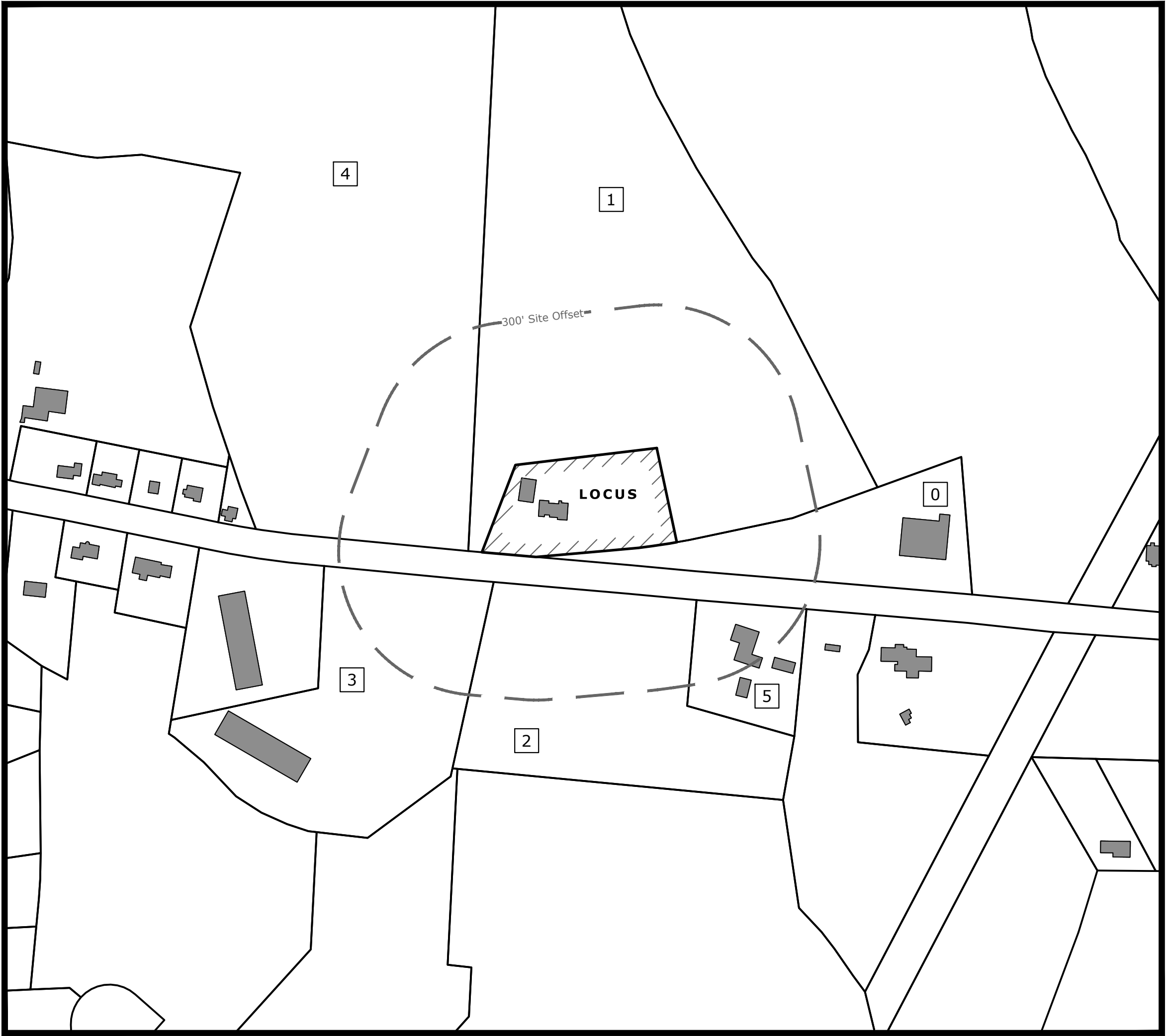
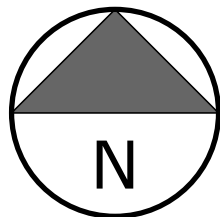


