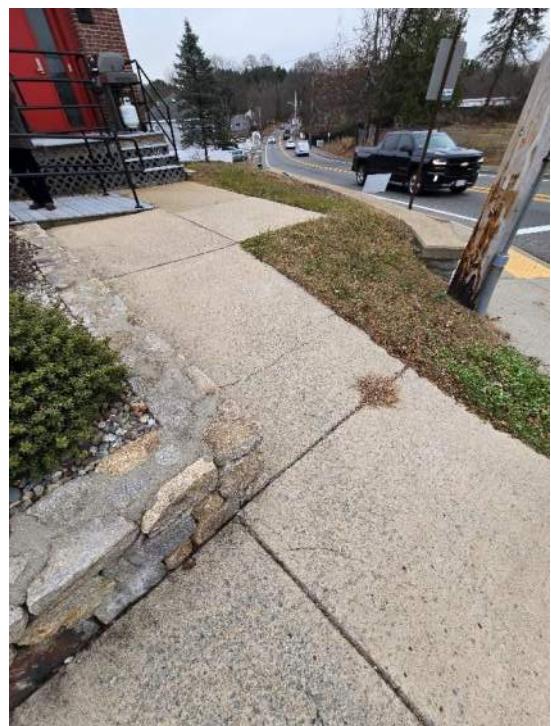


Photo 11: Sidewalk at Entry.



Photo 12: Roof Exit.

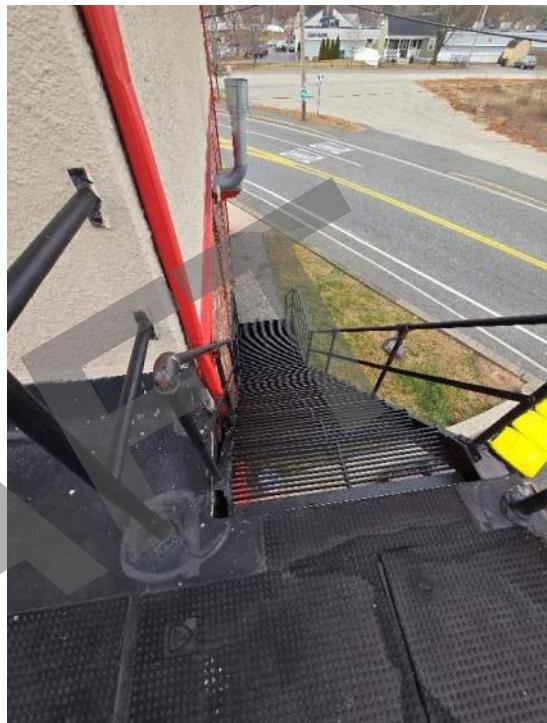


Photo 13: Fire Escape.



Photo 14: Step-up to Women's Locker.



Photo 15: Day Room/Step-up to Fitness.

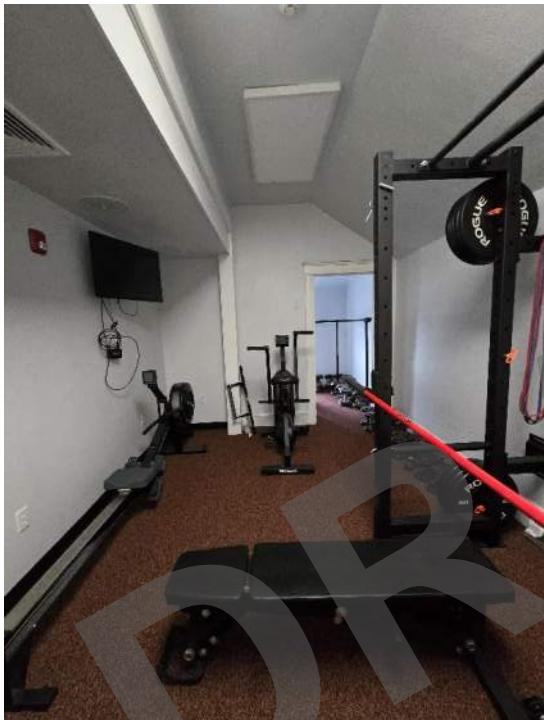


Photo 16: Fitness Room.



Photo 17: Day Room.



Photo 18: Roof-mounted Unit.



Photo 19: Roof-mounted Unit.



Photo 20: Typical Bunk Room.

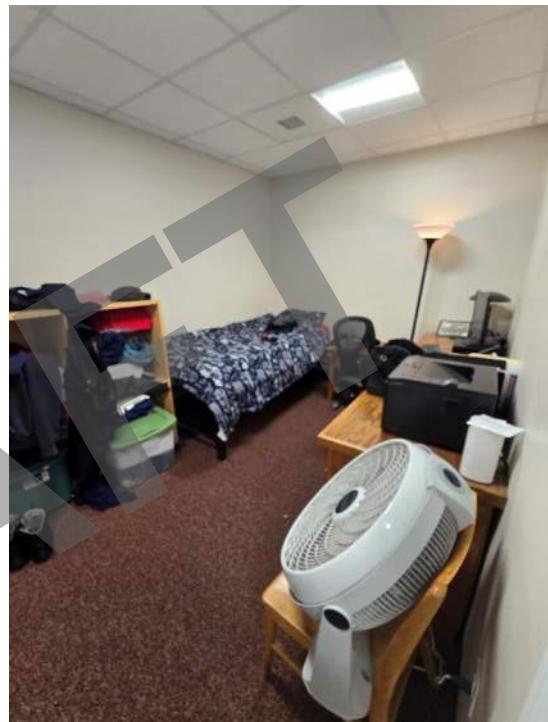


Photo 21: Officer's Bunk.



Photo 22: Upper-Level Toilet Room.

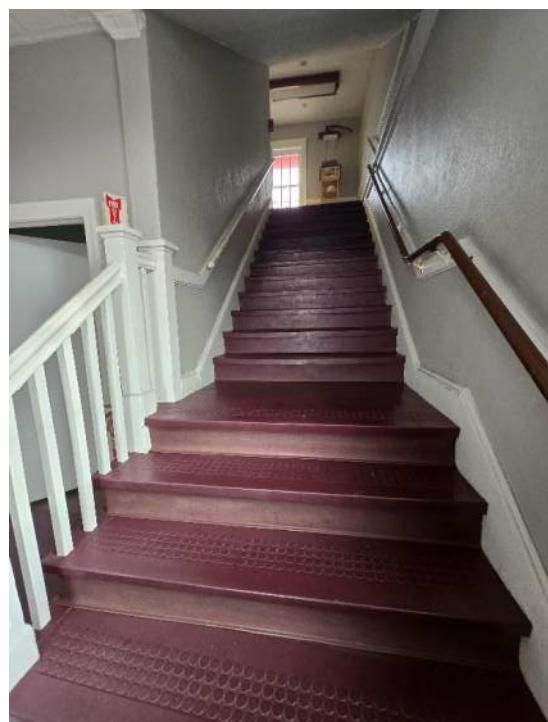


Photo 23: Egress Stair.



Photo 24: Laundry.

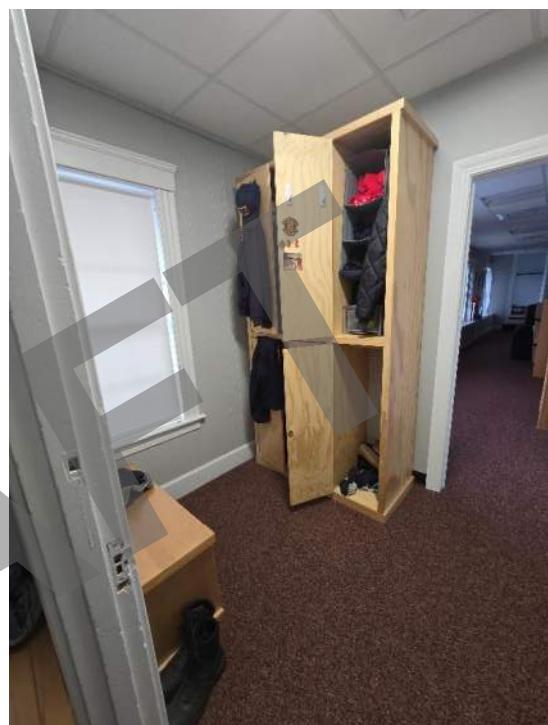


Photo 25: Male Locker.

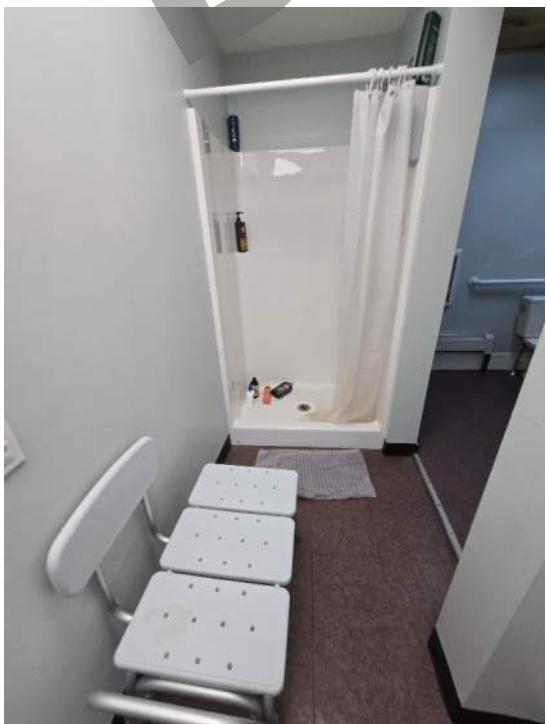


Photo 26: Female Toilet/Shower.



Photo 27: Female Toilet/Shower.



Photo 28: Male Toilet/Shower.

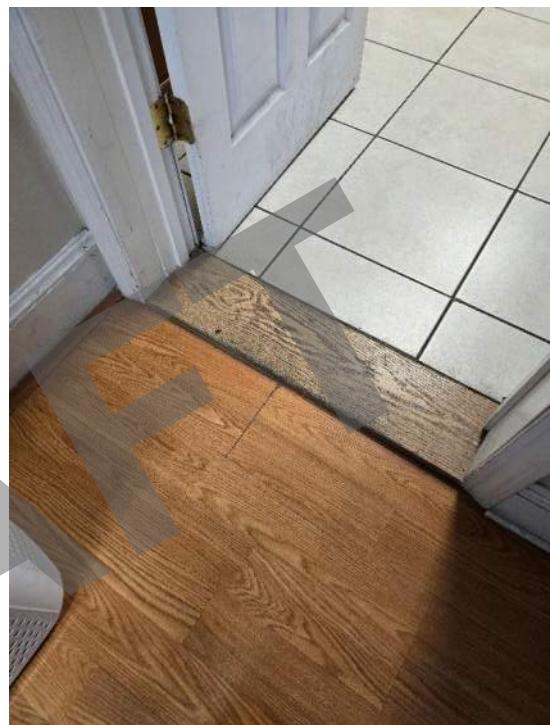


Photo 29: Male Toilet/Shower threshold.

