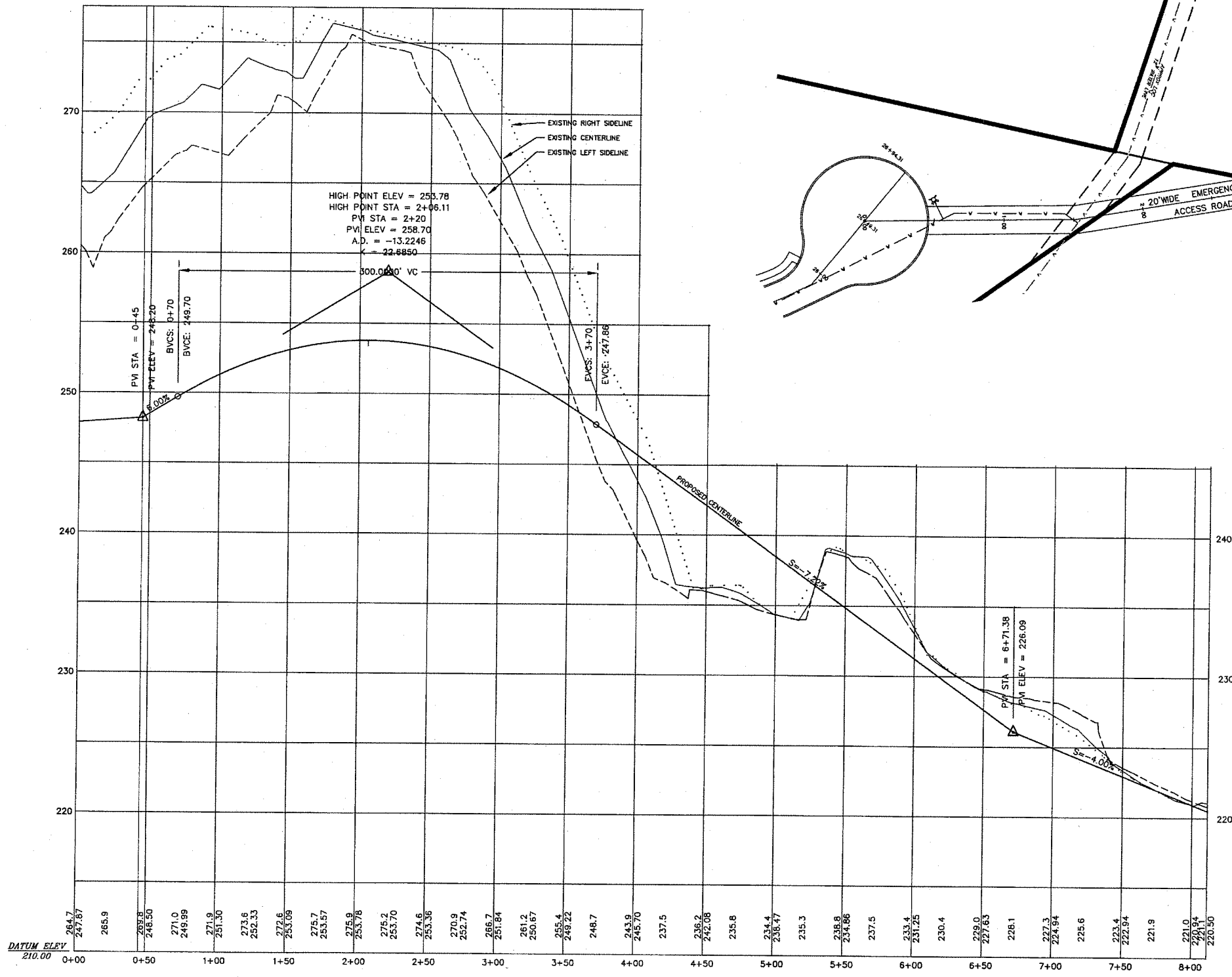
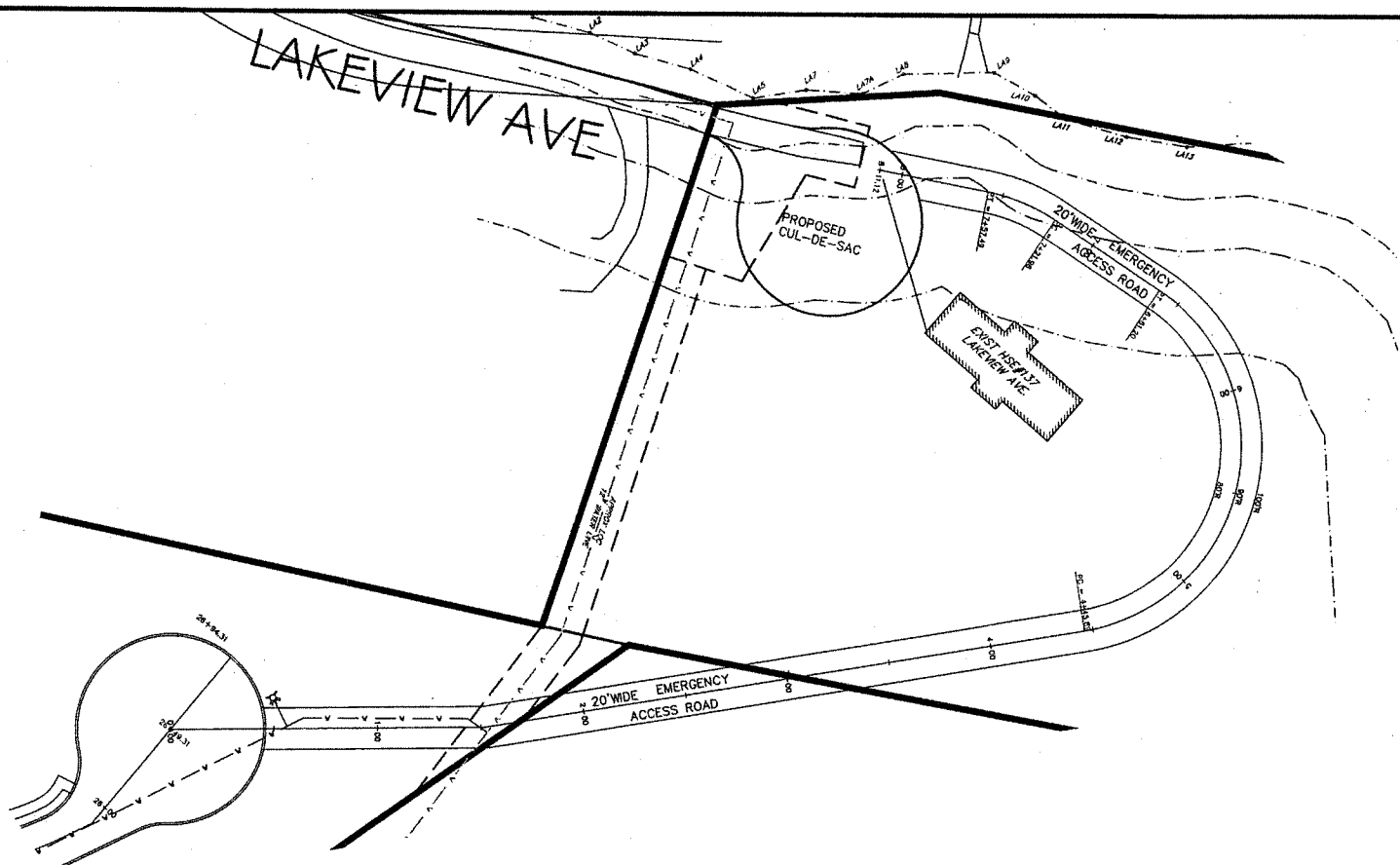




SCALE: Horiz: 1"=40'; Vert: 1"=4'



- LEGEND
- EXISTING UTILITY POLE
 - PROPOSED HYDRANT
 - EXISTING WATER LINE
 - EXISTING CONTOUR LINE
 - PROPOSED CONTOUR LINE
 - PROPOSED CATCH BASIN
 - PROPOSED DRAIN MANHOLE
 - PROPOSED DRAIN LINE
 - PROPOSED SEWER MANHOLE
 - PROPOSED SEWER LINE
 - PROPOSED CAPE COD BERM
 - WETLAND DELINEATION FLAG
 - DEEP HOLE TEST PIT

PLAN & PROFILE ROAD F

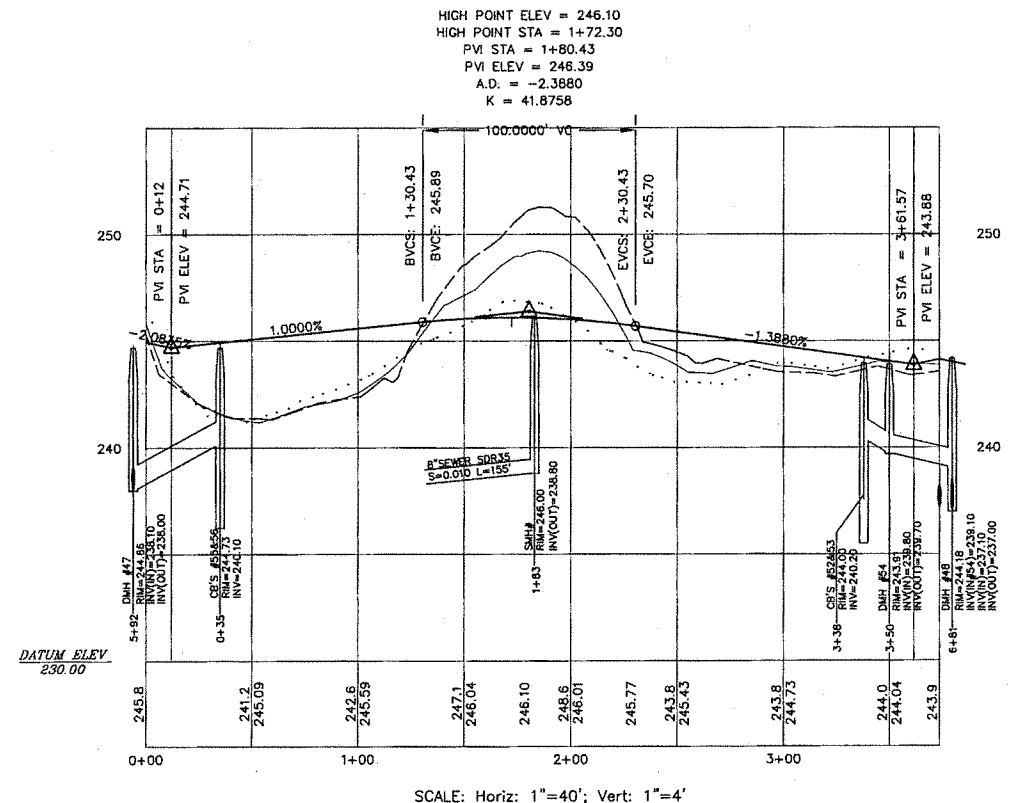
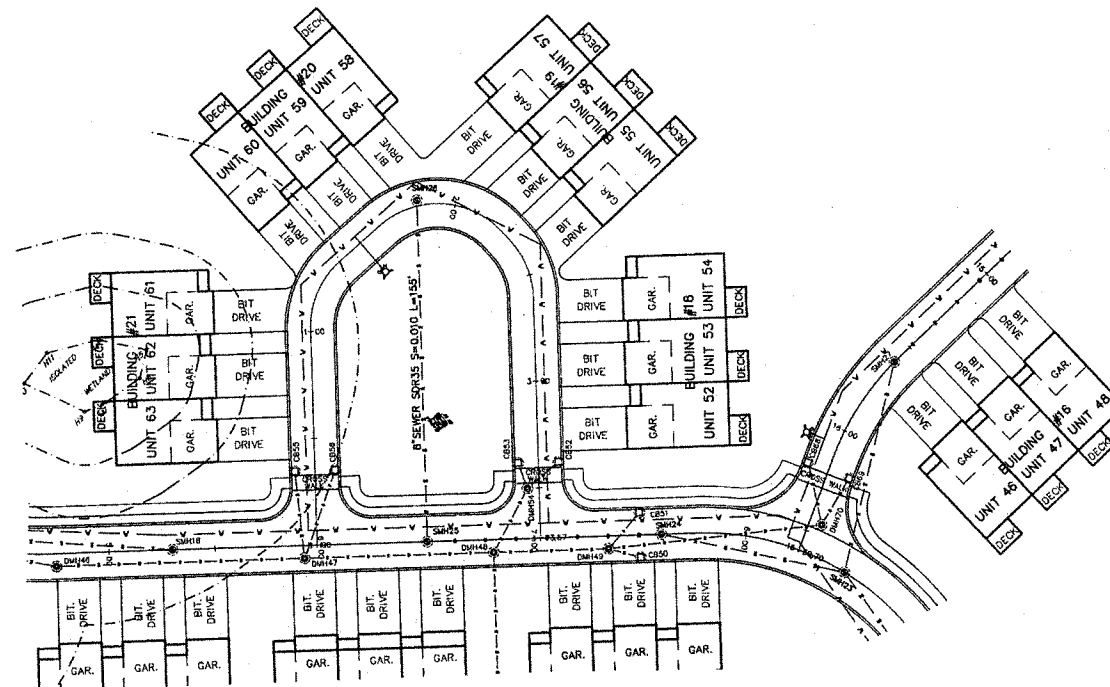
REVISIONS		DESCRIPTION
No.	DATE	WETLAND DELINEATION
1	04/02/2024	