# Site Development Plan

## COMMERCIAL BUILDING

LOCUS MAP DATA				
Tag	Address	Parcel ID	Owner	Use Code
0	115 Mendon St	0043-0020-0000	Victory LLC	3160
1	0 Mendon St	0043-0019-0000	Northeast Energy Assoc-IEC	4420
2	0 Mendon St	0048-0001-0001	Shea High Point Trust II	3900
3	128 Mendon St	0048-0048-0000	T.A.A. Realty LLC	3160
4	165 Mendon St	0043-0010-000	Kathleen Richard	1090
5	112 Mendon St	0048-0002-0000	Shea High Point Trust II	0310



**LOCUS MAP**  
1" = 200'  
from Mass Mapper data layers  
to be considered approximate

SHEET INVENTORY	
No.	Title
C1	Cover Page
C-1	Existing Conditions Plan
C-2	Site Design & Layout Plan
C-3	Grading & Utility Plan
C-4	Landscape & Planting Plan
C-5	Stormwater Management Plan
C-6	Aerial Platform Turning Path Plan
C-7	On-Site Sewage Disposal System
C-8	Septic System Details & Notes
EC-1	Erosion & Sediment Control Plan
C-9	Site Plan Details & Notes
C-10	Site Plan Details
C-11	Site Plan Details

### SITE DEVELOPMENT PLAN

#### Cover Sheet

Located at  
123 Mendon Street  
Bellingham, MA

Owner/ Applicant  
D & C Pavone Enterprises, LLC  
45 Comstock Drive  
Wrentham, MA 02093

#### LOCUS REFERENCES

Deed (Book / Page): 41338 / 384

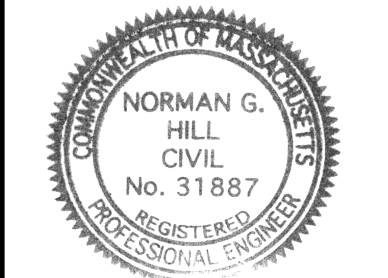
Assessors Parcel ID: 0043-0018-0000

#### ZONING DISTRICT: INDUSTRIAL (I)

REQUIRED	
AREA:	60,000 S.F.
FRONTAGE:	200 FT.
FRONT YARD:	20 FT.
SIDE YARD:	10 FT.
REAR YARD:	20 FT.
BLDG HEIGHT MAX.	45 FT.

#### ZONING DISTRICT: BUSINESS 1 (B-1)

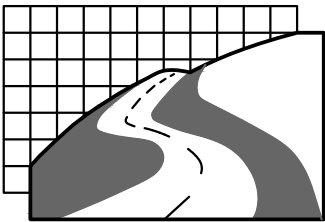
REQUIRED	
AREA:	40,000 S.F.
FRONTAGE:	150 FT.
FRONT YARD:	20 FT.
SIDE YARD:	10 FT.
REAR YARD:	20 FT.
BLDG HEIGHT MAX.	35 FT.



*Norman G. Hill, P.E.*  
Date: 11-22-2024  
Norman G. Hill, PE #31887

#### REVISIONS

Date	Description
Field By:	BH/DL 7/2024
Designed By:	SB 11/2024
Drawn By:	SB 11/2024
Checked By:	NGH 11/2024