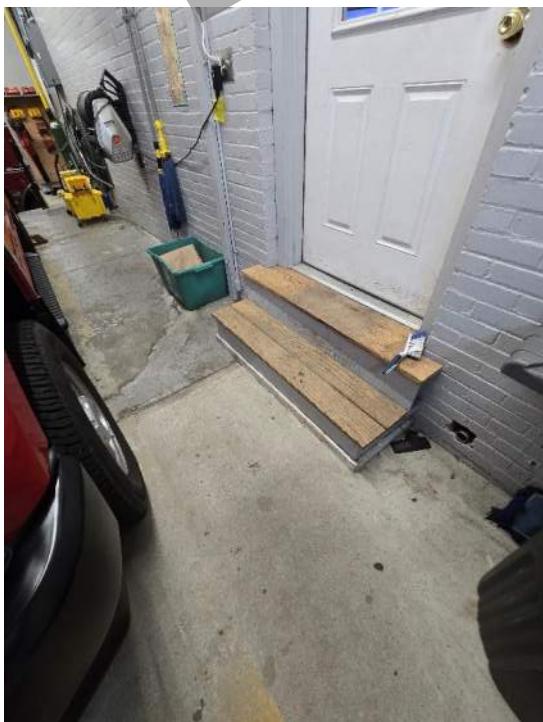


Photo 30: Step-down into Apparatus bays.

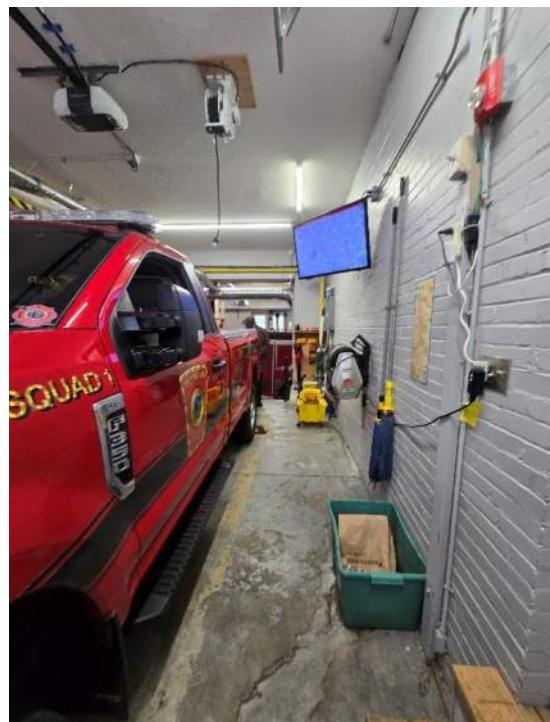


Photo 31: Main Apparatus Bays.



Photo 32: Main Apparatus Bays.

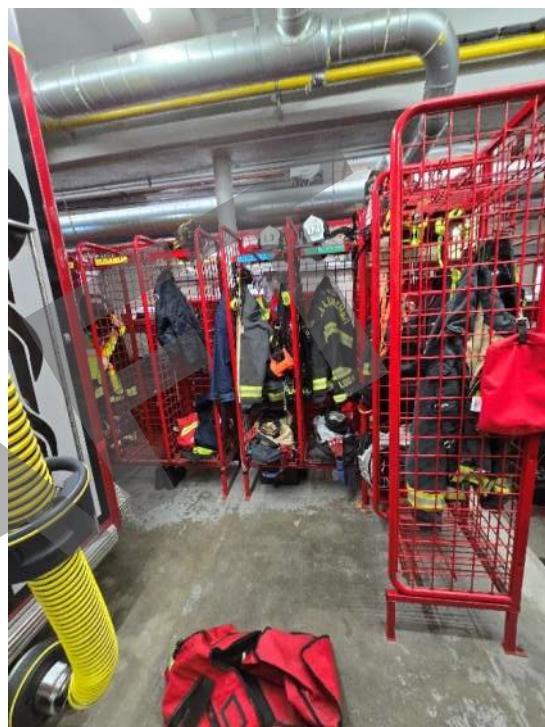


Photo 33: Turnout Gear Lockers.

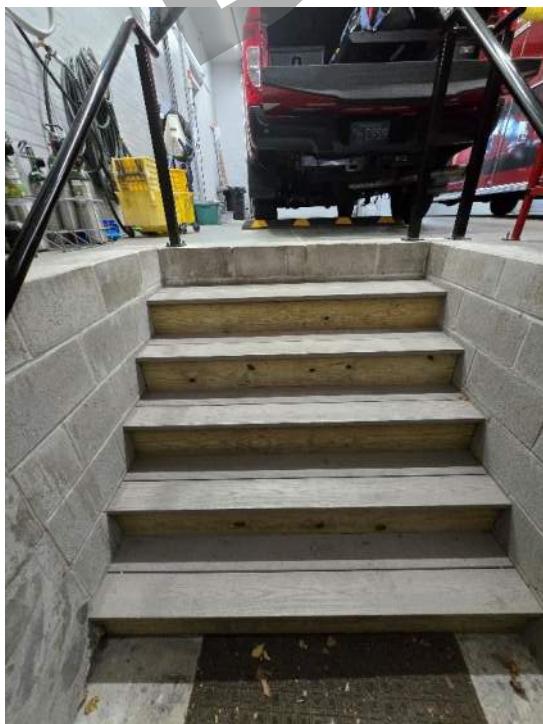


Photo 34: Stair between Apparatus Bays.

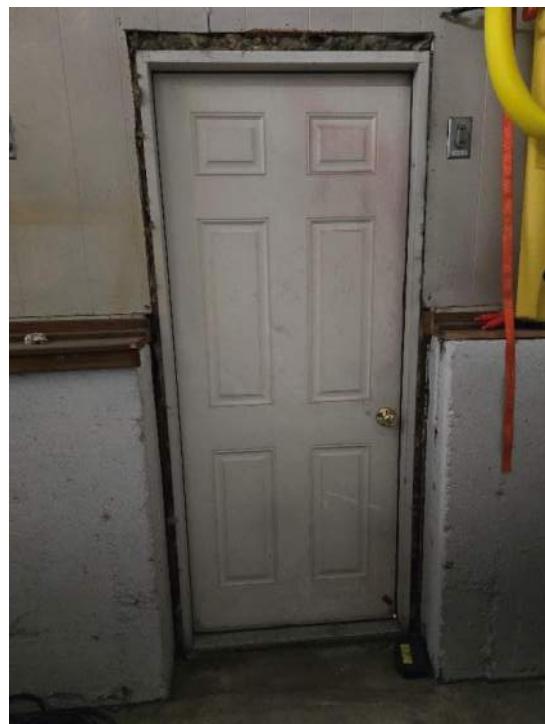


Photo 35: Exterior Apparatus Bay door.



Photo 36: Rear Apparatus Bay.

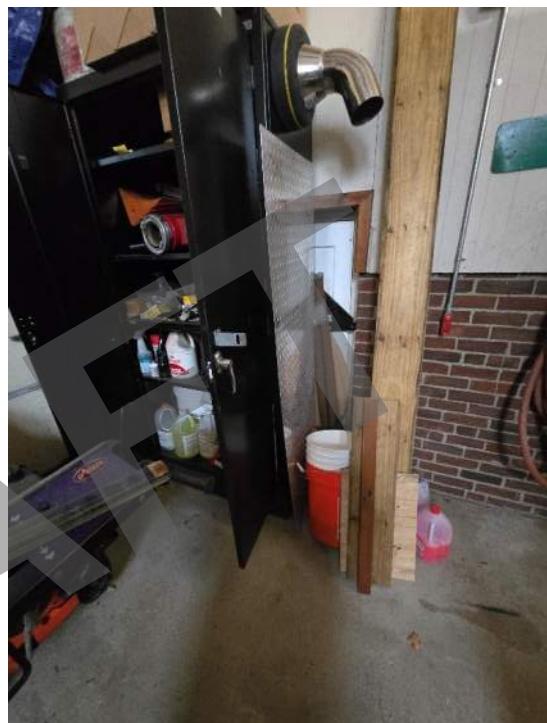


Photo 37: Former basement entrance.



Photo 38: Basement storage room.



Photo 39: Abandoned Boiler.

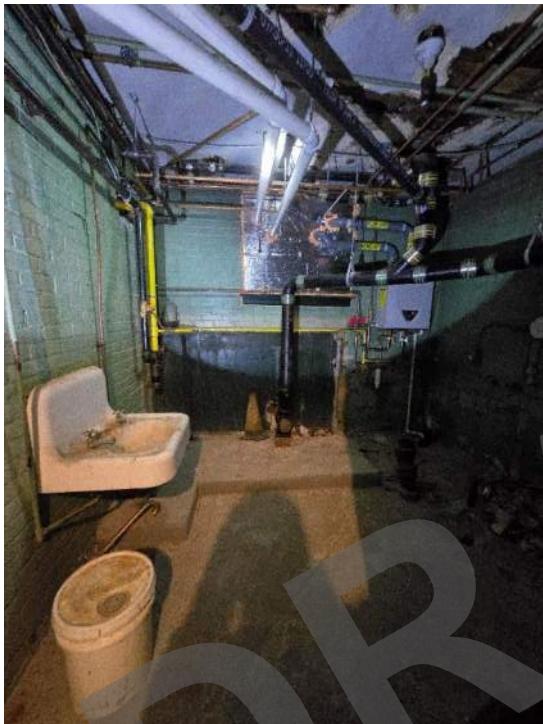


Photo 40: Basement mechanical room.



Photo 41: Abandoned ductwork/  
Unsupported masonry penetrations.



Photo 42: Electrical Panel.



Photo 43: Diesel generator.

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FIRE COMPANY #2  
EXISTING CONDITIONS ASSESSMENT

**Tecton**  
ARCHITECTS

## FIRE COMPANY #2 - EXISTING CONDITIONS ASSESSMENT

### The Facility:

Name:	Fire Company #2		
Address:	28 Blackstone Street, Bellingham, MA 02019		
Type / Use:	Fire Station – 4 Apparatus bays		
Total Building Area (SF):	11,180 SF	Original Construction:	1989
Site Area (acres):	~1.50 Acres	Additions (dates):	N/A
Stories (above grade – lowest level):	2 stories	Construction Type(s):	IIB (equivalent)
Building / Framing Materials:	Masonry veneer Stud back-up	Roof Types & Age:	Asphalt Shingles (2010) Membrane (unknown) Standing Seam (original)
Split-level / ramps (interior):	half-Level at rear bunks	Heating (types):	Forced Hot Air
Stairs (interior):	Yes	Fuel Types:	Natural Gas
Elevator:	no	Cooling:	Heat Pump/Mini-Splits
Basement:	no	Ventilation:	General & Vehicle Exhaust (Plymovent)
Mezzanine	N/A	Electrical:	Underground
Crawl Space / Tunnels:	N/A	Generator:	100Kw Diesel
Temporary Structures:	N/A	Fire Alarm:	Yes
Auxiliary Buildings:	N/A	Sewer / Septic	Sewer
Full ADA Compliance:	No	Municipal Water / Well	Municipal Water
Site Amenities / Training:	None	Sprinklered (full / partial):	None

# Fire Company #2 Existing Conditions Assessment

## Overview

On December 4, 2024, Tecton Architects performed a visual assessment of the existing Fire Company #2 building and site. Fire Company #2 is located at 28 Blackstone Street and is a two-story building of approximately 11,180 sf. The Apparatus Bay doors and main entrance face Northwest towards Blackstone Street on the lower level. The building was constructed in 1989 and does not appear to have any additions.