SITE DEVELOPMENT PLAN
 "PROSPECT HILL VILLAGE"
 A MULTI-UNIT RESIDENTIAL DEVELOPMENT
 BELLINGHAM, MASSACHUSETTS

PREPARED FOR:
 WALL STREET DEVELOPMENT CORP.
 P.O. BOX 272
 WESTWOOD, MASSACHUSETTS

GLM Engineering
 Consultants, Inc.
 19 EXCHANGE STREET
 HOLLISTON, MA 01746
 P: 508-429-1100
 F: 508-429-7160
 www.GLMengineering.com

JOB No. 16,590
 DATE: NOV. 30, 2023
 SCALE: 1"= 40'
 SHEET: 31 of 43
 PLAN #: 27,871



- LEGEND
- EXISTING UTILITY POLE
 - PROPOSED HYDRANT
 - EXISTING WATER LINE
 - EXISTING CONTOUR LINE
 - PROPOSED CONTOUR LINE
 - PROPOSED CATCH BASIN
 - PROPOSED DRAIN MANHOLE
 - PROPOSED DRAIN LINE
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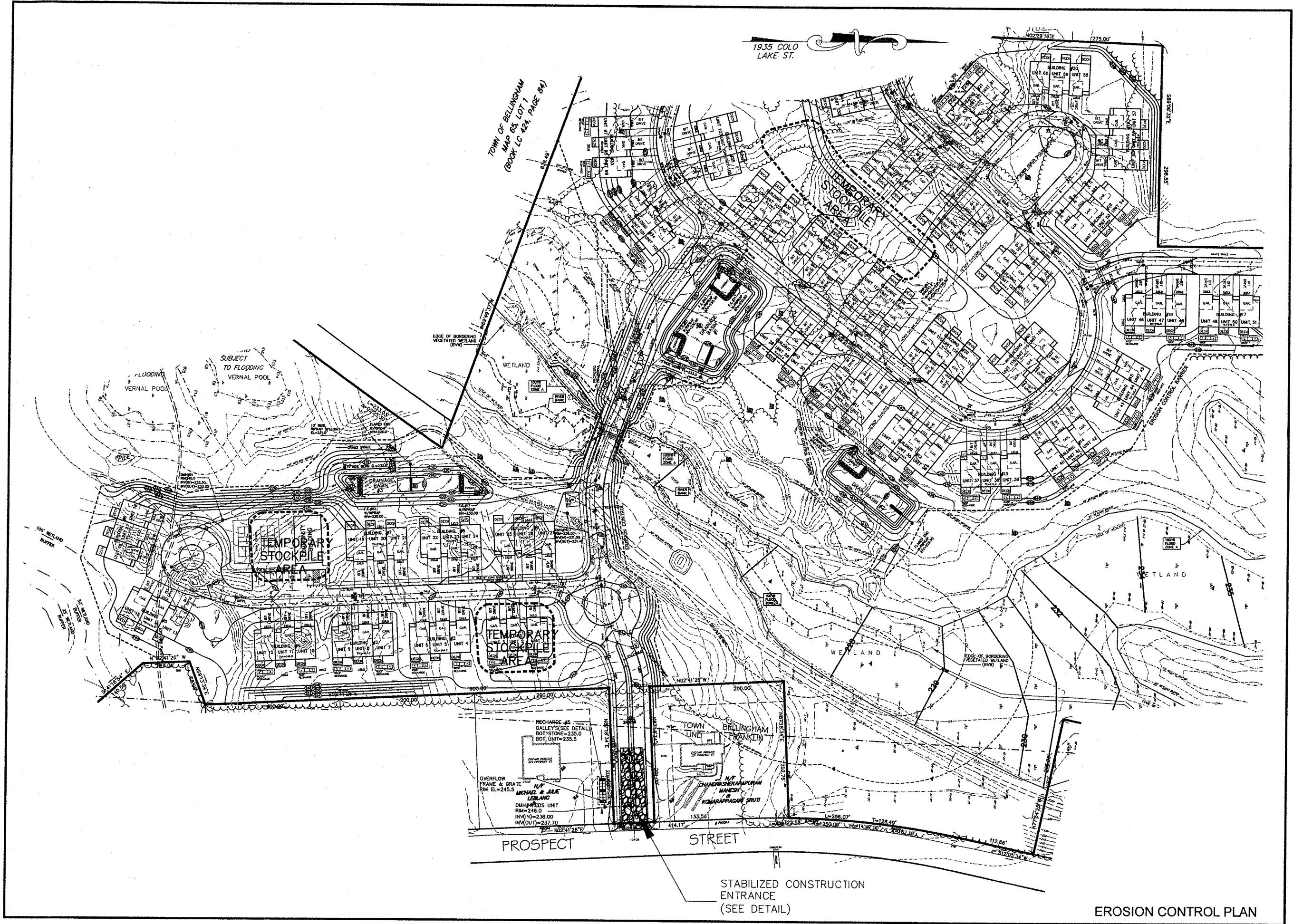
PLAN & PROFILE ROAD E

SITE DEVELOPMENT PLAN
 "PROSPECT HILL VILLAGE"
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JOB No.	16,590
DATE:	NOV. 30, 2023
SCALE:	1"= 40'
SHEET:	32 of 43
PLAN #:	27,871

No.	DATE	REVISIONS	DESCRIPTION
1	04/02/2024		WETLAND DELINEATION



EROSION CONTROL PLAN

REVISIONS	
No.	DATE
1	04/02/2024

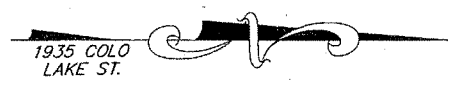
DESCRIPTION	
No.	DATE
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JOB No.	16,590
DATE:	NOV. 30, 2023
SCALE:	1"=60'
SHEET:	33 of 43
PLAN #:	27,871



EROSION CONTROL PLAN

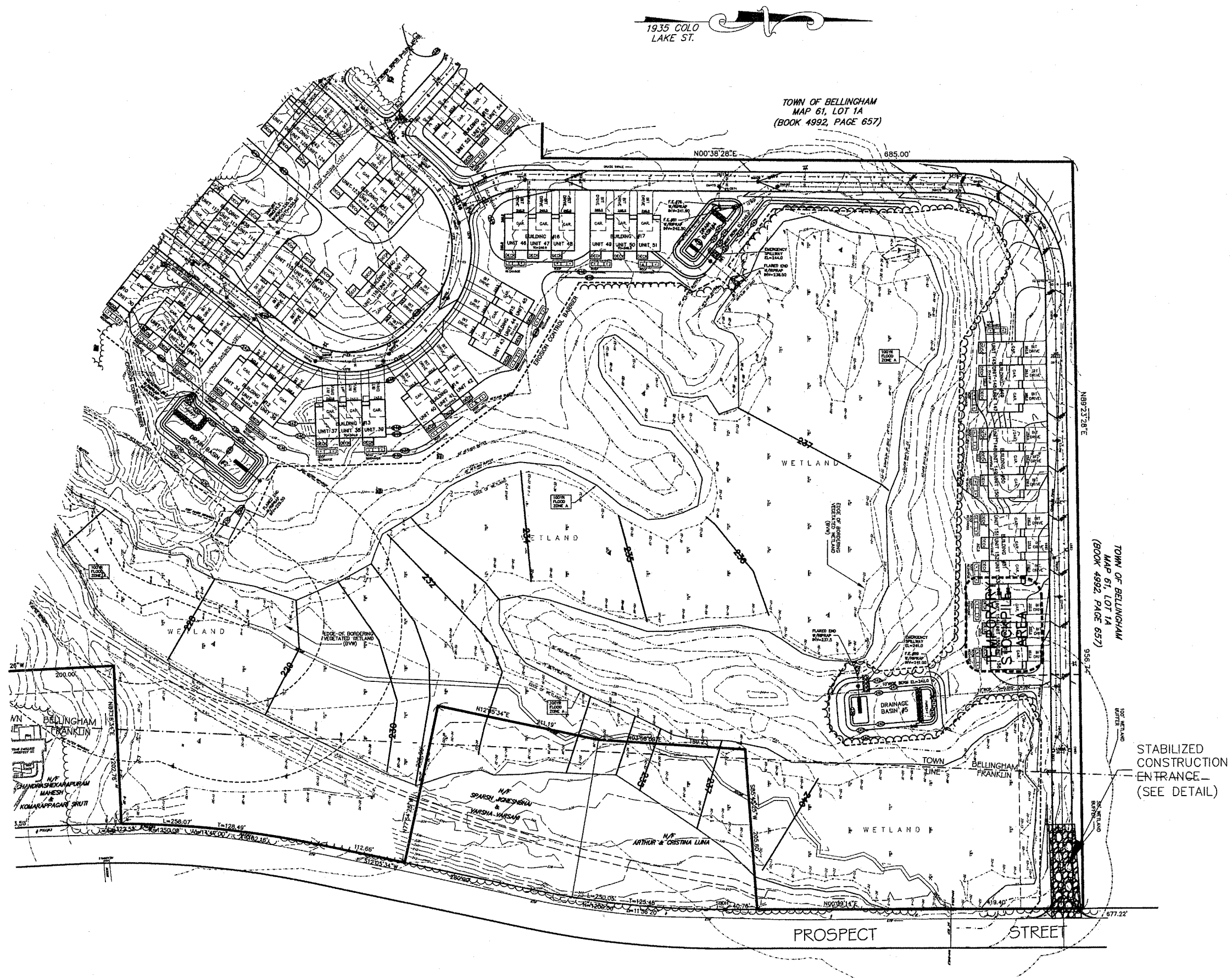
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DATE:	NOV. 30, 2023
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SHEET:	34 of 43
PLAN #:	27,871

REVISIONS		DESCRIPTION
No.	DATE	WETLAND DELINEATION
1	04/02/2024	

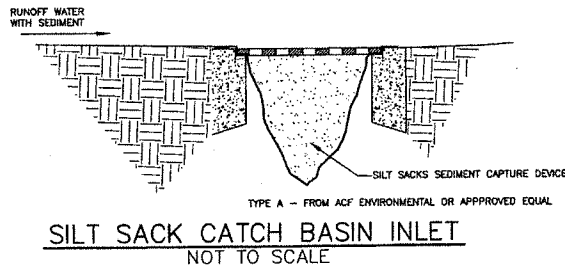


SITE DEVELOPMENT PLAN
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EROSION AND SEDIMENTATION CONTROL:

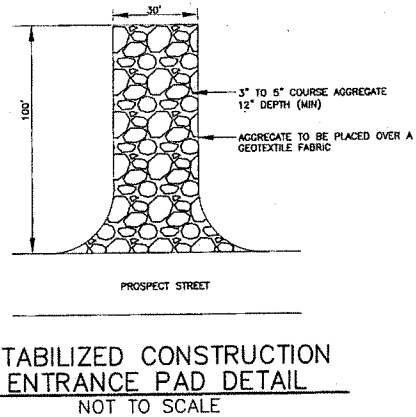
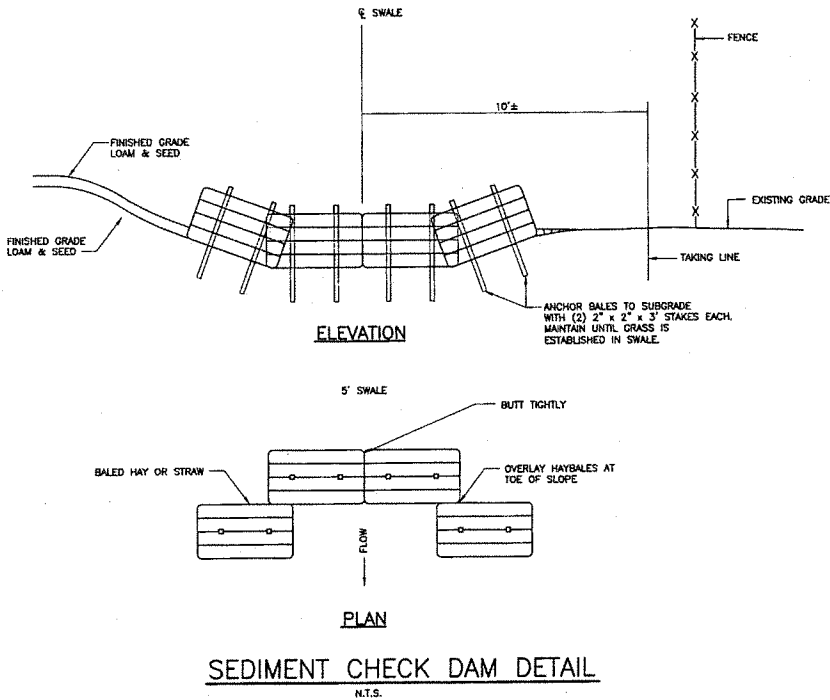
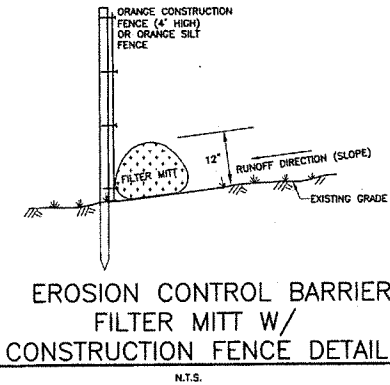
1. PRIOR TO ANY DISTURBANCE OR ALTERATIONS ON ANY AREA ON THE SITE. THE FILTER MITT SEDIMENT BARRIER SHALL BE INSTALLED IN THE LOCATIONS SHOWN ON THE SITE PLAN.
2. BARRIERS SHALL BE CONSTRUCTED AS SHOWN ON THE FILTER MITT DETAIL WITH CONSTRUCTION FENCE DETAIL ABOVE.
3. ONCE INSTALLED, THE FILTER MITT SEDIMENT BARRIERS SHALL BE MAINTAINED IN PLACE UNTIL ALL AREAS UPGRADIENT FROM THE BARRIERS HAVE BEEN STABILIZED AS SPECIFIED HEREIN. UPON COMPLETION AND STABILIZATION OF THE PROJECT, THE FILTER MITT AND CONSTRUCTION FENCE SHALL BE REMOVED.
4. THE ORANGE CONSTRUCTION FENCE IS INTENDED TO ACT AS A LIMIT OF DISTURBANCE. ANY LAND DOWN GRADIENT FROM THE FENCE ACCIDENTALLY DISTURBED SHALL BE IMMEDIATELY REPAIRED AND RESTORED TO ORIGINAL CONDITION.
5. EROSION CONTROL MEASURES SHALL BE MONITORED ON A DAILY BASIS, OR AS NEEDED, AND BE REINFORCED, REPAIRED, OR REPLACED WHEN NEEDED, PER JUDGEMENT OF THE SITE FOREMAN AND/OR TOWN OF BELLINGHAM REPRESENTATIVE.
6. TEMPORARY VEGETATION COVER SHALL BE ESTABLISHED ON ALL DISTURBED AREAS WHERE CONSTRUCTION ACTIVITIES TEMPORARILY CEASE FOR AT LEAST 30 DAYS. AREAS SHALL BE STABILIZED WITH TEMPORARY SEED. IF THE SEASON PREVENTS THE ESTABLISHMENT OF A VEGETATIVE COVER, DISTURBED AREAS SHALL BE MULCHED AND THEN SEEDED WHEN WEATHER CONDITIONS ALLOW.
7. THE FIRST ONE-HUNDRED FIFTY (100) FEET OF THE PROPOSED ENTRANCE AT PROSPECT STREET SHALL HAVE A CONSTRUCTION ENTRANCE PAD(SEE DETAIL).
8. WATER SPRAYING SHALL BE UTILIZED ON ALL DISTURBED AREAS DURING DRY WEATHER TO PREVENT DUST. A WATER TRUCK SHALL BE KEPT ON SITE AT ALL TIMES DURING THE DURING THE SUMMER MONTHS OF CONSTRUCTION.
9. FOLLOWING CONSTRUCTION OF THE CATCH BASIN STRUCTURES, A SILTATION BARRIER SHALL BE SET AROUND THE INLET FOR EACH STRUCTURE TO PREVENT SEDIMENT FROM ENTERING THE DRAINAGE SYSTEM. (SEE DETAIL)
10. NO SLOPES, EITHER TEMPORARY OR PERMANT SHALL BE STEEPER THAN TWO TO 1 (2:1).
11. STREET SWEEPING SHALL BE DONE AS NEEDED BASIS ALONG PROSPECT STREET TO THE LIMITS OF SEDIMENT TRACKING.
12. STOCKPILE MATERIAL SHALL BE SECURED AROUND THE PERIMETER WITH EROSION CONTROL BARRIERS.



MAINTENANCE:

1. THE CONTRACTOR SHALL HAVE ON SITE AN ADEQUATE QUANTITY OF SUPPLEMENTAL HAYBALES AND/OR SILT SOCK TO BE USED FOR CONTROL OF EMERGENCY EROSION PROBLEMS.
2. ALL EROSION CONTROL MEASURES SHALL BE INSPECTED WEEKLY.
3. THE CONTRACTOR SHALL MONITOR DAILY WEATHER AND PRIOR TO ANY PREDICTED RAIN STORM, THE EROSION BARRIERS SHALL BE INSPECTED AND NEW ONES SUPPLEMENTED IN ANY AREAS OF POSSIBLE CONCENTRATED RUNOFF.
4. SEDIMENT CHECK DAMS MAY BE INSTALLED IN AREA OF HIGH CONCENTRATION OF SURFACE RUNOFF.(SEE DETAIL)
5. ALL EQUIPMENT SHALL BE STORED IN THE DESIGNATED STAGING AREA.

A MORE DETAILED SEDIMENT AND EROSION CONTROL PLAN WILL BE DEVELOPED AS PART OF THE NPDES STORMWATER POLLUTION PREVENTION PLAN.

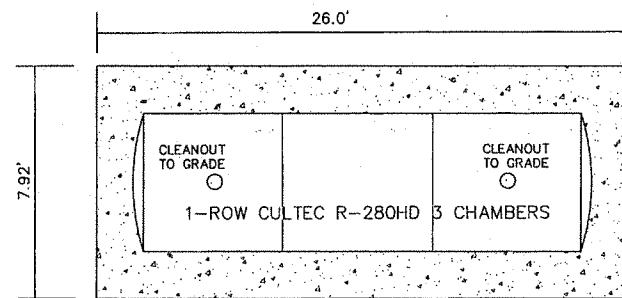


APPROVED BY THE
BELLINGHAM PLANNING BOARD:

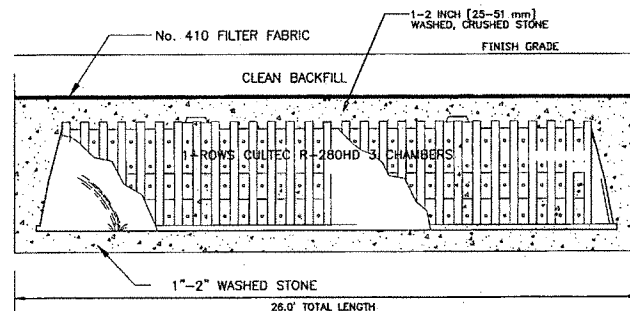
DATE APPROVED: _____

REVISIONS		DESCRIPTION
No.	DATE	WETLAND DELINEATION
1	04/02/2024	

SITE DEVELOPMENT PLAN "PROSPECT HILL VILLAGE" A MULTI-UNIT RESIDENTIAL DEVELOPMENT BELLINGHAM, MASSACHUSETTS	
PREPARED FOR: WALL STREET DEVELOPMENT CORP. P.O. BOX 272 WESTWOOD, MASSACHUSETTS	
GLM Engineering Consultants, Inc. 19 EXCHANGE STREET HOLLISTON, MA 01746 P: 508-429-1100 F: 508-429-7160 www.GLMengineering.com	
JOB No.	16,590
DATE:	NOV. 30, 2023
SCALE:	1"=60'
SHEET:	36 of 43
PLAN #:	27,871



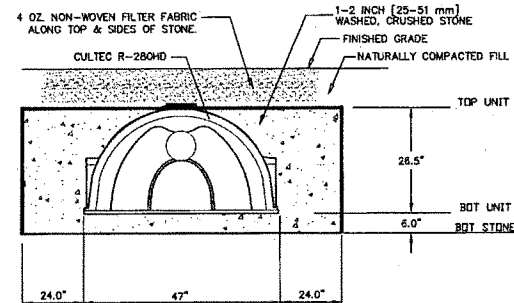
PLAN VIEW



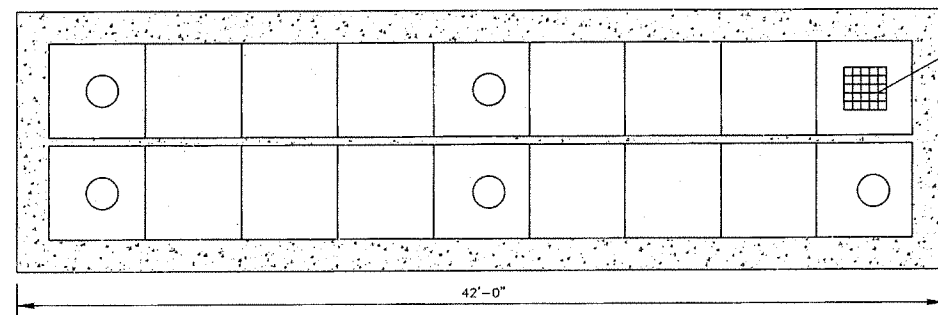
- NOTES:
1. ALL TOPSOIL & SUBSOIL SHALL BE REMOVED FROM THE BOTTOM AREA OF THE BASIN AND FILLED MATERIAL SHALL COARSE CLEAN GRAVEL OR SAND.
 2. INSTALL TWO (2) PER BUILDING. ALL ROOF AREA IS TO BE DIRECTED TO RECHARGE SYSTEMS.

ROOF RECHARGE SYSTEM DETAIL

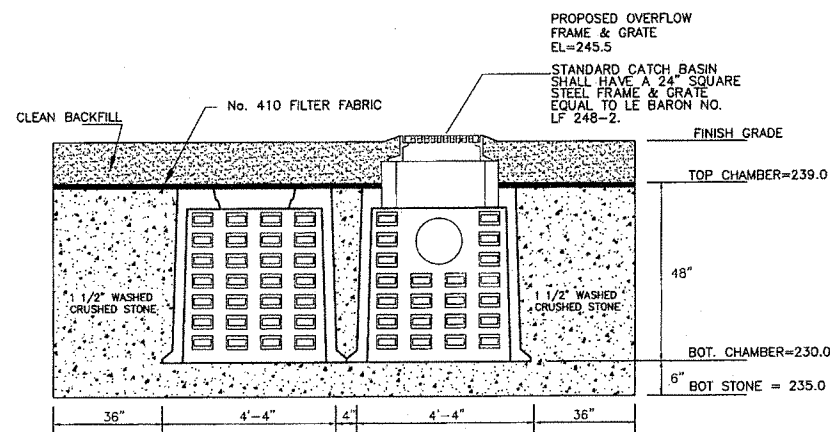
N.T.S.