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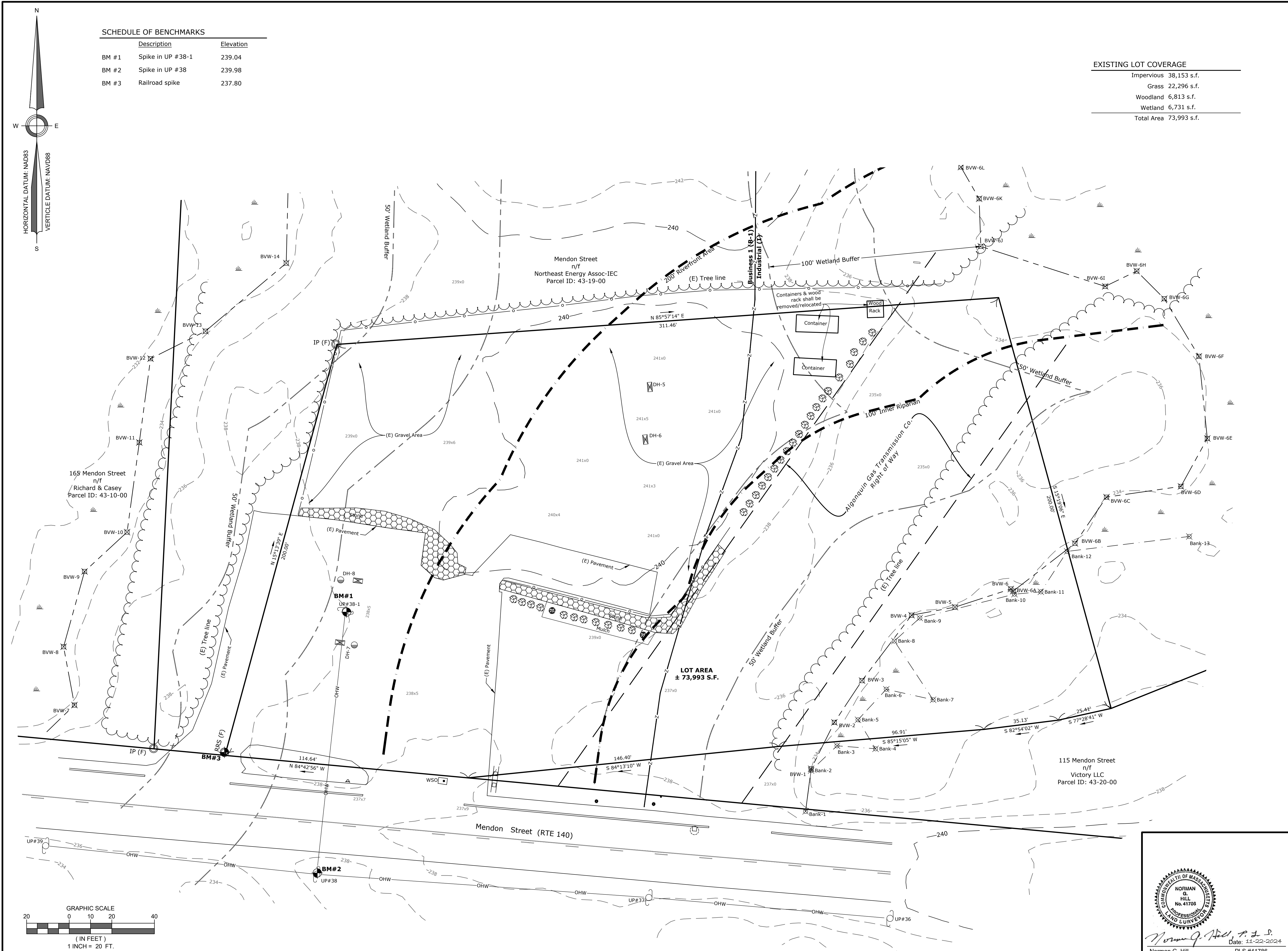
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508-839-9526

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781-294-4144

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Date	Nov. 12, 2024	Sheet No.
Job No.	B2850	C1





SCHEDULE OF BENCHMARKS		
	Description	Elevation
BM #1	Spike in UP #38-1	239.04
BM #2	Spike in UP #38	239.98
BM #3	Railroad spike	237.80

EXISTING LOT COVERAGE	
Impervious	38,153 s.f.
Grass	22,296 s.f.
Wetland	6,813 s.f.
Wetland	6,731 s.f.
Total Area	73,993 s.f.

**SITE DEVELOPMENT PLAN**

**Existing Conditions Plan**

Located at  
**123 Mendon Street**  
Bellingham, MA

Owner/ Applicant  
**D & C Pavone Enterprises, LLC**  
45 Comstock Drive  
Wrentham, MA 02093

**LOCUS REFERENCES**

Deed (Book / Page): 41338 / 384

Assessors Parcel ID: 0043-0018-0000

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BLDG HEIGHT MAX.	45 FT.

**ZONING DISTRICT: BUSINESS 1 (B-1)**

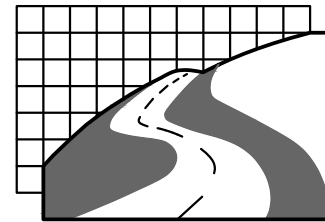
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AREA:	40,000 S.F.
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FRONT YARD:	20 FT.
SIDE YARD:	10 FT.
REAR YARD:	20 FT.
BLDG HEIGHT MAX.	35 FT.