*The following is a summary of deficiencies that may require consideration as part of a Capital Improvement Plan (CIP), future renovation, or addition.*

## Major Deficiencies Summary

- Accessibility issues
  - No elevator
  - Toilet, lavatory, and shower facilities are not ADA compliant
  - Door push/pull clearances insufficient throughout
  - Non-compliant guardrails and handrails
- Operational
  - Response deficiencies
  - Lack of storage
- Site
  - Drive aisles and curbs in poor condition
  - Unprotected site walls and exterior stairs
  - No compliant accessible paths
- Structural
  - Additional structural deficiencies may exist depending on the level of renovation or alteration the building may undergo in the future. The building structural system should be evaluated by a licensed structural engineer prior to undergoing any major renovation.
- Ineffective thermal envelope throughout
  - Insulation limited to stud bays at exterior walls
  - Bays lack insulation
  - Single-glazed storefronts
- No separation of hot & cold zones in apparatus bay and support spaces
- Mechanical, Electrical, Plumbing & Fire Protection Systems (MEP/FP)
  - No fire sprinklers

### Site

Bellingham Fire Company #2 is located at 128 Blackstone Street and is centrally located in Bellingham. The fire station is located on a large parcel shared with Bellingham High School, the Department of Public Works, Bellingham Police Department, and the Senior Center. The parcel is subdivided and has roughly 1.50 acres allocated to the fire station. The site is bounded by Blackstone Street to the Northwest, and the DPW wraps around the Northeast and East with the Police Station to the Southwest. The station sits in the center of the site with an apron that connects to Blackstone Street. Striped parking is located on the North and South with a drive aisle that connects to the police station parking.

A two-way drive aisle slopes up Southeast from Blackstone Street and wraps around Bellingham Police Station. Striped public parking, including accessible spaces, are designated for Fire Station parking along this drive aisle. The drive aisle and parking is in fair to poor condition. Most notably, the striped access aisle between handicapped spaces has a large crack through it. This access aisle is the only accessible route from the designated accessible parking spaces to the main entry ramp. Department parking is located on the North end of the site flanking the apparatus apron. The apron is concrete, extends roughly 43 feet from the apparatus bay doors to the public sidewalk, and is striped with vehicle lanes as well as hazard zones where it intersects the public sidewalk. Three parking spaces, located directly in front of the main entrance door, exit into an apparatus lane and could be a potential hazard during a response event.

Northeast of the North parking area is a lawn that slopes down into an adjacent property. The lawn area wraps the East side of the building and slopes up the South façade until it meets the public parking and drive aisle again on the Southwest. There are three levels of grade change along the Southwest façade, separated by timber retaining walls. The main lawn area steps down roughly three feet to a lower sidewalk and lawn area leading to a swing door. From the mid-level, another roughly 3 foot step occurs at another retaining wall down to a sunken patio and additional swing door. The sunken patio pavers are in fair to poor condition with vegetation establishing in the joints. The patio is landlocked by the building, mid-level retaining wall, the main entry ramp, and a raised planting bed. There are no guardrails on either retaining wall surrounding the patio, leaving a potential fall hazard. Timber retaining walls appear to have been recently extended vertically and are in good condition. Concrete stair down to the sunken patio is in poor condition with missing patches of concrete and rusted rebar exposed at some treads. The stair also does not have code compliant guardrails or handrails. The stair has inconsistent riser heights, many exceeding code maximum 7" per the current Massachusetts Building Code. A large gap between the building and concrete retaining wall is allowing for soil and leaves to fall through and collect at the patio level.

The main entrance is served by a concrete ramp and small stair. The accessible ramp has the code required landing at the midpoint, however, the landing does not meet cross slope requirements to be considered compliant with the Architectural Access Board (AAB) pursuant to 521 CMR regulations. The stair consists of two steps and has no handrail. Both the ramp and stair meet at a large landing at the main entrance. The landing has an older storm water grate with holes larger than the ½" maximum allowable within a travel path under the 521 CMR. The grate could be a potential tripping hazard.

### Structural and Foundations

No major structural defects were observed.

*The scope of work did not include a structural evaluation by a license structural engineer. The building should be evaluated prior to undertaking any major renovations.*

### Building Envelope Evaluation

The building envelope is in fair condition and mainly consists of fluted concrete masonry units. A split face tan block makes up most of the façade and is accented at recessed areas with a smooth reddish concrete masonry unit. The apparatus bay appears to be constructed of load bearing masonry and the property card indicates a steel structural frame at the remainder of the building. It is assumed that insulation is in the cavity space at the stud-framed walls and that the main apparatus bays are uninsulated mass walls. Neither condition meets the minimum R-value per the Massachusetts energy code. Exterior masonry is in good to fair condition. Some minor efflorescence was noted along the West façade and multiple elevations were either missing weep holes or weep holes were left open. Multiple patches at the watch room have been previously completed with mismatched masonry colors.

Historical photographs indicate the standing seam metal roof, standing seam wall panel, flashings, and parapet caps were recently painted and are in good condition with only minor denting and paint peeling. Most of the roof area consists of a membrane roofing of unknown age. The membrane roof is separated into two volumes with the high section located at the apparatus bay. The roof appears to be in fair condition; however, ponding was noted surrounding some roof-mounted mechanical units. Rusted flashing was observed at the unit curbs as well. The upper roof areas are drained internally with combination overflow drains. Some roof-mounted mechanical units are located within 10 feet of the parapet. The parapet is not high enough to be considered "fall protection" and no additional fall protection, such as tie off points, is available. Lower single-story areas are roofed with a hip-style architectural asphalt shingle. Historical photographs appear to indicate the original standing seam metal roofing at this location was replaced sometime after 2007. Lower roof areas are drained utilizing metal gutters and downspouts. Downspouts located at the sunken patio empty directly onto the pavers and other downspouts are connected to a subsurface drainage system. Minimal areas of the buildings original standing seam roof still exist at the entry tower and as overhangs on the Northwest and Southeast facades of the apparatus bay and are in good condition.

Entry doors and sidelights at the main entrance on the lower level and the Southeast entry door at the upper level are single-glazed aluminum entrance systems. A similar storefront system was used at the Watch Room. The balance of fenestration are single-glazed aluminum windows and appear to be original to the building. These openings do not meet the maximum U-values per the Massachusetts energy code.

### **Building Interior Evaluation**

The lower level consists of Locker Rooms, Day Room, Dormitories, Dispatch, and Administration, and a large Apparatus Bay space with adjacent storage, training, and support functions. The main entry enters a small vestibule with a door and sliding transaction into a receptionist office. Another door leads to the Watch Room and a third door enters the main stairwell. A Passing through the main stair leads to a U-shaped corridor connecting the Day Rom, Dormitories, and Apparatus Bays back to the stair. Interior partitions are a mix of painted drywall and concrete masonry units ranging from good to poor condition. Poor condition of gypsum board walls is mostly isolated to the Janitor's closet, Men's locker and shower rooms, and the circulation corridor that connects much of the lower-level program space. All toilet and shower areas also have a ceramic tile up to roughly 48" and is in fair condition. Vinyl Composite Tile (VCT) located throughout the Locker Rooms, Lobby, Watch Room, and circulation corridors is in fair to poor condition. Missing floor tiles were observed at a plumbing cleanout as well. Carpet tile in the dormitories is in good condition. Lower-level ceilings consisted mostly of suspended acoustical ceiling (APC) and were in fair to poor condition throughout. Ceiling tiles were badly stained in the locker rooms and the janitor's closet. ACT in the lobby and reception was noted to be in good condition. Painted concrete floor slabs were observed to be in poor condition throughout the apparatus bay and nearby storage and support functions. Large cracks were noted specifically near floor drains. It appears grooves have been sawcut into the concrete slab from the center of each bay angling towards the floor drain, indicating a drainage issue. Decontamination is located at the lower

## FIRE COMPANY #2 - EXISTING CONDITIONS ASSESSMENT

level in the footprint of the former hose drying tower. In addition to the concrete slabs being in poor condition, the space did not have housekeeping pads under the washer, dryer, or extractor. Painted concrete masonry unit walls are in fair condition throughout the apparatus bay space and there was no ceiling beneath the exposed steel bar joists.

A single stair is located at the center of the station. This stair has two doors per level and serves as the central spine connecting all programmed space. The stair surface is made up of VCT at the landings and a rubber tread system at all treads and risers. Walls are a mix of painted gypsum board and concrete masonry units, and the ceiling is ACT. Painted metal stringers, guardrails, and handrails all appear to be recently painted. All components within the stair are in good condition.

The stair leads to a landing at the upper level and serves as the node connecting the two halves of the building. One side consists of a small training room and the other leads to a circulation corridor with offices, storage, and toilet rooms. The circulation corridor contains a storage function along one side adjacent to the exterior door. The Chief's Office and Deputy Chief's Office are connected away from the corridor with a combination kitchenette/copy room. Carpet tile flooring located throughout the offices, closets, and corridor is in good condition, however, some repairs are necessary at the training room due to it being a higher traffic area. There are two toilet rooms on this level. One is located along the corridor and the other is a private toilet room in the Chief's Office. Ceramic tile at the walls and floors of both toilet rooms is in fair condition. Painted gypsum board and masonry walls throughout the training room, offices, toilets, and corridor are in good condition. The remainder of the floor consists of 2'x4' APC ceilings and are mostly in fair condition. Heavy staining was observed at ceilings located in the corridor toilet, storage room, and within the Chief's closet. The storage room is located above the Decontamination room within the former hose drying tower. The floor assembly was wood framed with a luxury vinyl tile (LVT) finish which was in fair to poor condition.

### **Life Safety/Code/ADA**

The facility does not have an elevator. Although both levels are technically accessible at grade, this causes a situation where a person unable to use the stairs will need to travel around the exterior of the building to transverse between levels. Showers, sinks and toilets throughout the building do not have the required clearances or grab bars to be considered accessible and pipes below the sinks in the toilet rooms are not insulated. The showers are neither a transfer or roll-in type that could be considered accessible and there are no ADA benches located in the locker rooms. A threshold is located at the former demising wall into the old Fire Prevention office and is too tall. Push and pull clearances are inadequate at doors into both locker rooms, the Day Room, and the Apparatus Bays. The Day Room kitchen is not considered accessible. There is no lower counter surface, and the sink does not have the required clear space. Range controls are also not within an accessible reach range. The Women's Dormitory can only be accessed inside the building via a small interior stair. There is an exterior door as well, however, this leads to a sunken level which is also accessed by stair. The travel path within the watch room is narrow and the doors exceed the opening force limitations to be considered accessible.

Stairs throughout the interior and exterior of the building have guardrails and handrails, however, most do not meet all conditions of the code to be considered compliant. The main stair has multiple issues; It does not have the required continuous handrail with top and bottom extensions, is too narrow to meet minimum egress width requirement, and only exhibits a 36" tall guardrail. The small stair at the Women's Dormitory has similar defects and is not considered code compliant. Although an inherent fire rating exists at the masonry walls between the apparatus bay and adjacent support spaces, the former hose tower does not have a rated floor-ceiling assembly which could allow the spread of flame and smoke between floors.

### **Operational**

The Apparatus Bay currently has space designated in the rear of the bays for Fitness, SCBA, storage, janitors, and Turnout Gear Lockers. Food and Water have also been stored in the bays. Not only does this limit the storage of Apparatus, but these spaces should also be separated from the bays to avoid cross contamination per NFPA 1581. The apparatus bays are 67'-0" deep x 63'-4" wide and are divided into four equal bays. These bays are single sided back-in bays with overhead sectional doors that are 12'-8" x 14'-0". The low point in the bays is the underside of the overhead door motors at 14'-6". There are no transition zones between hot and cold areas of the apparatus bay and support spaces. Hot Zones, as defined by NFPA 1500, are control zones that are in contact with hazardous materials such as the Apparatus Bays and Turnout Gear. Cold Zones are areas that do not potentially have contact with hazardous substances, such as the bunk rooms. Turnout gear is also located on the far end of the apparatus bays, requiring responders from inside the building to have to traverse the entire bay floor to get their gear increasing response time and reducing responding safety as they need to cross vehicle paths. Turnout gear should not be located within the bay per NFPA 1581. The layout within Decontamination is inefficient and does not provide proper working clearances in front of the equipment. EMS storage does not have any security. The training room is undersized for a department of this size. Bunk rooms are undersized, have minimal storage, and do not contain a desk. The apparatus bay is equipped with a vehicle exhaust extraction system manufactured by Plymovent.