1-ROW CULTEC R-280HD 3 CHAMBERS



2 ROWS 9 GALLEY'S PER ROW
TOTAL 18 4x4x4 GALLEY'S

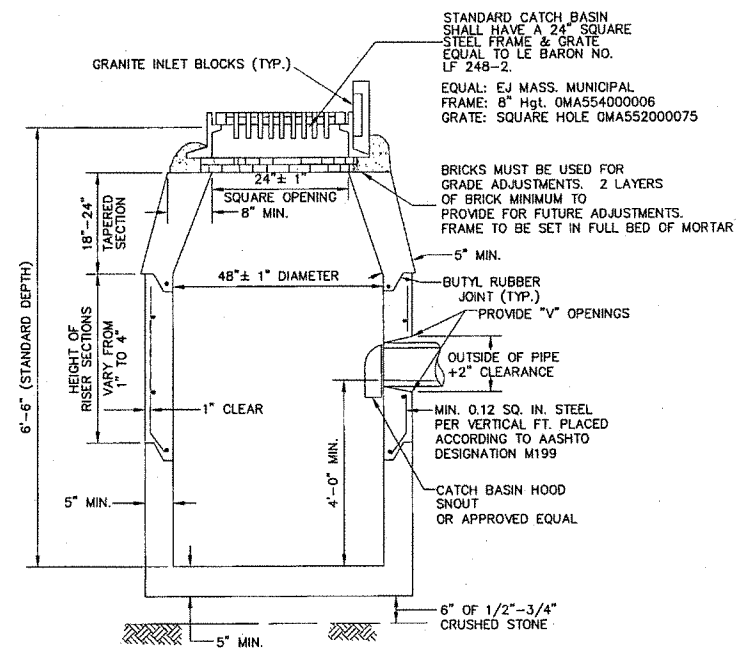


STORWATER RECHARGE SYSTEM #5

N.T.S.

- NOTES:
1. CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS.
 2. DESIGNED FOR H-20 LOADING.
 3. GALLEYS TO BE PLACED AGAINST ONE ANOTHER AS INDICATED ON THE GRADING PLAN ON A STONE BASE, WITH 36" OF STONE ALL AROUND.
 4. STONE SHALL MEET SECTION M2.01.2 OF THE MHD SPECIFICATIONS.

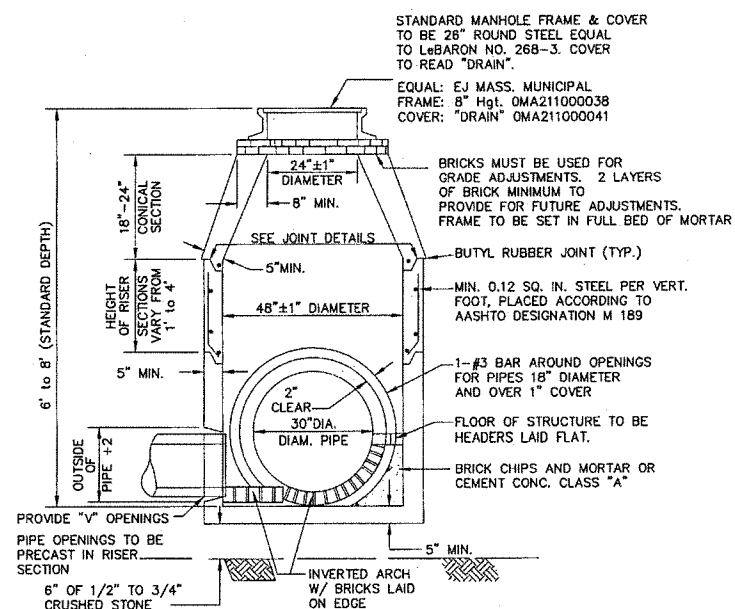
EQUAL: EJ MASS. MUNICIPAL
FRAME: 8" Hgt. OMA554000006
GRATE: SQUARE HOLE OMA552000075



NOTE: NO BELL ENDS IN CATCH BASIN. CONNECTIONS TO BE TIGHTLY SEALED WITH MORTAR.

PRECAST CATCH BASIN DETAIL

NOT TO SCALE



PRECAST MANHOLE DETAIL

NOT TO SCALE

APPROVED BY THE
BELLINGHAM PLANNING BOARD:

DATE APPROVED: _____

NOTES

1. All construction shall conform to the Town of Bellingham Planning Board Rules and Regulations and Department of Public Works standards and details.
5. Sidewalk ramps must meet current applicable ADA / AAB standards.

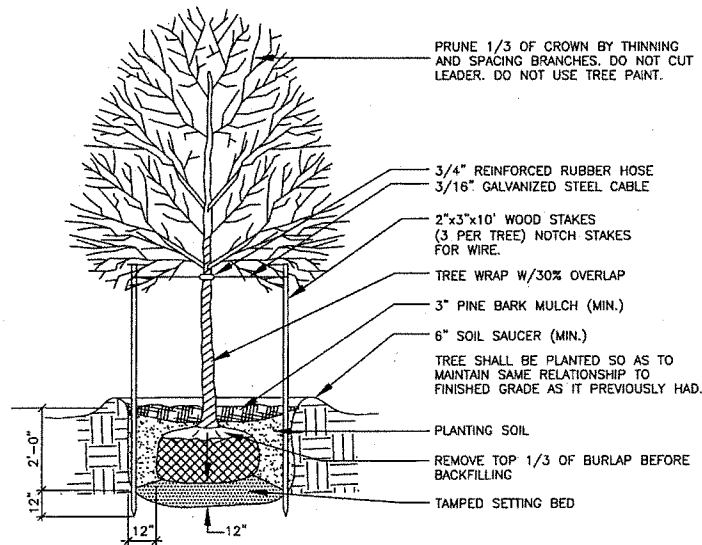
SITE DEVELOPMENT PLAN
"PROSPECT HILL VILLAGE"
A MULTI-UNIT RESIDENTIAL DEVELOPMENT
BELLINGHAM, MASSACHUSETTS

PREPARED FOR:
WALL STREET DEVELOPMENT CORP.
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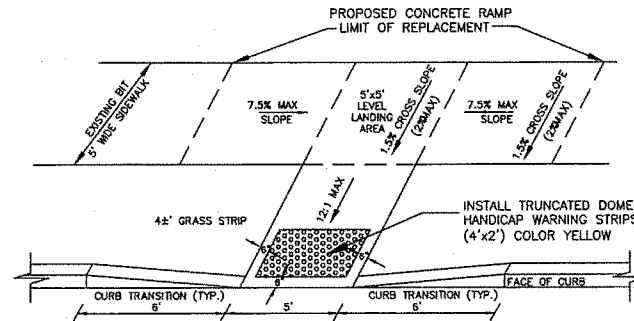
JOB No. 16,590
DATE: NOV. 30, 2023
SCALE: 1"=60'
SHEET: 37 of 43
PLAN #: 27,871

DETAILS

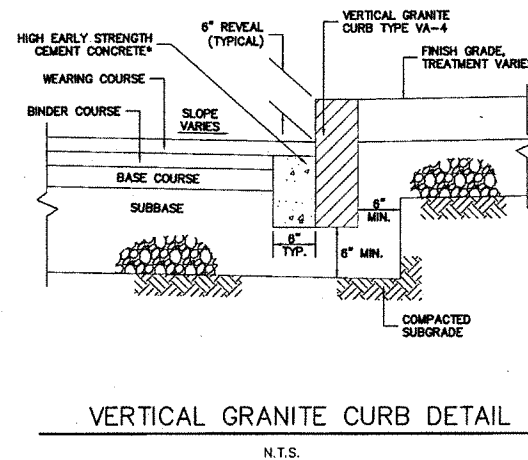
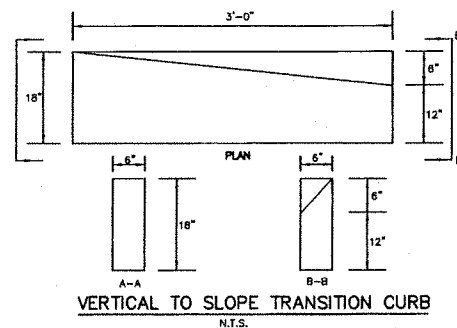
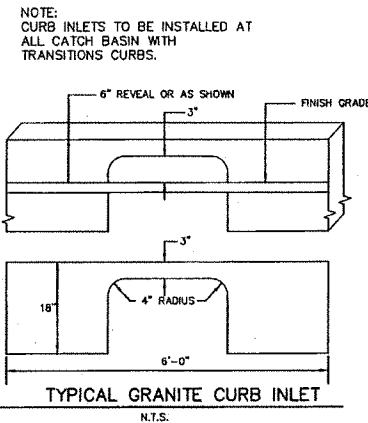


STREET TREE DETAIL
NOT TO SCALE

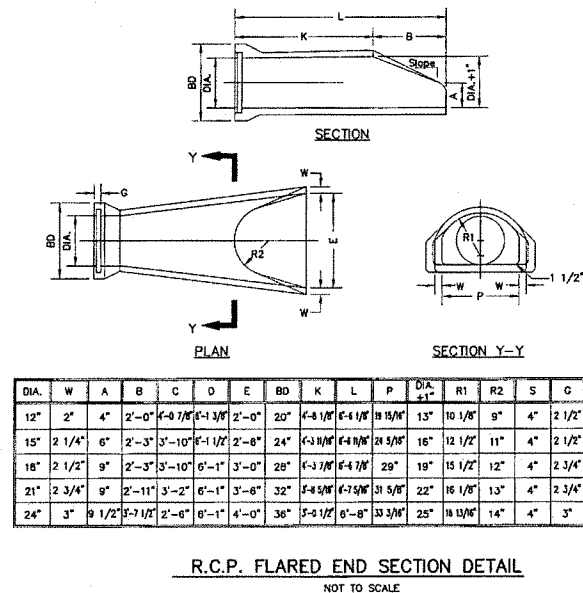
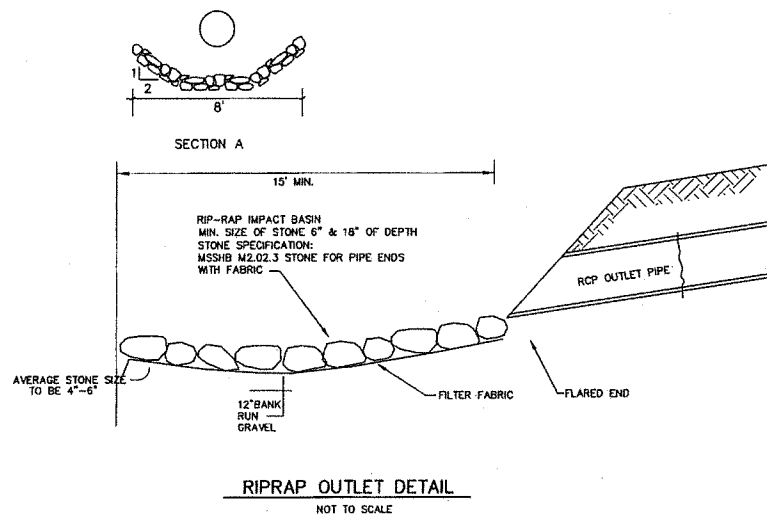
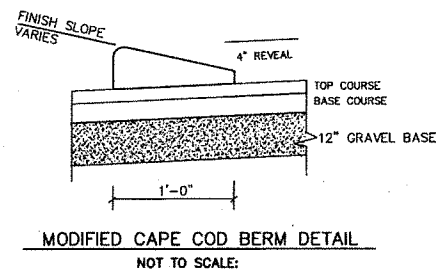
NOTE:
1. STREET TREES SHALL BE PLANTED ON BOTH SIDES OF THE ROADWAY, SPACED APPROXIMATELY 40 FT. APART AND APPROXIMATELY 10 FT FROM SIDEWALK OR ROADWAY.
2. STREET TREES SHALL BE MINIMUM OF 2 1/2" CALIPER 4 FT. ABOVE THE GROUND.