*Norman G. Hill, P.E.*  
Date: 11-22-2024  
Norman G. Hill, PE #31887

**REVISIONS**

Date	Description
Field By:	BH/DL 7/2024
Designed By:	SB 11/2024
Drawn By:	SB 11/2024
Checked By:	NGH 11/2024



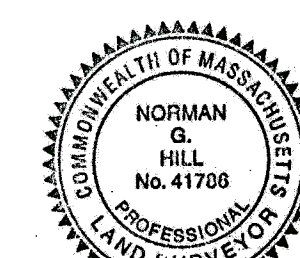
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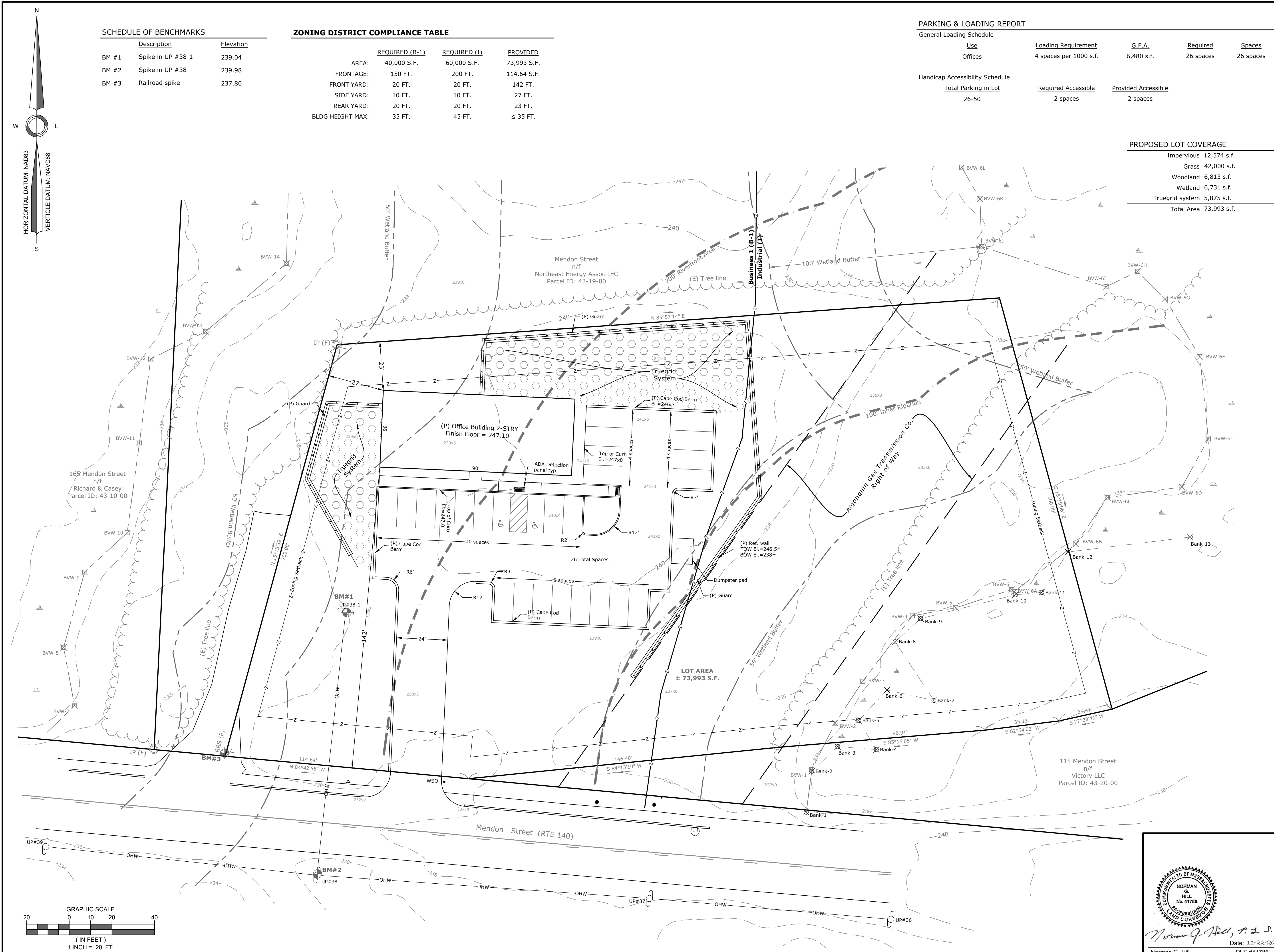
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*Norman G. Hill, P.E.*  
Date: 11-22-2024  
Norman G. Hill, PLS #41786