### **Site Utilities**

The building is served by a natural gas service located adjacent to the Apparatus Bay doors.

### **Fire Protection**

The existing building does not contain a fire sprinkler system. The building appears to have residential-style smoke detectors throughout and a central fire alarm system, although a panel was not located at the time.

### **Mechanical Systems**

Heating and cooling are provided by a combination of roof and ground-mounted Heat pumps. Ductless mini split units serve the bunk rooms. All units are roughly 10-15 years old and appear to be in working condition. Baseboard heating in the Training Room appears to be modified and it is unclear if these units are functioning.

### **Electrical Systems**

Electrical power is assumed to be provided underground. Further investigation is required to confirm if the building has three phase power.

Interior lighting consists of a mix of 2x2 and 2x4 LED retrofit fixtures. Assumed incandescent lighting was observed at the shower stalls and down lights in the Day Room. Some 2x4 fluorescent lighting was also observed at the upper-level office spaces.

Standby power is provided to the entire building by a 100 kW MTU diesel generator. The generator is located outside on the South of the building and has an integral subbase fuel tank and weather enclosure.



Photo 1: Northwest façade.



Photo 2: Main Entrance.



Photo 3: Partial Northwest façade.

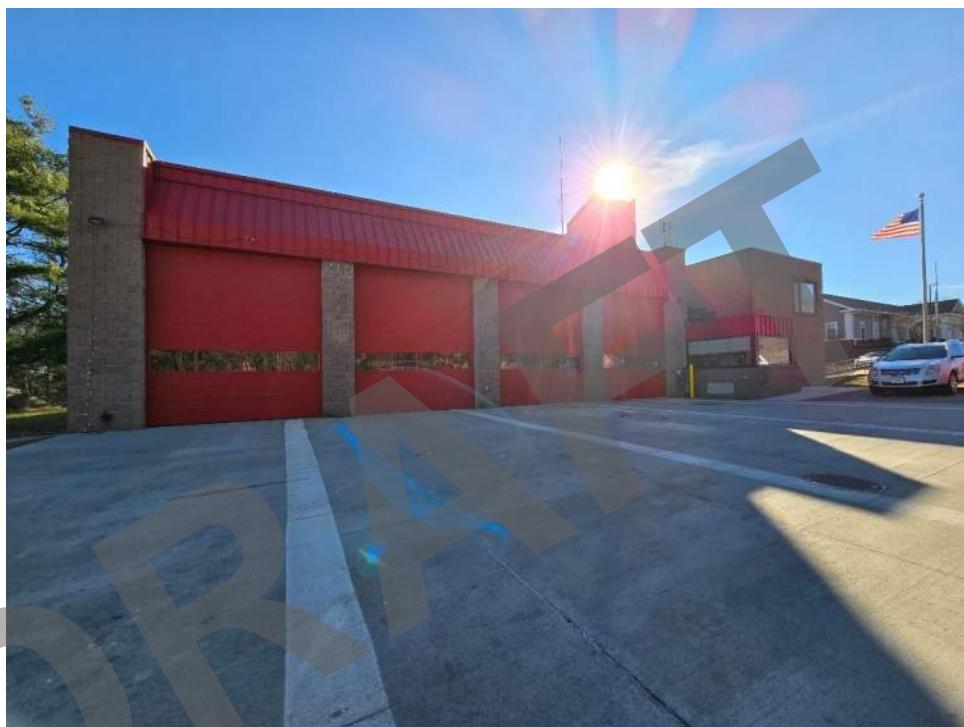


Photo 4: Northwest façade.



Photo 5: Northeast façade.



Photo 6: Partial Southeast façade.



Photo 7: Partial Southeast façade.



Photo 8: Partial Southwest façade.

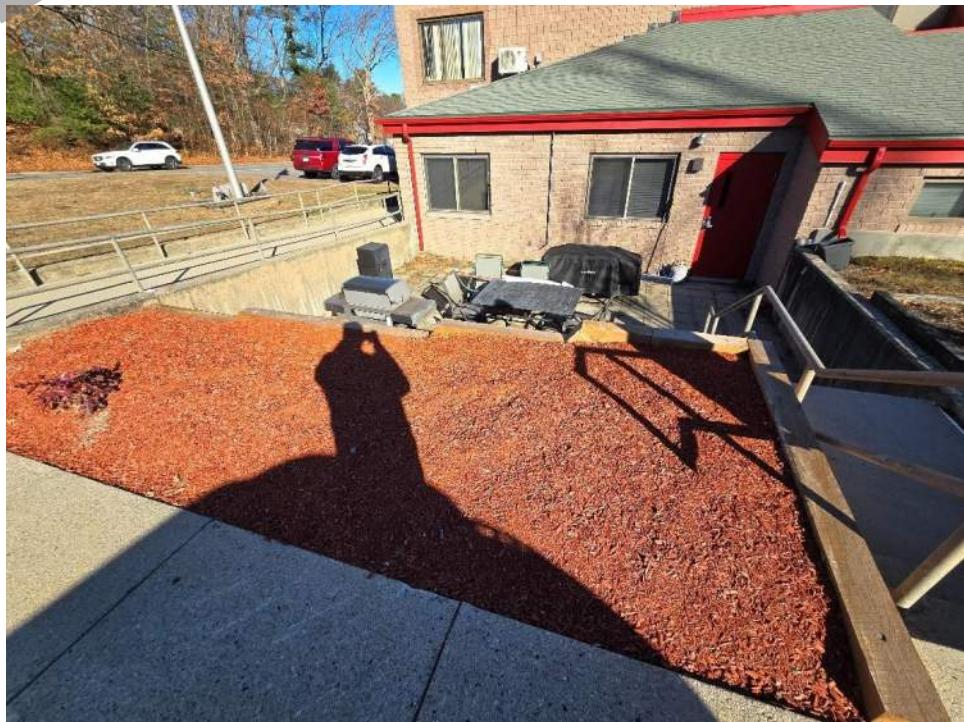


Photo 9: Partial Southwest façade and sunken patio.



Photo 10: Main roof (membrane).

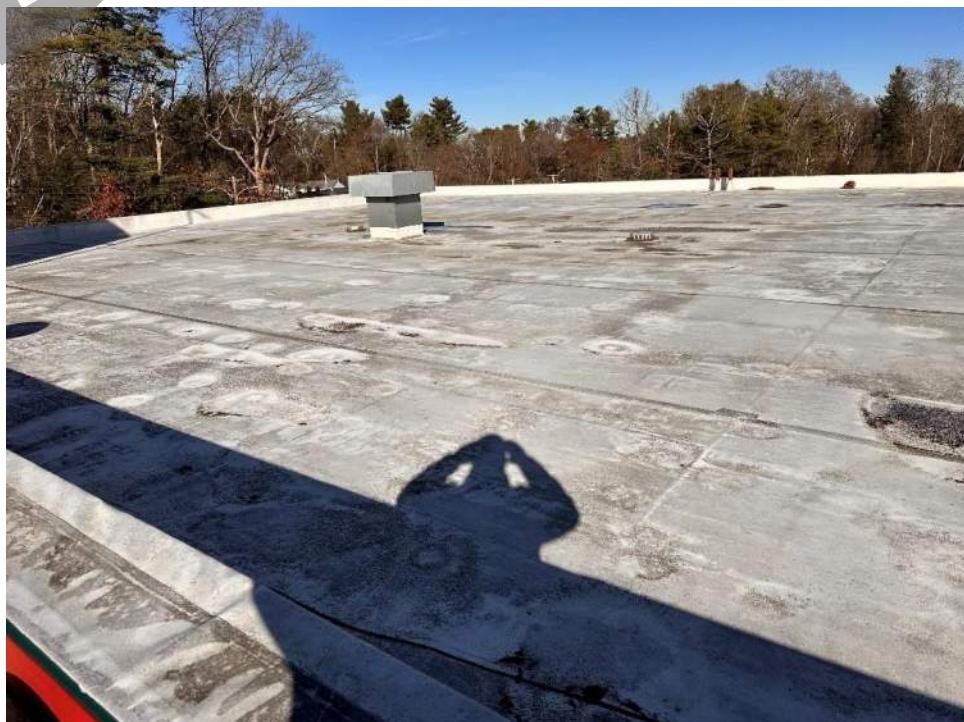


Photo 11: Main roof (membrane).



Photo 12: Asphalt Shingle Roof



Photo 13: Sunken patio retaining wall.



Photo 14: Main Entrance door.



Photo 15: Upper level rear entrance.



Photo 16: Apparatus Bay overhead doors.



Photo 17: Apparatus Bay swing door.



Photo 18: Sunken patio swing door.

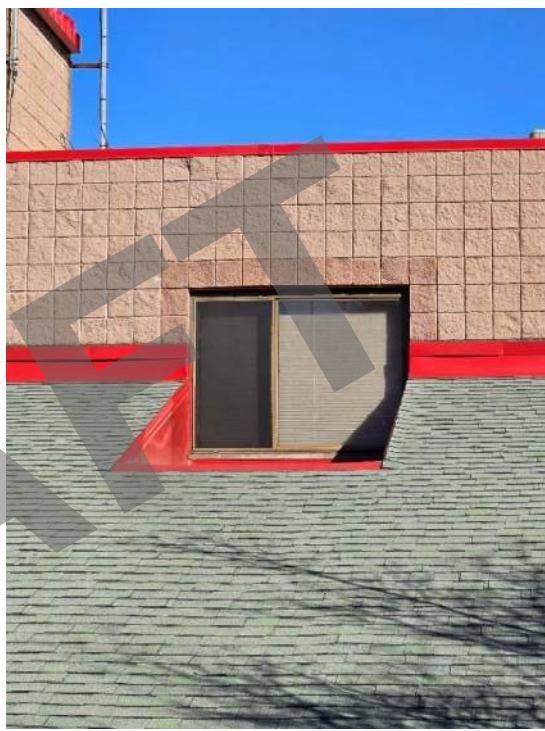


Photo 19: Upper-level window well.

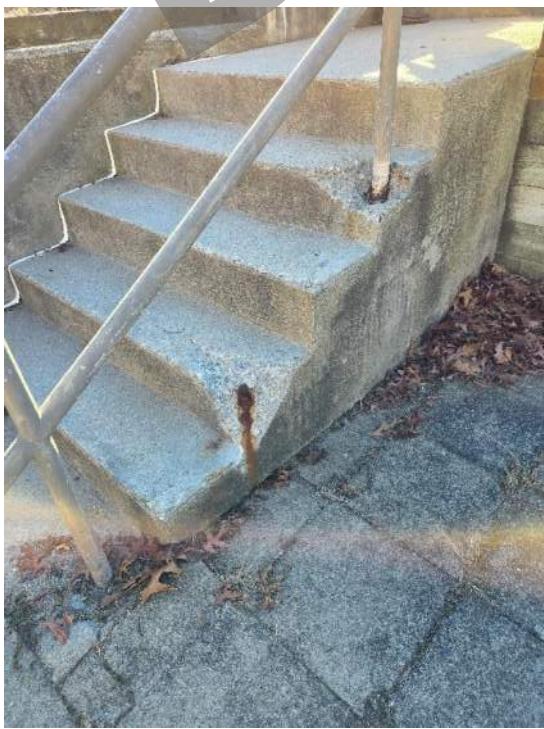


Photo 20: Sunken patio stair.