HANDICAP SIDEWALK RAMP DETAIL
N.T.S.



NOTES
1. All construction shall conform to the Town of Bellingham Planning Board Rules and Regulations and Department of Public Works standards and details.
5. Sidewalk ramps must meet current applicable ADA / AAB standards.



DIA.	W	A	B	C	D	E	BD	K	L	P	DIA. ±1"	R1	R2	S	G	Slope
12"	2"	4"	2'-0"	4'-0 1/8"	4'-1 3/8"	2'-0"	20"	4'-8 1/8"	4'-1 1/8"	18 5/8"	13"	10 1/8"	9"	4"	2 1/2"	3:1
15"	2 1/4"	6"	2'-3"	5'-10"	5'-1 1/2"	2'-8"	24"	4'-1 3/8"	4'-1 1/8"	21 5/8"	16"	12 1/2"	11"	4"	2 1/2"	3:1
18"	2 1/2"	9"	2'-3"	5'-10"	5'-1"	3'-0"	28"	4'-1 3/8"	4'-1 1/8"	29"	19"	15 1/2"	12"	4"	2 3/4"	3:1
21"	2 3/4"	9"	2'-11"	5'-2"	5'-1"	3'-6"	32"	4'-4 5/8"	4'-1 5/8"	31 5/8"	22"	16 1/8"	13"	4"	2 3/4"	3:1
24"	3"	9 1/2"	5'-7 1/2"	2'-0"	6'-1"	4'-0"	36"	5'-5 1/2"	5'-8"	33 3/8"	25"	18 13/16"	14"	4"	3"	3:1



NOTE: IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION.
DIGSAFE IS TO BE NOTIFIED 72 WORKING HOURS IN ADVANCE OF CONSTRUCTION.
DIGSAFE 1-888-344-7233

DETAILS

APPROVED BY THE
BELLINGHAM PLANNING BOARD:

DATE APPROVED: _____

THIS IS TO CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE BELLINGHAM PLANNING BOARD WAS RECEIVED ON _____ AT _____ AND NO APPEAL OF THE APPROVAL OF THIS PLAN WAS FILED WITHIN THE 20 DAY APPEAL PERIOD.

TOWN CLERK _____ DATE _____

APPROVAL SUBJECT TO A COVENANT CONDITIONS SET FORTH IN A COVENANT EXECUTED BY _____ DATED _____ AND TO BE RECORDED HERewith.

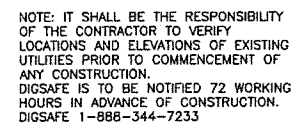
REVISIONS	DESCRIPTION
DATE	04/02/2024
NO.	1
WETLAND DELINEATION	

SITE DEVELOPMENT PLAN
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BELLINGHAM, MASSACHUSETTS

PREPARED FOR:
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JOB No.	16,590
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SCALE:	1"=60'
SHEET:	38 of 43
PLAN #:	27,871



5. Sidewalk ramps must meet current applicable ADA / AAB standards.

DATE APPROVED:

[illegible]

**SITE DEVELOPMENT PLAN
"PROSPECT HILL VILLAGE"
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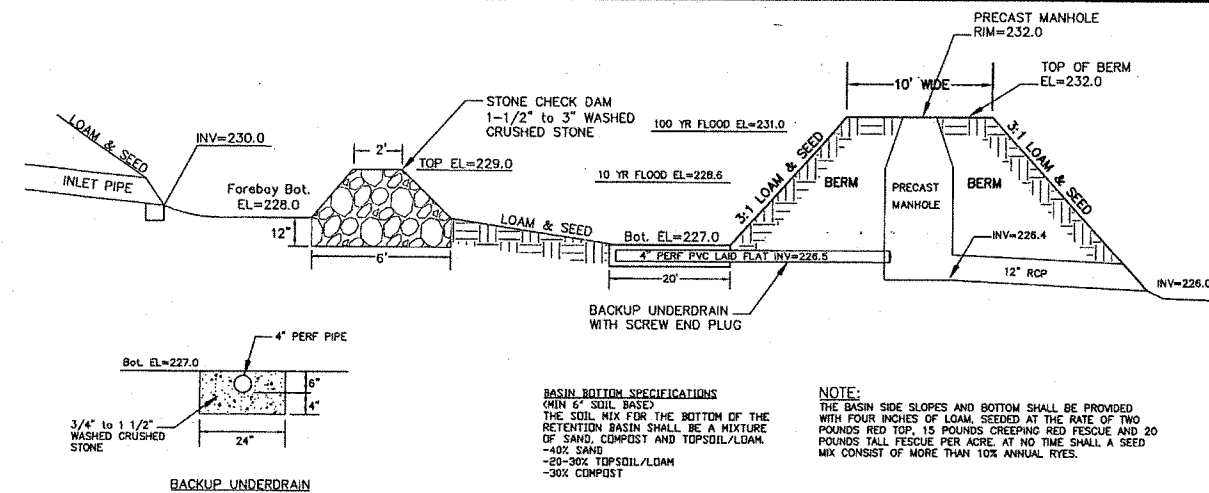
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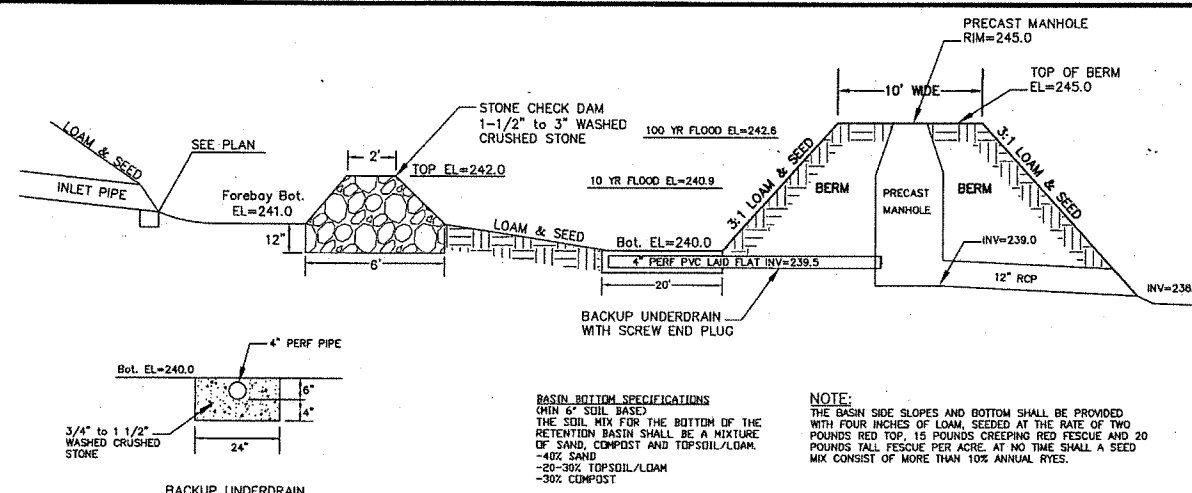


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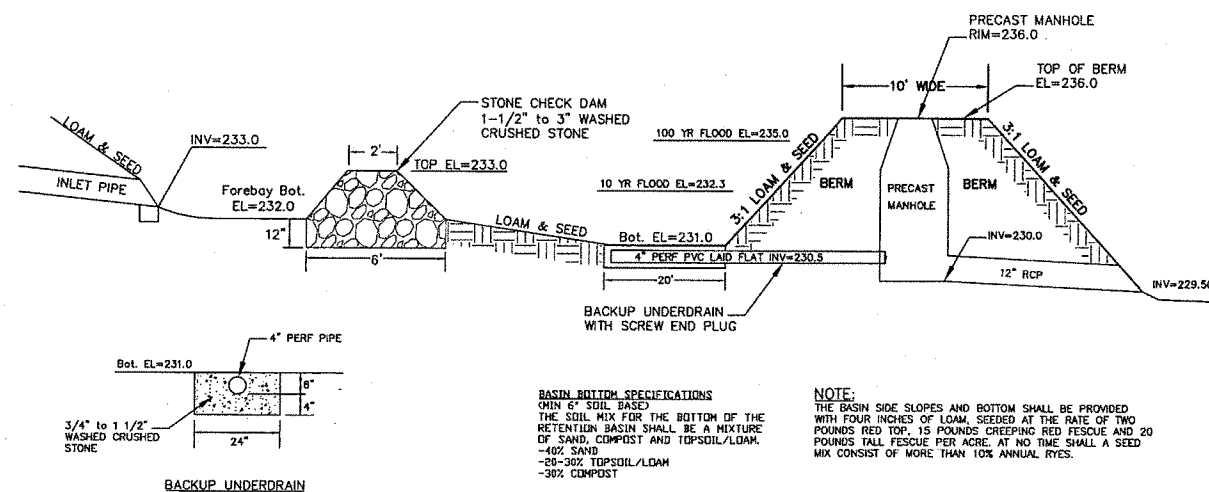
DETAILS