Date	Nov. 12, 2024	Sheet No.
Job No.	B2850	C-1





SCHEDULE OF BENCHMARKS		
	Description	Elevation
BM #1	Spike in UP #38-1	239.04
BM #2	Spike in UP #38	239.98
BM #3	Railroad spike	237.80

ZONING DISTRICT COMPLIANCE TABLE			
	REQUIRED (B-1)	REQUIRED (I)	PROVIDED
AREA:	40,000 S.F.	60,000 S.F.	73,993 S.F.
FRONTAGE:	150 FT.	200 FT.	114.64 S.F.
FRONT YARD:	20 FT.	20 FT.	142 FT.
SIDE YARD:	10 FT.	10 FT.	27 FT.
REAR YARD:	20 FT.	20 FT.	23 FT.
BLDG HEIGHT MAX.	35 FT.	45 FT.	≤ 35 FT.

PARKING & LOADING REPORT				
General Loading Schedule				
Use	Loading Requirement	G.F.A.	Required	Spaces
Offices	4 spaces per 1000 s.f.	6,480 s.f.	26 spaces	26 spaces
Handicap Accessibility Schedule				
Total Parking in Lot	Required Accessible	Provided Accessible		
26-50	2 spaces	2 spaces		

PROPOSED LOT COVERAGE	
Impervious	12,574 s.f.
Grass	42,000 s.f.
Woodland	6,813 s.f.
Wetland	6,731 s.f.
Truegrid system	5,875 s.f.
Total Area	73,993 s.f.

SITE DEVELOPMENT PLAN

Site Design & Layout Plan

Located at  
123 Mendon Street  
Bellingham, MA

Owner/ Applicant  
D & C Pavone Enterprises, LLC  
45 Comstock Drive  
Wrentham, MA 02093

LOCUS REFERENCES

Deed (Book / Page): 41338 / 384

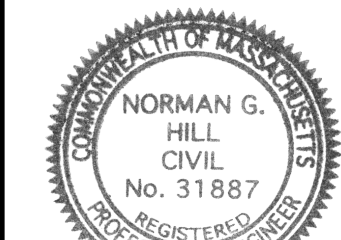
Assessors Parcel ID: 0043-0018-0000

ZONING DISTRICT: INDUSTRIAL (I)

	REQUIRED
AREA:	60,000 S.F.
FRONTAGE:	200 FT.
FRONT YARD:	20 FT.
SIDE YARD:	10 FT.
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ZONING DISTRICT: BUSINESS 1 (B-1)

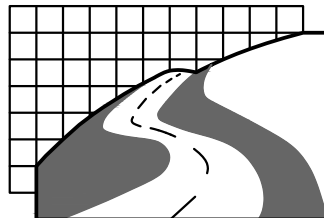
	REQUIRED
AREA:	40,000 S.F.
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FRONT YARD:	20 FT.
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REAR YARD:	20 FT.
BLDG HEIGHT MAX.	35 FT.



Norman G. Hill, P.E.  
Date: 11-22-2024  
Norman G. Hill, PE #31887

REVISIONS

Date	Description
Field By:	BH/DL 7/2024
Designed By:	SB 11/2024
Drawn By:	SB 11/2024
Checked By:	NGH 11/2024