Photo 21: Ramped parking access.



Photo 22: Site signage.



Photo 23: Flagpole.



Photo 24: Grate at main entry.



Photo 25: Low roof gutter and rainwater leader.



Photo 26: Metal windows.



Photo 27: Exterior concrete stair.



Photo 28: Masonry cracking above windows.



Photo 29: Metal windows.



Photo 30: Failing masonry soft joint.



Photo 31: Cracking sidewalk.

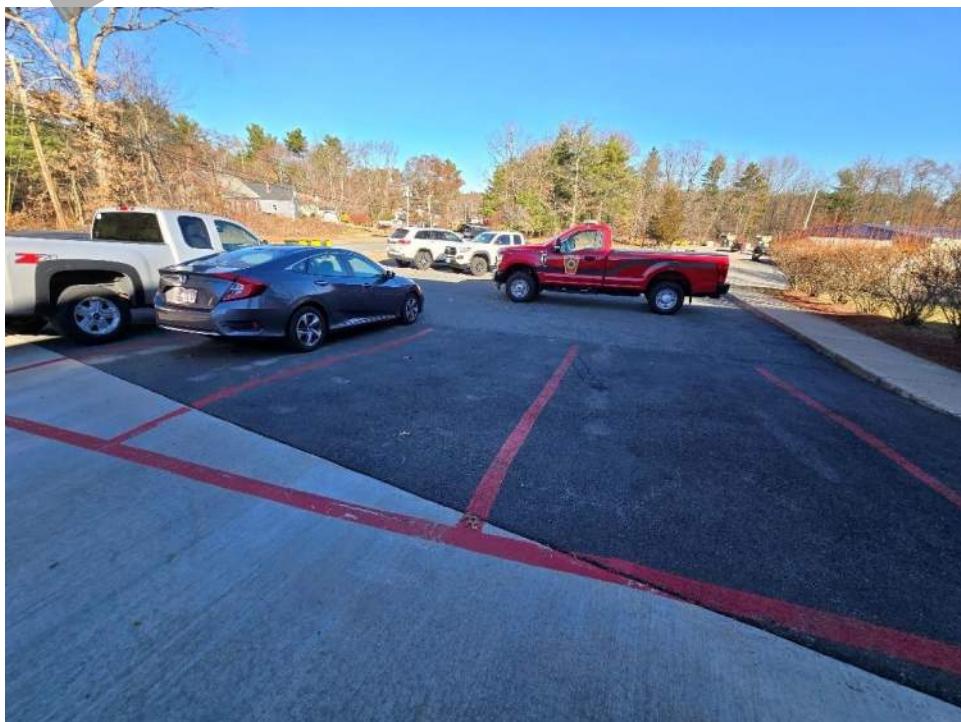


Photo 32: Lower parking area.

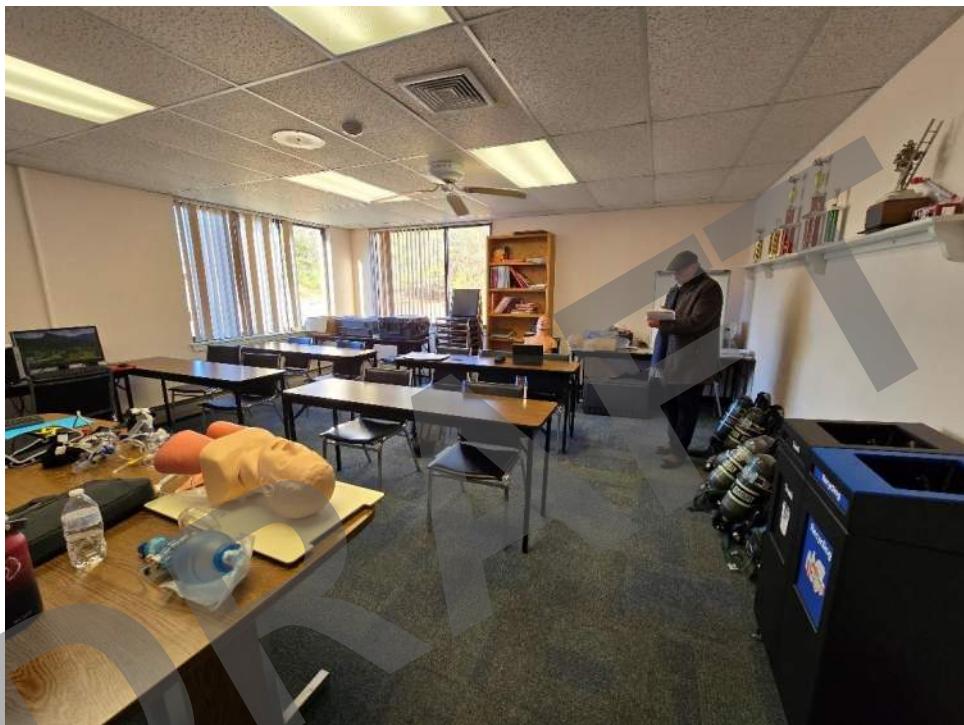


Photo 33: Training Room.



Photo 34: Training Room stained ceiling tiles.

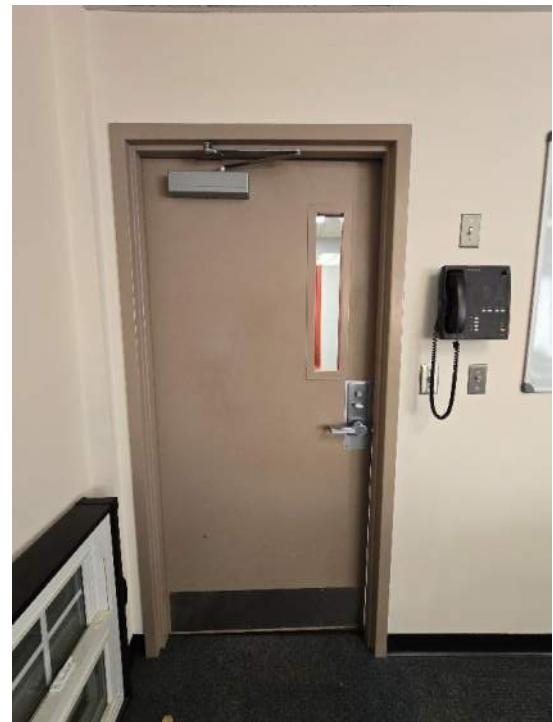


Photo 35: Training Room exit door.

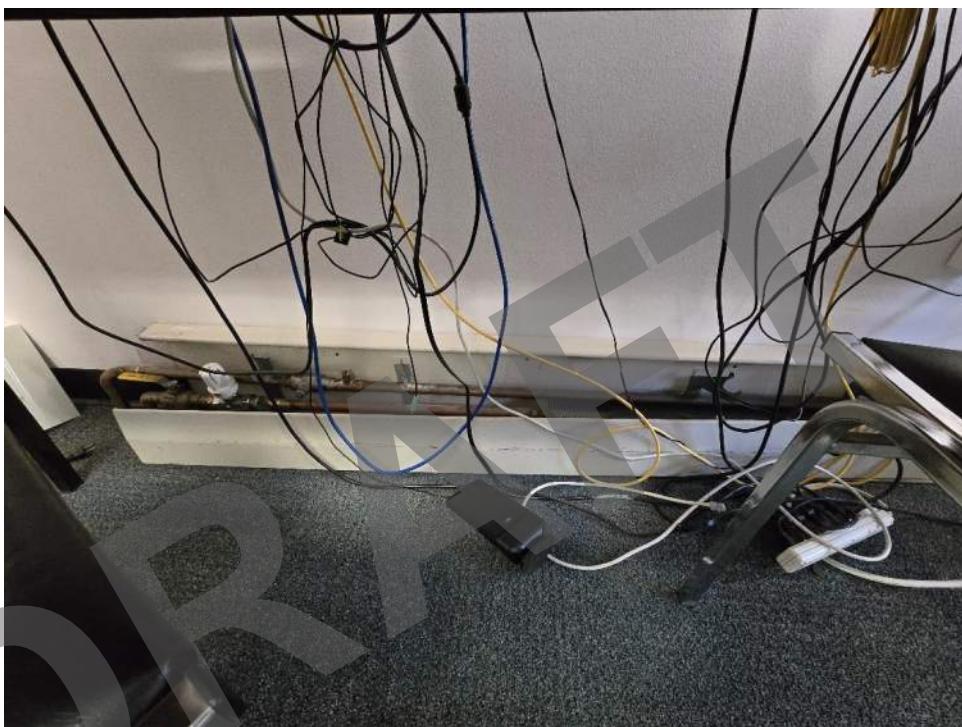


Photo 36: Training Room radiant baseboard heaters.



Photo 37: Training Room window.



Photo 38: Chief's Toilet



Photo 39: Chief's window.



Photo 40: Kitchenette/Storage at offices

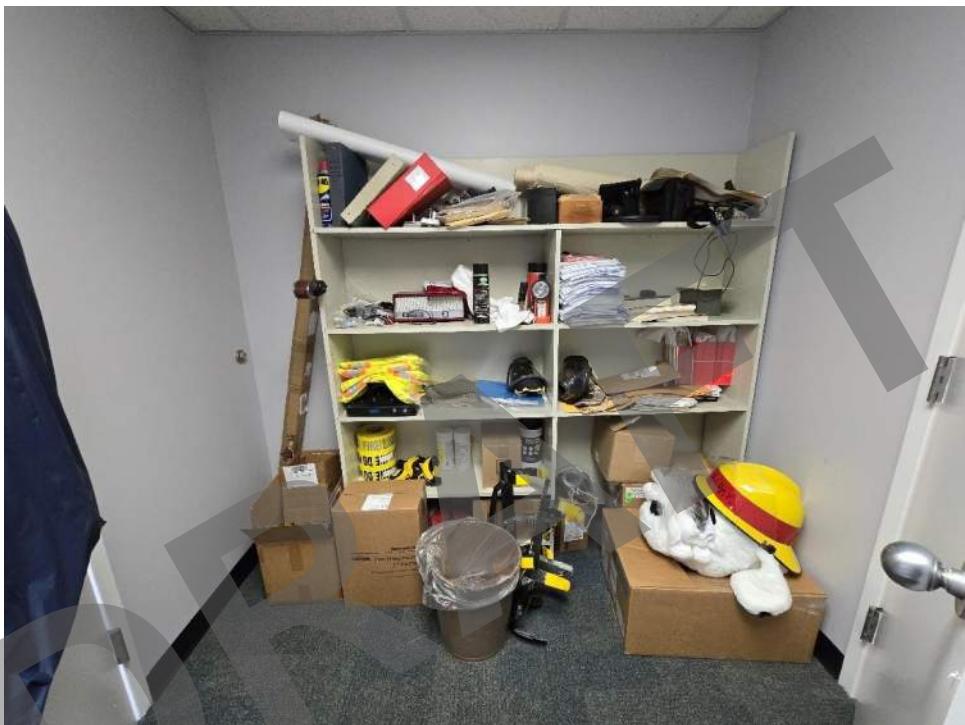


Photo 41: Kitchenette/Storage at offices

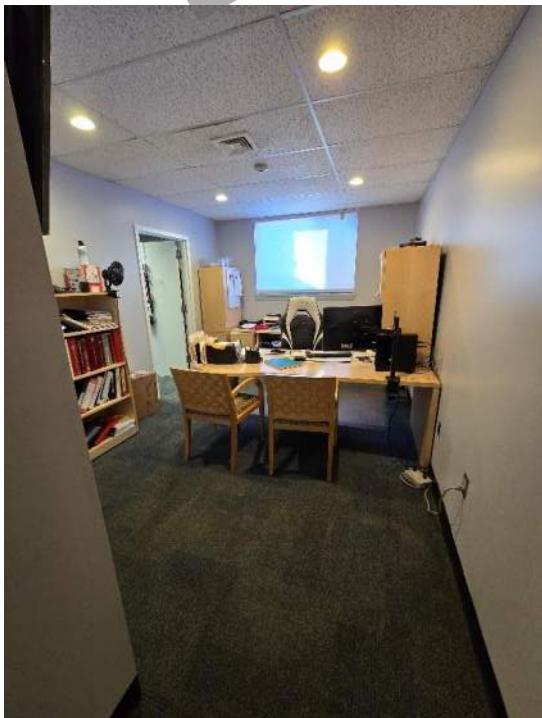


Photo 42: Deputy Chief



Photo 43: Upper-level entry/file storage.