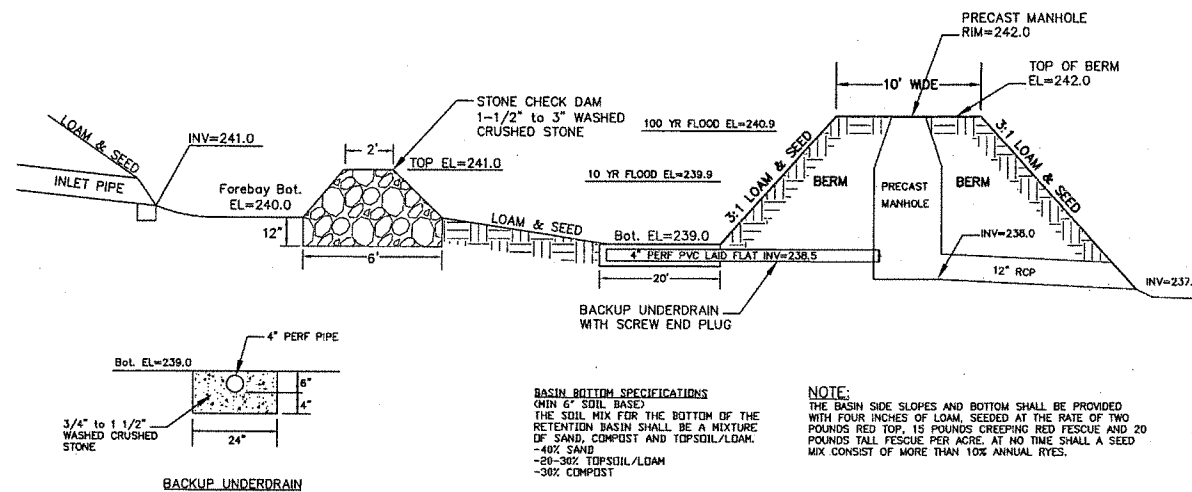
DRAINAGE RECHARGE BASIN #3 DETAIL
NOT TO SCALE



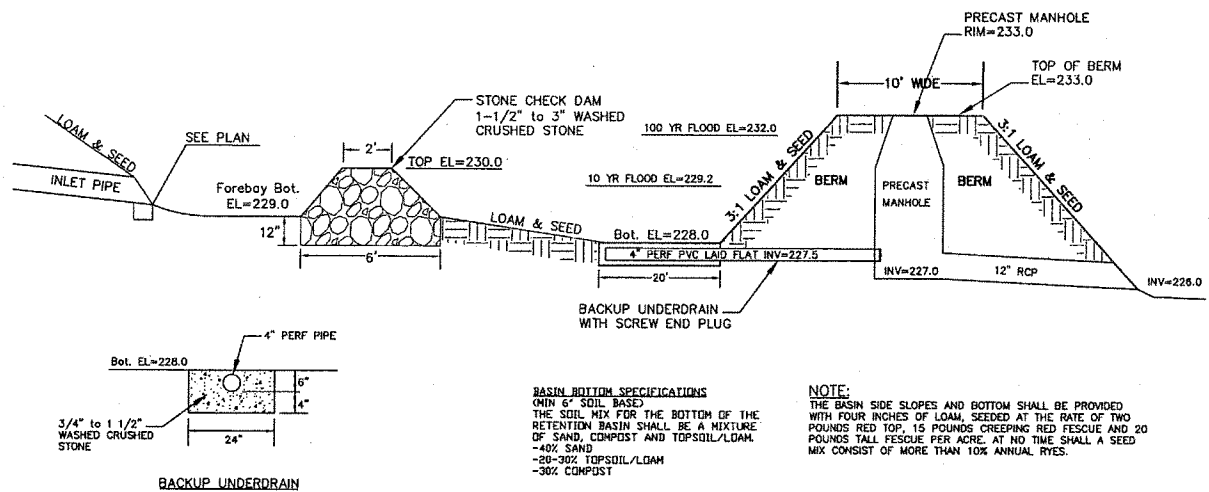
DRAINAGE RECHARGE BASIN #4 DETAIL
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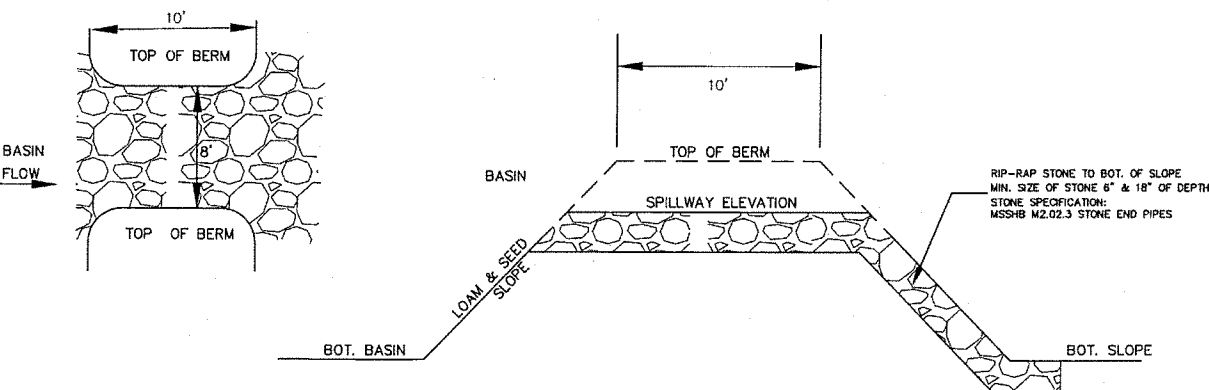
DRAINAGE RECHARGE BASIN #2 DETAIL
NOT TO SCALE



DRAINAGE RECHARGE BASIN #5 DETAIL
NOT TO SCALE



DRAINAGE RECHARGE BASIN #1 DETAIL
NOT TO SCALE



DETENTION BASIN EMERGENCY SPILLWAY DETAIL
NOT TO SCALE

DETAILS

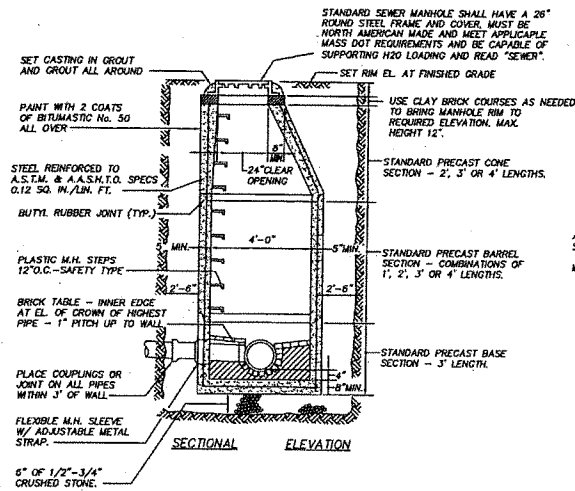
REVISIONS	DESCRIPTION
1	WETLAND DELINEATION

DATE	DATE
04/02/2024	

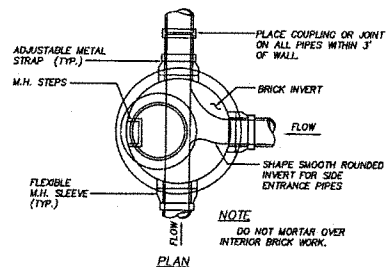
No.	
1	

SITE DEVELOPMENT PLAN
"PROSPECT HILL VILLAGE"
A MULTI-UNIT RESIDENTIAL DEVELOPMENT
BELLINGHAM, MASSACHUSETTS
PREPARED FOR:
WALL STREET DEVELOPMENT CORP.
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WESTWOOD, MASSACHUSETTS

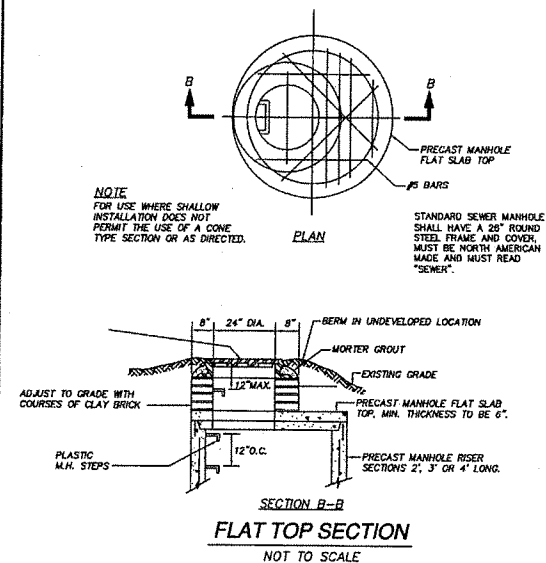
GLM Engineering Consultants, Inc.	19 EXCHANGE STREET HOLLISTON, MA 01746 P: 508-429-1100 F: 508-429-7160 www.GLMengineering.com
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DATE:	NOV. 30, 2023
SCALE:	1"=60'
SHEET:	40 of 43
PLAN #:	27,871



TYPICAL PRECAST CONCRETE SEWER MANHOLE DETAILS
NOT TO SCALE

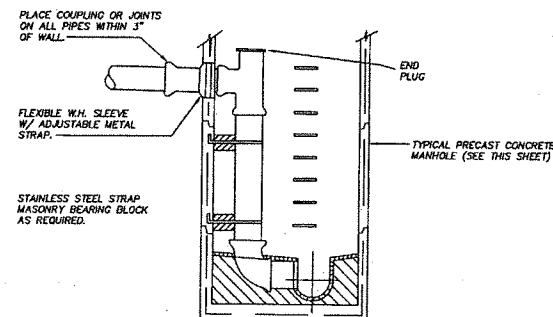


TYPICAL OUTSIDE DROP INLET MANHOLE DETAILS
NOT TO SCALE

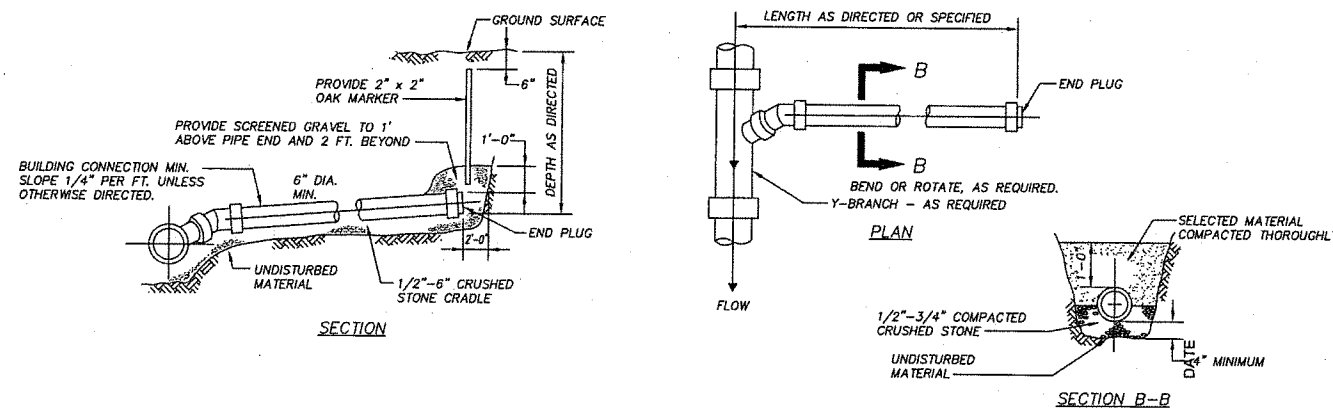


APPROVED BY THE
BELLINGHAM PLANNING BOARD:

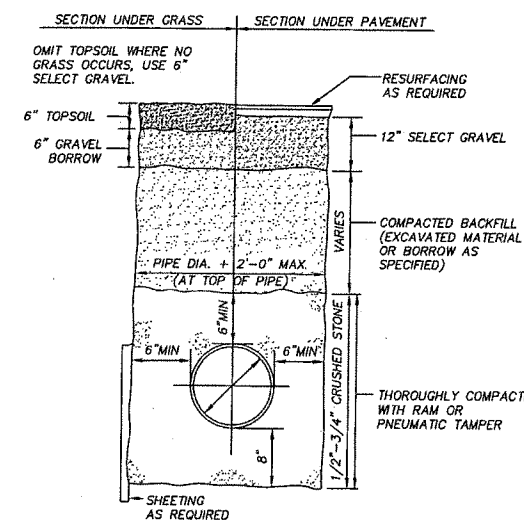
DATE APPROVED:



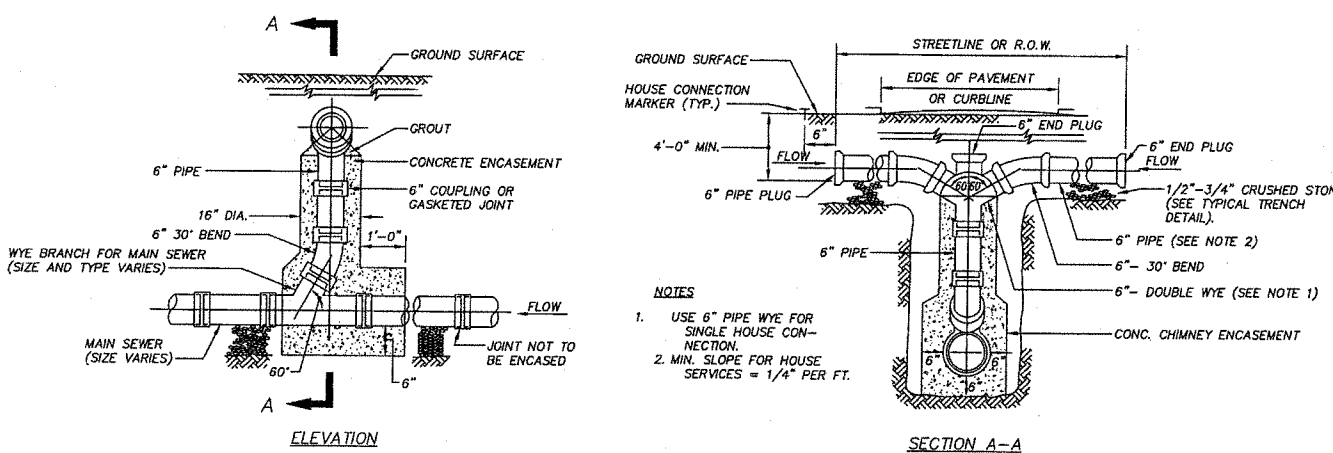
TYPICAL INSIDE DROP INLET MANHOLE DETAILS
NOT TO SCALE



TYPICAL BUILDING CONNECTION
NOT TO SCALE



TYPICAL SEWER TRENCH DETAIL
NOT TO SCALE



TYPICAL HOUSE SERVICE CONNECTION & CHIMNEY DETAIL
(FOR MAIN SEWER OVER 8'-0" DEEP)
NOT TO SCALE

NOTES

- ALL CONSTRUCTION SHALL CONFORM TO THE TOWN OF BELLINGHAM PLANNING BOARD RULES AND REGULATIONS AND DEPARTMENT OF PUBLIC WORKS STANDARDS AND DETAILS.
- SEWER SERVICES SHALL BE LAID AT LEAST 10'-0" HORIZONTALLY FROM WATER LINES AND SERVICES OR FOLLOW "DEP 2001 GUIDELINES AND POLICIES FOR PUBLIC WATER SYSTEMS" REGARDING VERTICAL SEPARATION. WATER PIPE CROSSINGS MUST PROVIDE A 0'-18" VERTICAL SEPARATION AND FOLLOW "DEP 2001 GUIDELINES AND POLICIES FOR PUBLIC WATER SYSTEMS".
- NO BACKFILL WHATSOEVER SHALL BE PLACED UNTIL PERMITTED BY THE TOWN ENGINEER OR HIS/HER AGENT.
- MAXIMUM TRENCH WIDTH SHALL BE THE PIPE DIAMETER PLUS 2'-0".
- LEDGE, ROCK, BOULDERS AND LARGE STONES SHALL BE REMOVED TO PROVIDE A MINIMUM CLEARANCE OF 0'-6" BELOW AND ON EACH SIDE OF THE PIPE.
- SEWER SERVICES SHALL BE BEDDED ON A MINIMUM OF 0'-4" THOROUGHLY COMPACTED GRANULAR BEDDING CONSISTING OF 3/4" CRUSHED STONE M.H.D. (M2.01.4).
- SEWER SERVICES SHALL HAVE A MINIMUM DIAMETER OF 0'-6" AND A MINIMUM SLOPE OF 2.0% (FT/FT).
- THE SIDES OF THE SERVICES SHALL BE BACKFILLED AND HAND TAMPED. INITIAL BACKFILL MATERIAL SHALL CONTAIN NO STONES LARGER THAN 0'-3".
- DEBRIS, FROZEN MATERIAL, LARGE CLODS OR STONES, ORGANIC MATTER, OR OTHER MATERIAL DEEMED UNSUITABLE BY THE ENGINEER SHALL NOT BE USED AS BACKFILL WITHIN TWO (2) FEET OF THE TOP OF THE PIPE.
- SEWER SERVICES SHALL HAVE A MINIMUM COVER OF 4'-0" FROM THE TOP OF THE PIPE. SERVICES UNDER PAVED SURFACES OR SIDEWALKS SHALL BE FORMED OF SUCCESSIVE LAYERS NOT MORE THAN ONE (1) FOOT IN DEPTH, UNIFORMLY DISTRIBUTED AND EACH LAYER THOROUGHLY COMPACTED TO NOT LESS THAN 95% OF THE MAXIMUM DRY DENSITY OF THE MATERIAL. JACKING IS NOT ALLOWED.
- NO PUDDLING OR SETTING IS ALLOWED WITHIN THE PUBLIC LAYOUT WITHOUT WRITTEN PERMISSION OF THE TOWN ENGINEER.

DETAILS

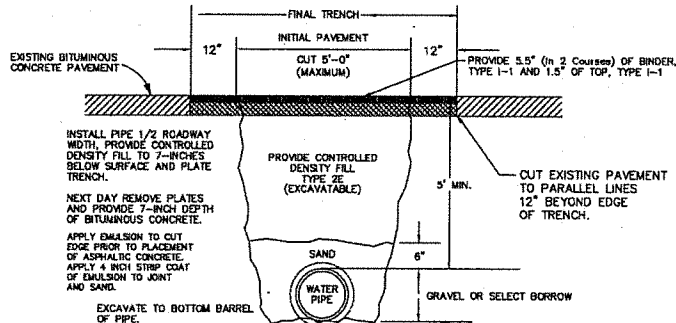
SITE DEVELOPMENT PLAN
"PROSPECT HILL VILLAGE"
A MULTI-UNIT RESIDENTIAL DEVELOPMENT
BELLINGHAM, MASSACHUSETTS
PREPARED FOR:
WALL STREET DEVELOPMENT CORP.
P.O. BOX 272
WESTWOOD, MASSACHUSETTS

GLM Engineering
Consultants, Inc.
19 EXCHANGE STREET
HOLLISTON, MA 01746
P: 508-429-1100
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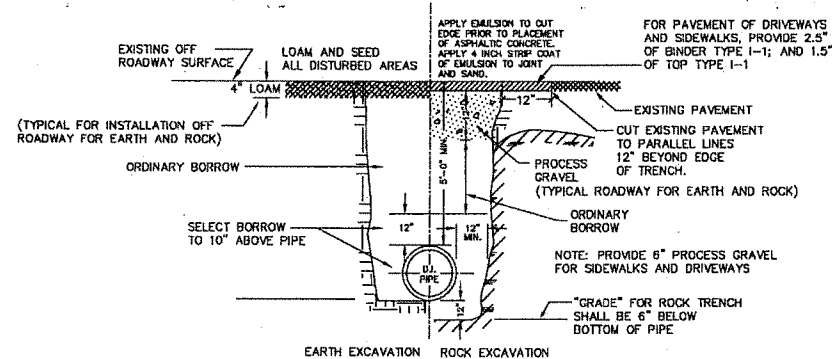
JOB No. 16,590
DATE: NOV. 30, 2023
SCALE: 1"=60'
SHEET: 41 of 43
PLAN #: 27,871

NOTES:

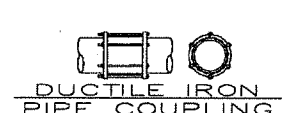
1. ALL NEW WATER MAINS FROM 6" THRU 12" DIAMETER SHALL BE DUCTILE IRON PRESSURE CLASS 350 PIPE.
2. TEFLON TAPE SHALL BE REQUIRED FOR ALL DIRECT TAPS
3. NO DIRECT TAPS GREATER THAN 1" SHALL BE ALLOWED ON 6" THRU 12" DIAM. PIPE
4. ANY BRANCH OR SERVICES LARGER THAN 1" MUST BE ACCOMPLISHED BY INSTALLATION OF APPROPRIATE DUCTILE IRON FITTING



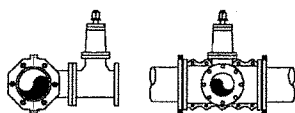
TYPICAL TRENCH RESURFACING
IN STATE HIGHWAY & ON MAIN ROADS



TYPICAL TRENCH SECTION
FOR DUCTILE IRON WATER MAINS

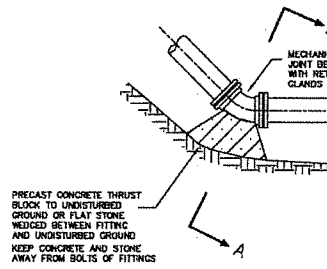


DUCTILE IRON
PIPE COUPLING
STYLE 501 & RC 501
BY ROMAC INDUSTRIES OR EQUIVALENT
TO BE USED FOR PIPE REPAIRS,
"CUT-INS", COUPLING DIFFERENT
TYPES OF PIPE, & CORRECTING
MISALIGNED PIPE
(DI TO C-900; DI TO AC; C-900 TO AC)

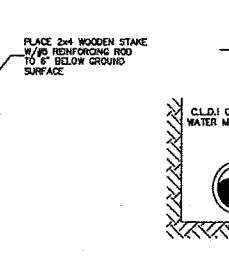
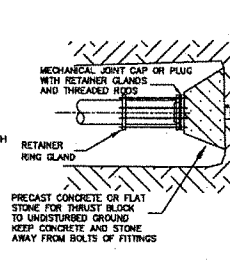
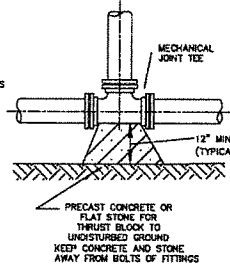


TAPPING SLEEVE & VALVE
MJ TAPPING SLEEVE WITH MUELLER T-2360 (OR EQUIVALENT)
RESILIENT WEDGE TAPPING VALVE - MJ x FL ENDS
OPEN LEFT

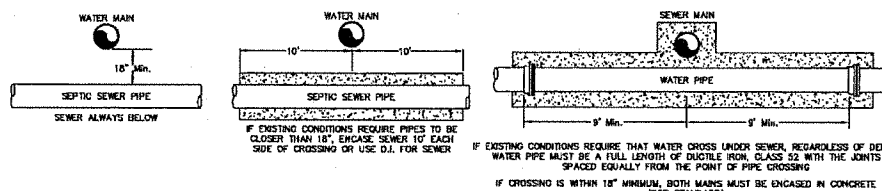
NOTE:
ALL MAIN LINE VALVES - (OPEN LEFT, NON RISING STEM)
SIZES 3" TO 12" - (GATE VALVES)
SIZES GREATER THAN 12" - (BUTTERFLY VALVES)
MUELLER - KENNEDY - DARLING - EPOXY COATED
MUELLER RESILIENT SEAT EPOXY COATED, ANWA APPROVED



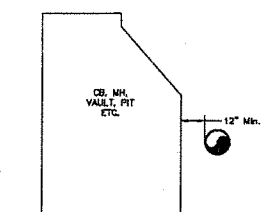
TYPICAL THRUST BLOCK DETAILS



SECTION A-A
NOT TO SCALE



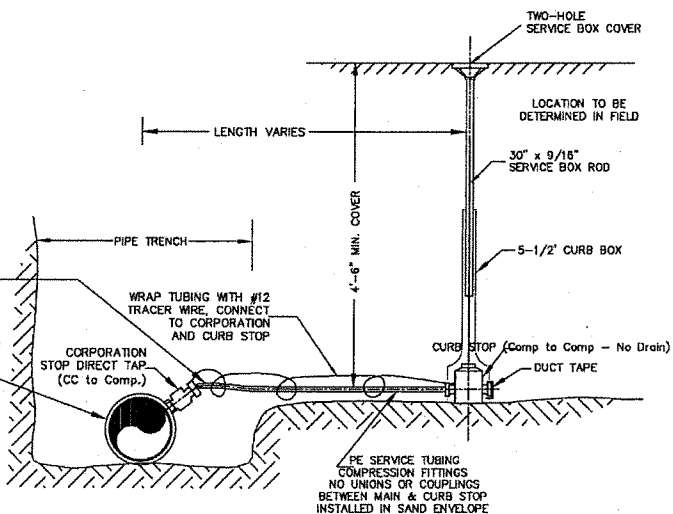
WATER / SEWER CROSSINGS



WATER PIPE
CLEARANCE TO STRUCTURES

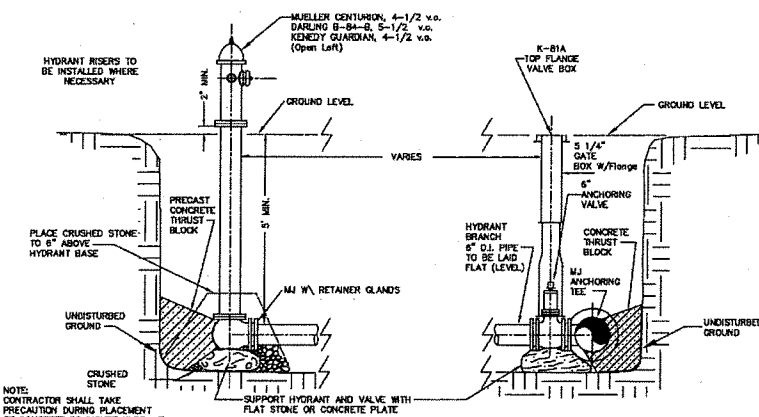
TEFLON TAPE SHALL BE
ADDED TO ALL NEW
WATER SERVICES

ALL NEW WATER MAINS SHALL BE
PRESSURE CLASS 350 DUCTILE IRON
EFFECTIVE MARCH 1, 2014

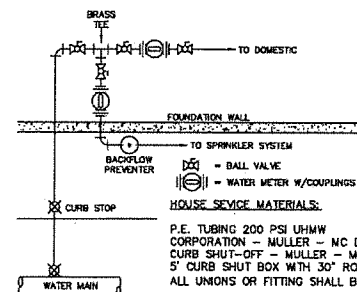


TYPICAL SERVICE CONNECTION

SEE SPEC. SHEET



TYPICAL HYDRANT INSTALLATION



WATER SERVICE CONNECTION

WITH
SECOND METER
(LAWN SPRINKLER SYSTEMS)

DETAILS

SITE DEVELOPMENT PLAN
"PROSPECT HILL VILLAGE"
A MULTI-UNIT RESIDENTIAL DEVELOPMENT
BELLINGHAM, MASSACHUSETTS

PREPARED FOR:
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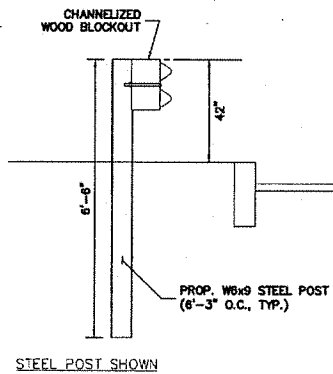
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JOB No. 16,590
DATE: NOV. 30, 2023
SCALE: 1"=60'
SHEET: 42 of 43
PLAN #: 27,871

DEWATERING:
PUMPING AND DEWATERING THE EXCAVATION AREAS SHALL BE DONE IN A MANNER WHICH WILL NOT DISCHARGE ANY SILT SEDIMENT INTO A RESOURCE AREA. DISCHARGES FROM A DEWATERING CONSTRUCTION PROCEDURE WILL BE FILTERED THROUGH A SILTATION BASIN AND/OR A SILT SOCK, CONSTRUCTED UPLAND FROM THE WORK SITE. THE SILTATION BASIN SHALL BE A DEPRESSION SURROUNDED BY A HAYBALE DIKE OR SILT FENCE. OVERFLOW FROM THE SILTATION BASIN SHALL BE PLANNED TO BE LOCATED OVER A THICKLY AND NATURALLY MULCHED UPLAND AREA. ALL BASINS SHALL BE LOCATED AT LEAST 100 FEET UPSLOPE FROM ANY RESOURCE AREA.