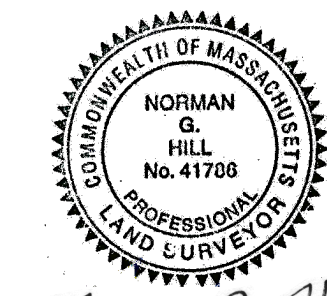
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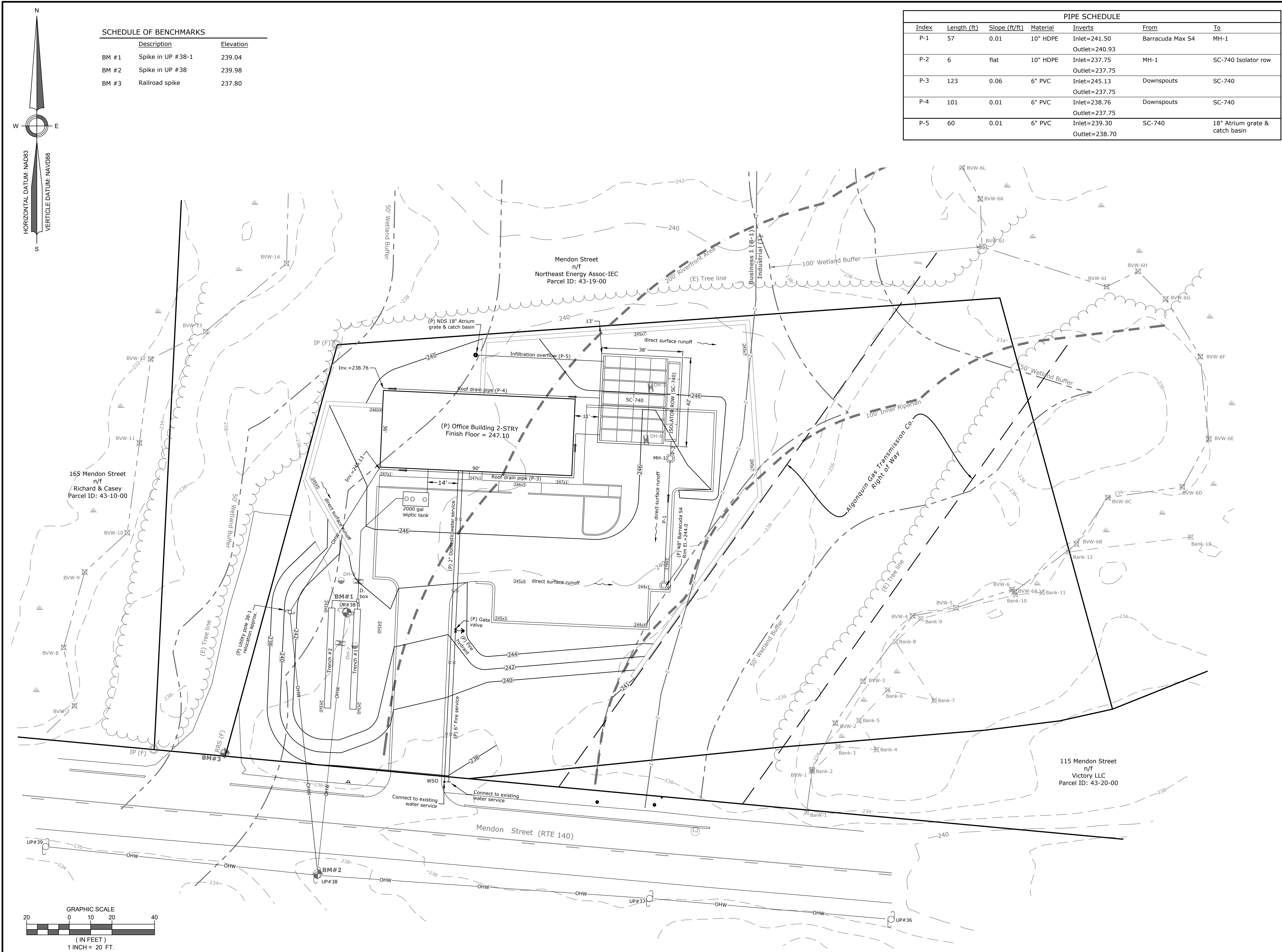
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Norman G. Hill, P.E.  
Date: 11-22-2024  
Norman G. Hill, PLS #41786

Date	Nov. 12, 2024	Sheet No.
Job No.	B2850	C-2





SCHEDULE OF BENCHMARKS		
	Description	Elevation
BM #1	Spike in UP #38-1	239.04
BM #2	Spike in UP #38	239.98
BM #3	Railroad spike	237.80