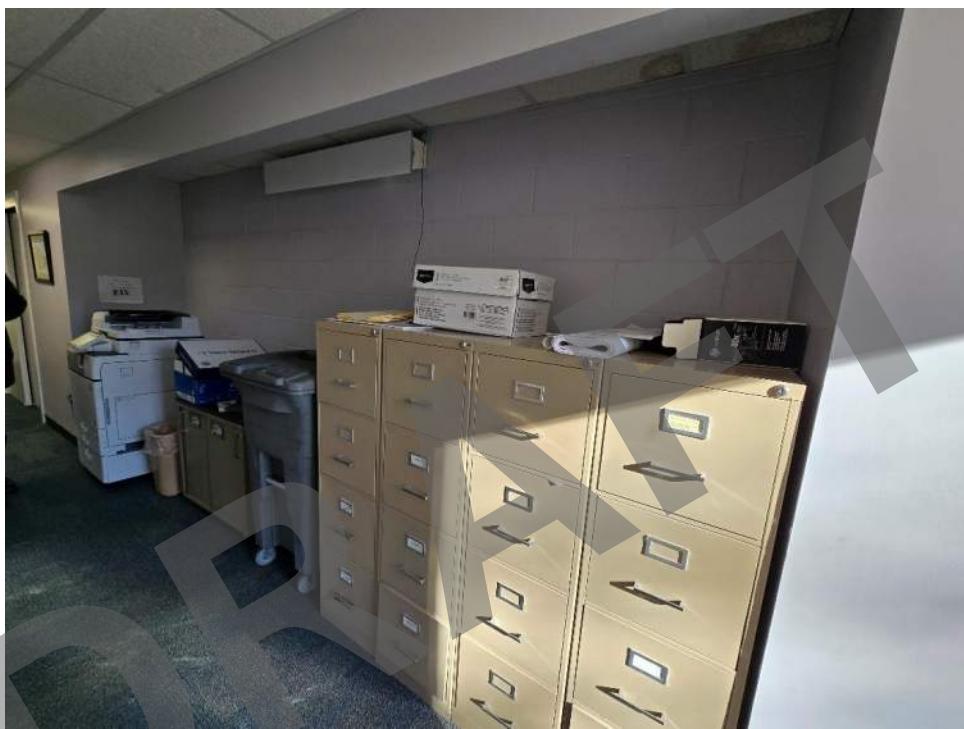


Photo 44: File storage/copy area (in corridor).

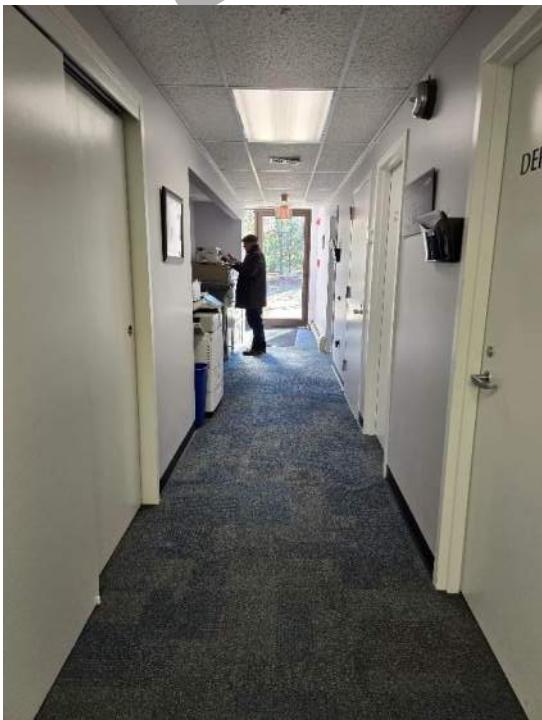


Photo 45: Upper-level Corridor.



Photo 46: Upper-level Toilet room.



Photo 47: Upper-level Toilet room ceiling.



Photo 48: Storage Room (former hose tower).

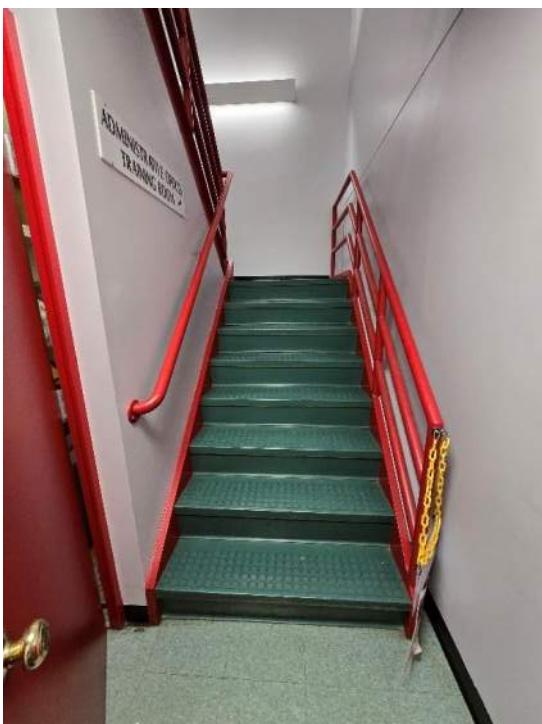


Photo 49: Main Stair.

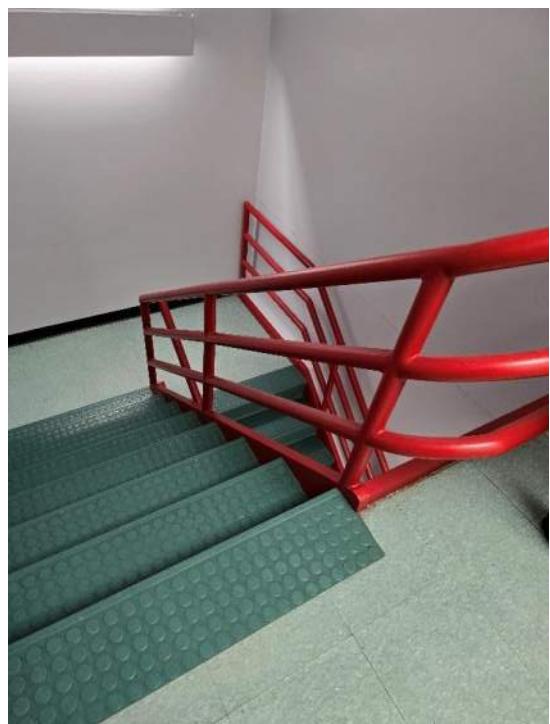


Photo 50: Main Stair.

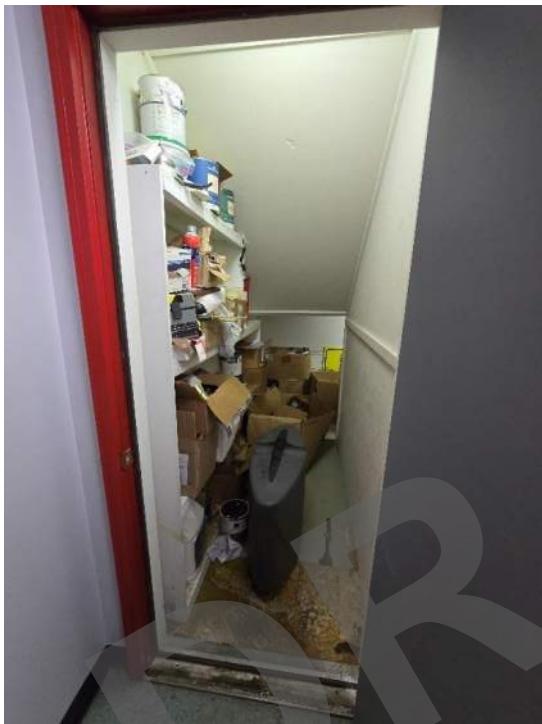


Photo 51: Storage (below stair).



Photo 52: Lower-level circulation corridor.



Photo 53: Male Bunk Room.

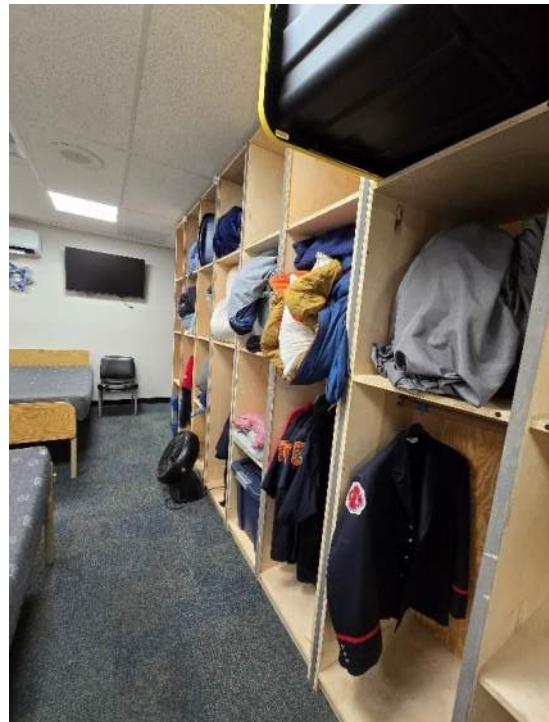


Photo 54: Male Bunk Room storage.

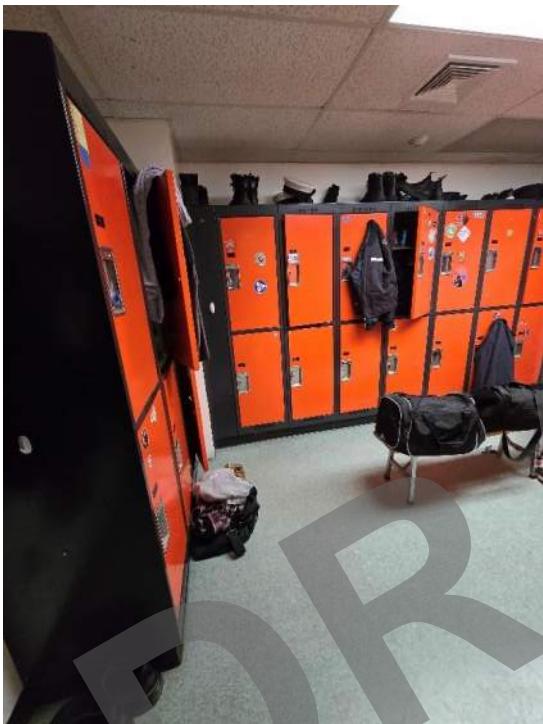


Photo 55: Male Locker Room.