NOTES:

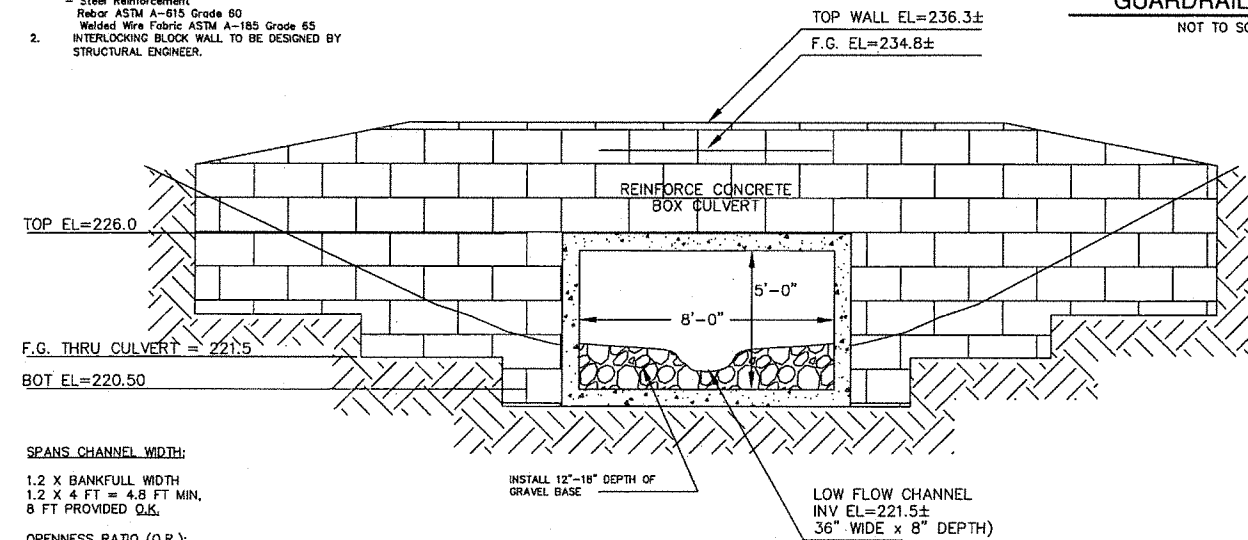
1. ALL GUARDRAIL SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST MassDOT CONSTRUCTION STANDARDS.
2. GUARDRAIL SHALL BE GALVANIZED STEEL "W" BEAM HIGHWAY GUARD WITH GALVANIZED STEEL POSTS OR COR-TEN WEATHERING STEEL BEAM HIGHWAY GUARD WITH TREATED WOOD POSTS. THE TYPE OF GUARDRAIL TO BE USED WILL BE SPECIFIED BY THE DEDHAM DPW.



GUARDRAIL DETAIL
NOT TO SCALE

NOTES:

1. CULVERT DESIGN SPECIFICATIONS:
 - ACI 318 & AASHTO
 - MATERIAL PROPERTIES:
 - Concrete - 5000 psi @ 28 days
 - Steel Reinforcement:
 - Rebar ASTM A-615 Grade 60
 - Welded Wire Fabric ASTM A-185 Grade 65
2. INTERLOCKING BLOCK WALL TO BE DESIGNED BY STRUCTURAL ENGINEER.



SPANS CHANNEL WIDTH:

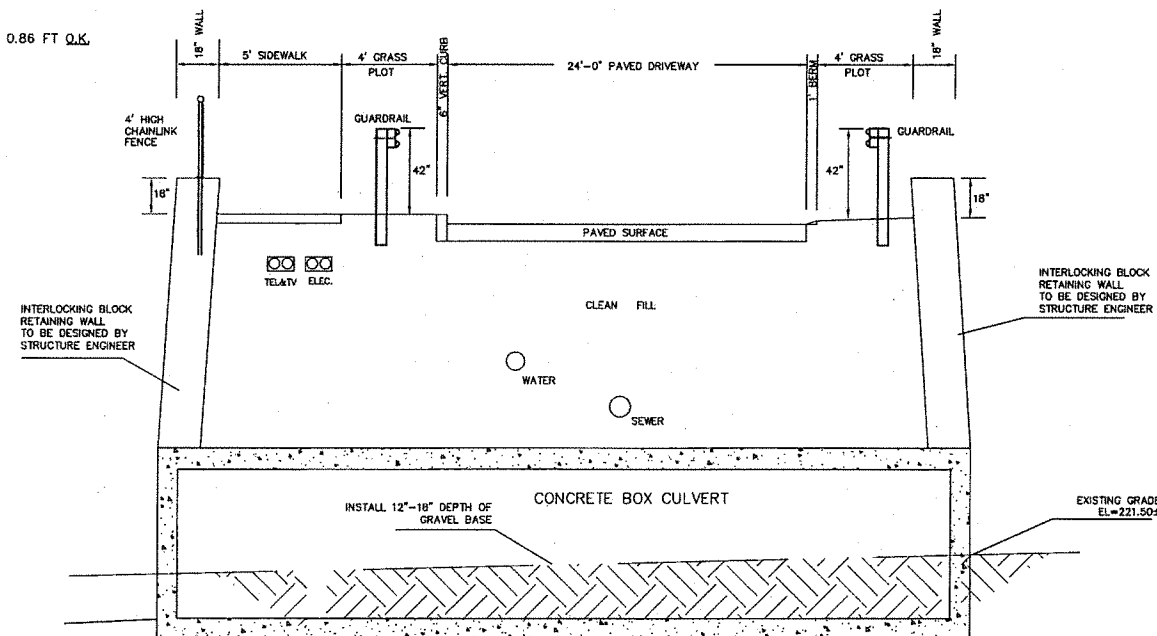
1.2 X BANKFULL WIDTH
1.2 X 4 FT = 4.8 FT MIN,
8 FT PROVIDED O.K.

OPENNESS RATIO (O.R.):

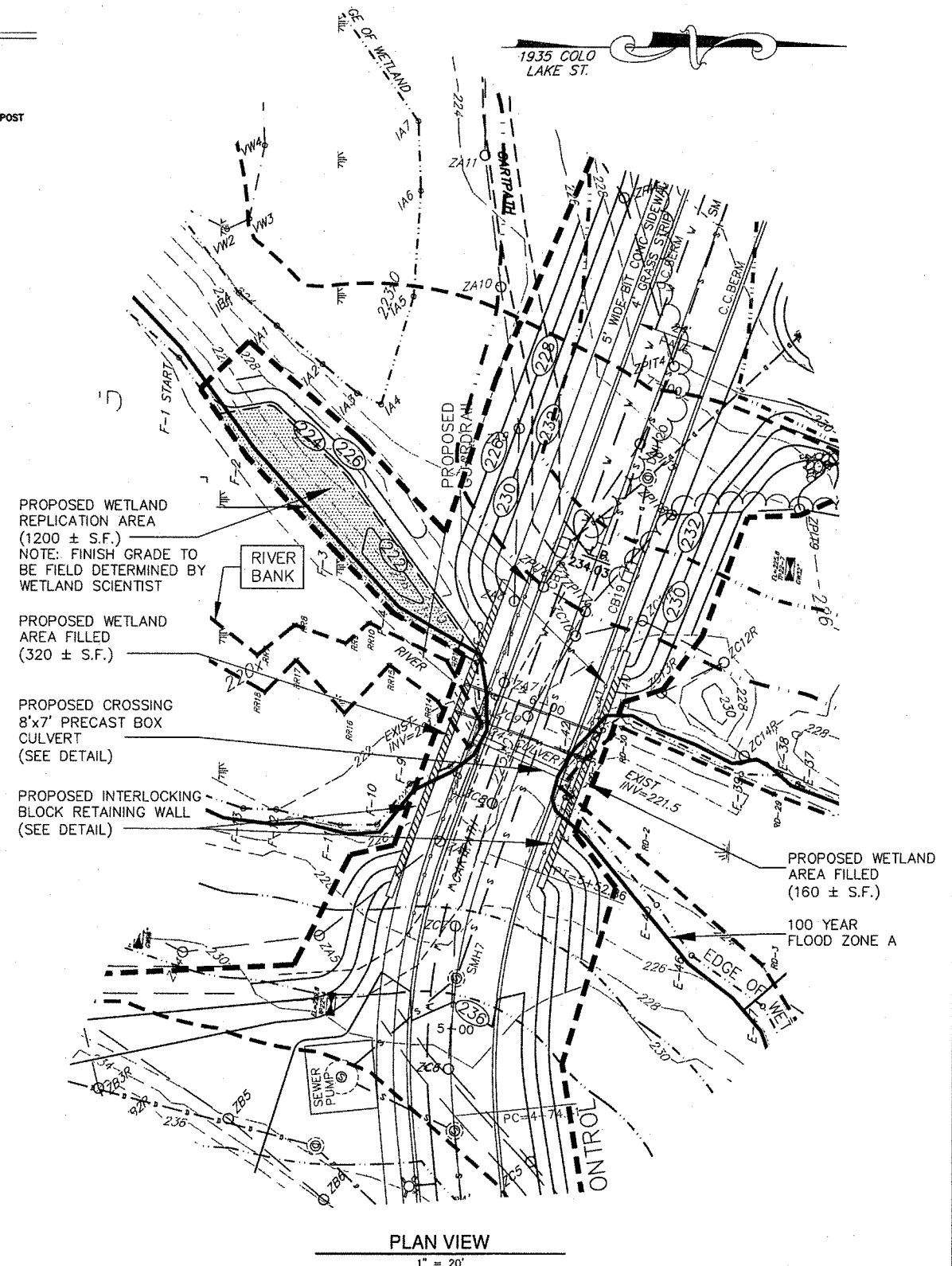
MIN. REQUIRED O.R. = 0.82 FEET
O.R. = (HEIGHT X WIDTH)/LENGTH

AVG. HEIGHT = 4.5 FT
WIDTH = 8 FT
LENGTH = 42 FT

O.R. = (8 X 4.5)/42 = 0.86 FT O.K.



WETLAND CROSSING DETAIL
NOT TO SCALE



WETLAND REPLICATION PLAN

REVISIONS	DESCRIPTION
No.	DATE
1	04/02/2024
	WETLAND DELINEATION

SITE DEVELOPMENT PLAN
"PROSPECT HILL VILLAGE"
A MULTI-UNIT RESIDENTIAL DEVELOPMENT
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JOB No.	16,590
DATE:	November 30, 2022
SCALE:	1" = 20'
SHEET:	43 of 43
PLAN #:	27,871