PIPE SCHEDULE						
Index	Length (ft)	Slope (ft/ft)	Material	Inverts	From	To
P-1	57	0.01	10" HDPE	Inlet=241.50 Outlet=240.93	Barracuda Max S4	MH-1
P-2	6	flat	10" HDPE	Inlet=237.75 Outlet=237.75	MH-1	SC-740 Isolator row
P-3	123	0.06	6" PVC	Inlet=245.13 Outlet=237.75	Downspouts	SC-740
P-4	101	0.01	6" PVC	Inlet=238.76 Outlet=237.75	Downspouts	SC-740
P-5	60	0.01	6" PVC	Inlet=239.30 Outlet=238.70	SC-740	18" Atrium grate & catch basin

SITE DEVELOPMENT PLAN

Grading & Utility Plan

Located at  
123 Mendon Street  
Bellingham, MA

Owner/ Applicant  
D & C Pavone Enterprises, LLC  
45 Comstock Drive  
Wrentham, MA 02093

LOCUS REFERENCES

Deed (Book / Page): 41338 / 384

Assessors Parcel ID: 0043-0018-0000

ZONING DISTRICT: INDUSTRIAL (I)

	REQUIRED
AREA:	60,000 S.F.
FRONTAGE:	200 FT.
FRONT YARD:	20 FT.
SIDE YARD:	10 FT.
REAR YARD:	20 FT.
BLDG HEIGHT MAX.	45 FT.

ZONING DISTRICT: BUSINESS 1 (B-1)

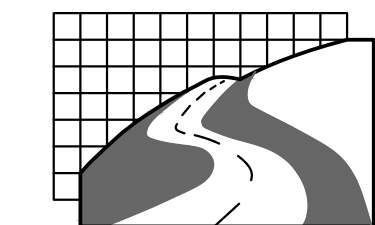
	REQUIRED
AREA:	40,000 S.F.
FRONTAGE:	150 FT.
FRONT YARD:	20 FT.
SIDE YARD:	10 FT.
REAR YARD:	20 FT.
BLDG HEIGHT MAX.	35 FT.



*Norman G. Hill, P.E.*  
Date: 11-22-2024  
Norman G. Hill, PE #31887

REVISIONS

Date	Description
Field By:	BH/DL 7/2024
Designed By:	SB 11/2024
Drawn By:	SB 11/2024
Checked By:	NGH 11/2024