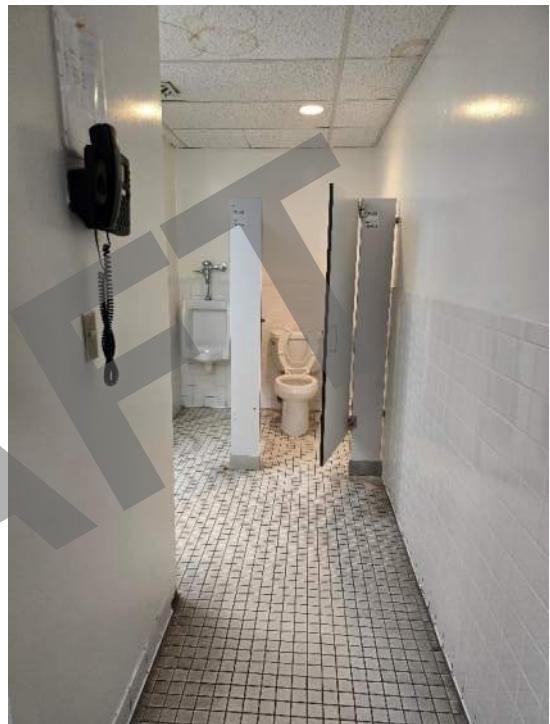


Photo 56: Male Shower/Toilets.



Photo 57: Male Shower/Toilets.



Photo 58: Male Shower/Toilets.



Photo 59: Male Shower/Toilets.



Photo 60: Female Bunk Room.



Photo 61: Female Bunk Room storage.

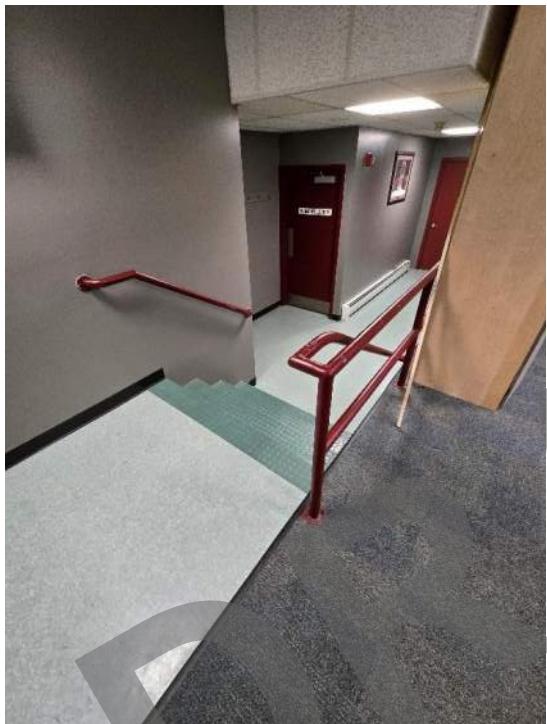


Photo 62: Communicating stair  
(within Female Bunk Room).

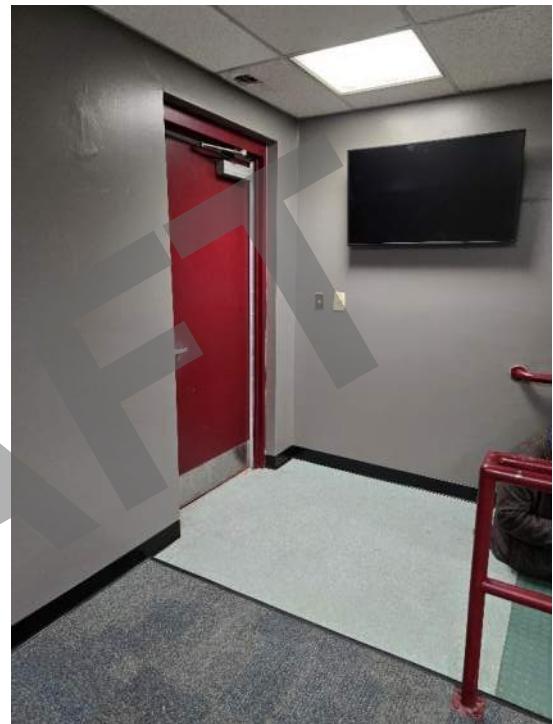


Photo 63: Exit Door  
(within Female Bunk Room).



Photo 64: Apparatus Bays.

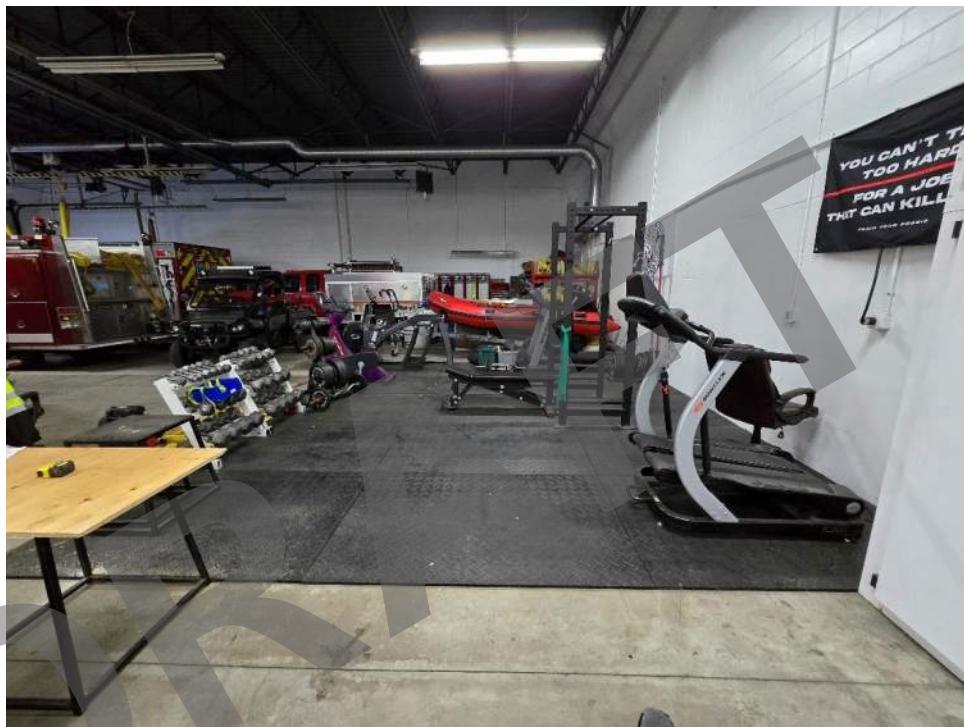


Photo 65: Fitness Room (within Apparatus Bays).



Photo 66: SCBA and storage (within Apparatus Bays).

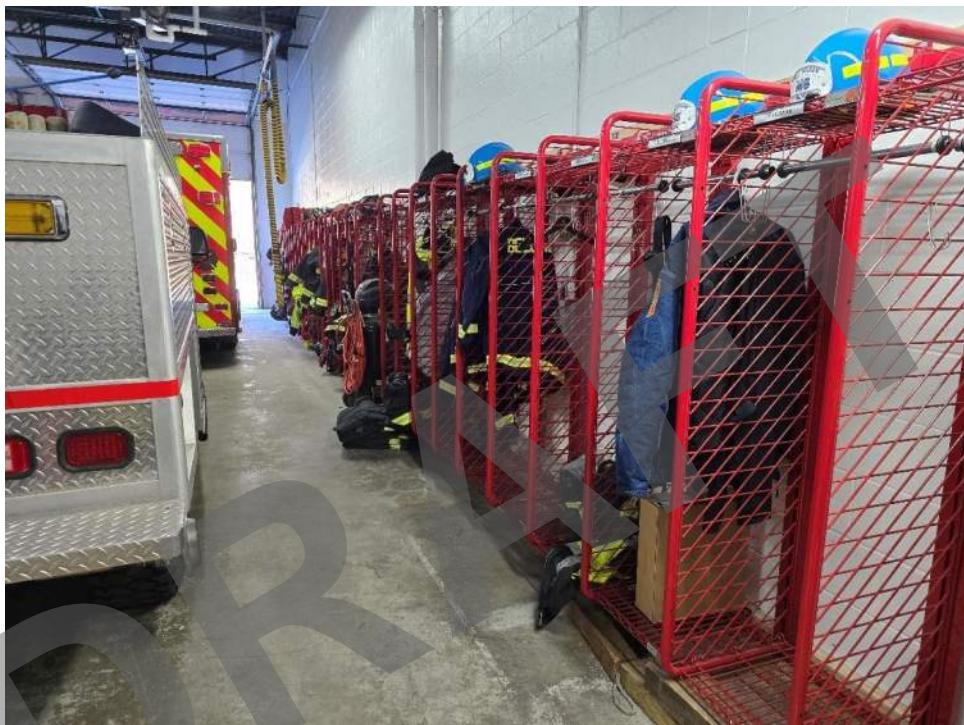


Photo 66: Turnout Gear lockers (within Apparatus Bays).



Photo 67: Hose storage (within Apparatus Bays).



Photo 68: Maintenance (within Apparatus Bays).



Photo 69: Decontamination



Photo 70: Decontamination



Photo 71: EMS Storage.

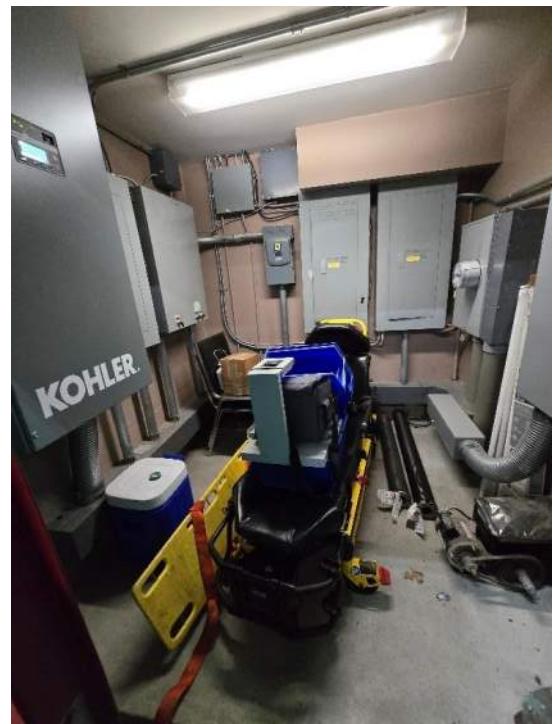


Photo 72: Electrical Room.



Photo 73: Dispatch.



Photo 74: Lobby display cases.



Photo 75: Boiler 1  
(natural Gas).



Photo 76: Hot water heater  
(natural gas).

## HEADQUARTERS (CENTER STATION) EXISTING CONDITIONS



Photo 77: Multi-Split Heat Pump



Photo 78: Generator



Photo 79: Rooftop Unit

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FIRE COMPANY #3  
EXISTING CONDITIONS ASSESSMENT

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ARCHITECTS

## FIRE COMPANY #3 - EXISTING CONDITIONS ASSESSMENT

### The Facility:

Name:	Fire Company #3
Address:	2 Maple St, Bellingham, MA 02019
Type / Use:	Fire Station – 1 Apparatus bays
Total Building Area (SF):	1,125 SF (Garage only)
Site Area (acres):	~0.30 Acres
Stories (above grade – lowest level):	1 stories
Building / Framing Materials:	Brick & Vinyl Siding Single Wythe CMU
Split-level / ramps (interior):	
Stairs (interior):	Half level up to Community Center
Elevator:	No
Basement:	No
Mezzanine	N/A
Crawl Space / Tunnels:	N/A
Temporary Structures:	N/A
Auxiliary Buildings:	N/A
Full ADA Compliance:	No
Site Amenities / Training:	Training Equipment in Garage bay
Original Construction:	Unknown
Additions (dates):	N/A
Construction Type(s):	VB (equivalent)
Roof Types & Age:	Asphalt Shingles (unknown)
Heating (types):	Unit Heaters
Fuel Types:	Natural Gas
Cooling (centralized):	N/A
Ventilation:	
Electrical:	Overhead
Generator:	N/A
Fire Alarm:	None
Sewer / Septic	Sewer
Municipal Water / Well	Municipal Water
Sprinklered (full / partial):	None

## Fire Company #3 Existing Conditions Assessment

### Overview

On December 4, 2024, Tecton Architects performed a visual assessment of the existing Fire Company #3 building and site. Fire Company #3 is located at 2 Maple Street and is a one-story garage attached to the side of a Community Center building. The garage itself is approximately 1,125 sf. The garage door faces Northwest towards Hartford Avenue. The garage bay is accessed from two swing doors and has a connection on the interior back to the Community Center. The age of the building is unknown; however, Bellingham GIS software indicates the property was last sold in 1940.

The following is a summary of deficiencies that may require consideration as part of a Capital Improvement Plan (CIP), future renovation, or addition.

### Major Deficiencies Summary

- Accessibility issues
  - Door thresholds exceed code maximums
- Operational
  - Response deficiencies
  - Used as overflow storage and Training for main facilities
- Site
  - No designated parking
  - Drive aisles and curbs in poor condition
- Structural
  - Additional structural deficiencies may exist depending on the level of renovation or alteration the building may undergo in the future. The building structural system should be evaluated by a licensed structural engineer prior to undergoing any major renovation.
- Ineffective thermal envelope throughout
  - Uninsulated masonry walls
- No separation of hot & cold zones in apparatus bay and support spaces

### Site

Bellingham Fire Company #3 is located at the intersection of Maple Street and Hartford Ave. The overall parcel is roughly 1/3 of an acre, however, this is shared with the Community Center it is attached to. The site is bounded on two sides with streets on the West and South and residential properties on the North and East. The station takes up a large portion of the site and the rest consists of drive aisles and parking for the Community Center. There is a larger auxiliary paved area to the Northeast. The apron extends off the face of the garage towards Hartford Ave and is a bituminous asphalt pavement. Bituminous asphalt paving wraps three sides of the garage and is all in fair to poor condition.

There is no dedicated site lighting except for a few building-mounted fixtures. One of these fixtures is broken and is hanging by its wires. No on-site catch basins were observed.

### Structural and Foundations

No major structural deficiencies were observed.

*The scope of work did not include a structural evaluation by a license structural engineer. The building should be evaluated prior to undertaking any major renovations.*

### Building Envelope Evaluation

The building envelope is in fair condition. The main façade is made up of a mix of 4" brick veneer to the top of the garage door and wood siding up to the roof line. The wood siding is in fair condition. Minor masonry repair and repointing is recommended at the exterior brick. The other facades appear to be constructed of an uninsulated single-wythe concrete masonry unit (CMU). The CMU was observed to have multiple areas along the North side where previous water infiltration was evident. It is unclear if the water infiltration was still occurring.

The roof consists of an architectural asphalt shingle gable-style roof with gutters and downspouts on the North and South. The roof appears to be reasonably new. Downspouts empty directly onto the drive aisle and into the gravel alleyway between the garage and the Community Center. This could cause potential icing issues around the swing doors and across the apron. The attic is assumed to be insulated at the ceiling plane; however, this was inaccessible and not observed.

All windows appear to be vinyl with wood trim and are in fair condition. Exterior doors are a residential style "raised panel", also in fair condition. The single overhead sectional door is in fair to poor condition. Rust was observed along the bottom edge. The door operator is a residential chain-style and not conducive of rapid response times.

### Building Interior Evaluation

The garage area is open and full of training equipment and overflow storage from the main stations. An exposed concrete slab is in fair condition; however, control joints are deteriorated and full of debris. The walls are painted CMU in fair to poor condition. The aforementioned water infiltration has caused the paint to peel and spall. The ceiling is a painted gypsum board in good condition.

### **Life Safety/Code/ADA**

The facility does not have dedicated toilet rooms and appears to share with the attached Community Center which was not included in the observation. The thresholds at both exterior doors exceed the code maximum height. There are no fire sprinkler or fire alarm systems in the garage area of the building.

### **Operational**

The overhead sectional doors into the garage are 16'-4" x 10'-0" and the bay is 43'-4" x 23'-9" with an 11'-0" ceiling. These dimensional restrictions will limit the size of future Apparatus storage; however, the space is currently used for training and overflow storage only. The modern standard for Apparatus Bay overhead doors is 14'-0" x 14'-0" with a 19'-4" minimum overhead clearance above the engine end of the apparatus. The garage bay is not equipped with a vehicle exhaust system. The apron outside the bay is 50'-0". There is no transition zone between the garage space and Community Center. Hot Zones, as defined by NFPA 1500, are control zones that are in contact with hazardous materials such as the Apparatus Bays and Turnout Gear. Cold Zones are areas that do not potentially have contact with hazardous substances, and in this case refers to the remainder of the building outside of the bay space.

### **Site Utilities**

The building is served by a natural gas service located on the South side of the building.

### **Fire Protection**

The existing building does not contain a fire sprinkler or fire alarm system.

### **Mechanical Systems**

Heat is provided by a unit heater located within the garage bay. There does not appear to be any cooling in the garage.

### **Electrical Systems**

Electrical power is provided by overhead wires to the West side of the building. Further investigation is required to confirm if the building has three phase power. Interior lighting consists of strip LED fixtures at the ceiling.



Photo 1: West façade & apron.

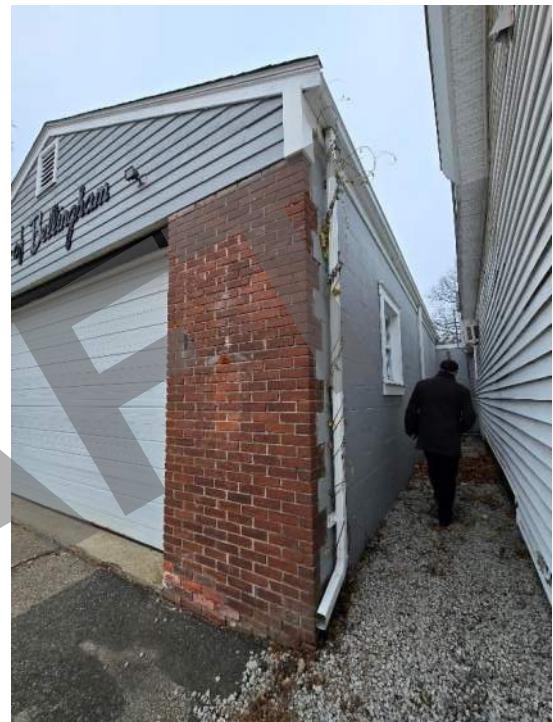


Photo 2: South façade.



Photo 3: North façade.



Photo 4: East façade.



Photo 5: Wood siding and gable vent.



Photo 6: Rear swing door.



Photo 7: Masonry cracking.



Photo 8: Overhead door threshold.



Photo 9: Asphalt shingle roof.



Photo 10: Connector to Community Center.



Photo 11: Building joint and downspout.

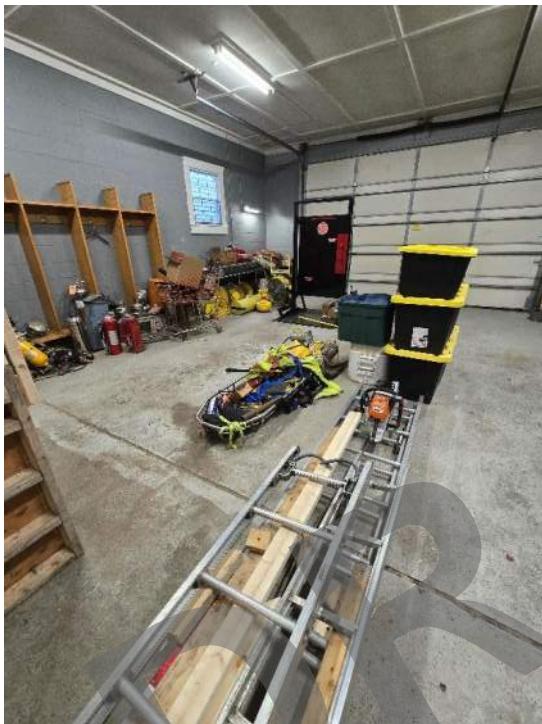


Photo 12: Garage interior.



Photo 13: Garage interior.



Photo 14: Exterior masonry wall staining.

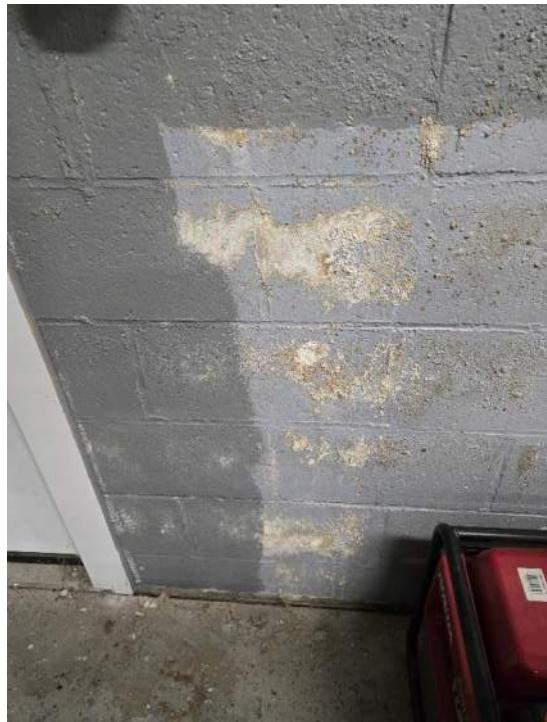


Photo 15: Exterior masonry wall staining.



Photo 16: Concrete slab control joint.



Photo 17: Garage Bay lighting.

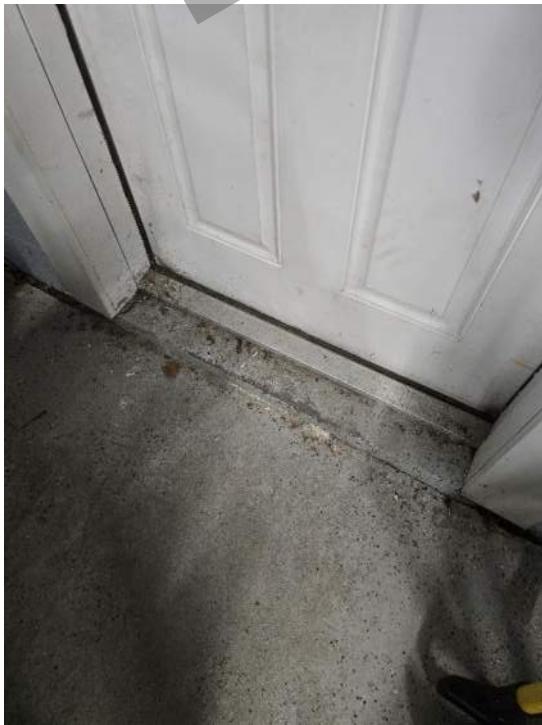


Photo 18: Exterior swing door threshold.



Photo 19: Vinyl double-hung windows.



Photo 20: Unit Heater (gas fired).



Photo 21: Gas service.

DRAFT

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