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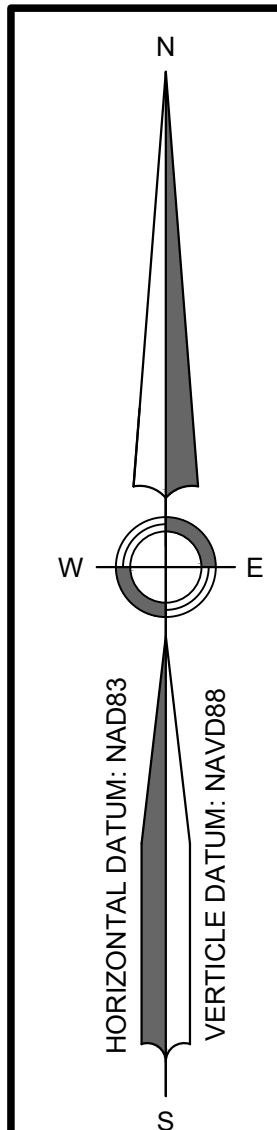
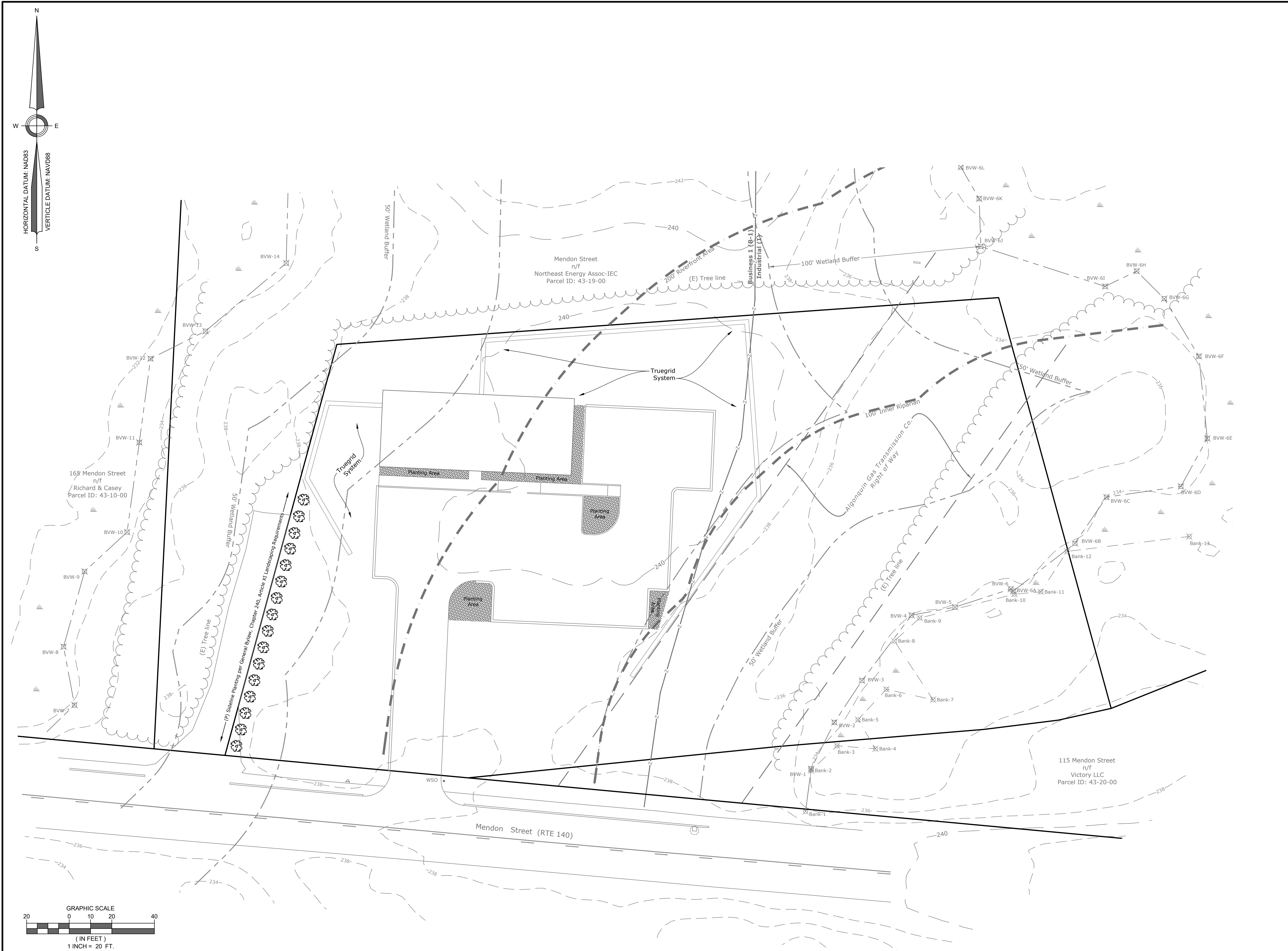
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Date	Nov. 12, 2024	Sheet No.
Job No.	B2850	C-3





**SITE DEVELOPMENT PLAN**

**Landscape & Planting Plan**

Located at  
**123 Mendon Street**  
Bellingham, MA

Owner/ Applicant  
**D & C Pavone Enterprises, LLC**  
45 Comstock Drive  
Wrentham, MA 02093

**LOCUS REFERENCES**  
Deed (Book / Page): 41338 / 384

Assessors Parcel ID: 0043-0018-0000

**ZONING DISTRICT: INDUSTRIAL (I)**

	<b>REQUIRED</b>
AREA:	60,000 S.F.
FRONTAGE:	200 FT.
FRONT YARD:	20 FT.
SIDE YARD:	10 FT.
REAR YARD:	20 FT.
BLDG HEIGHT MAX.	45 FT.

**ZONING DISTRICT: BUSINESS 1 (B-1)**

	<b>REQUIRED</b>
AREA:	40,000 S.F.
FRONTAGE:	150 FT.
FRONT YARD:	20 FT.
SIDE YARD:	10 FT.
REAR YARD:	20 FT.
BLDG HEIGHT MAX.	35 FT.

*Norman G. Hill, P.E.*  
Date: 11-22-2024  
Norman G. Hill, PE #31887

**REVISIONS**

Date	Description
Field By:	BH/DL 7/2024
Designed By:	SB 11/2024
Drawn By:	SB 11/2024
Checked By:	NGH 11/2024

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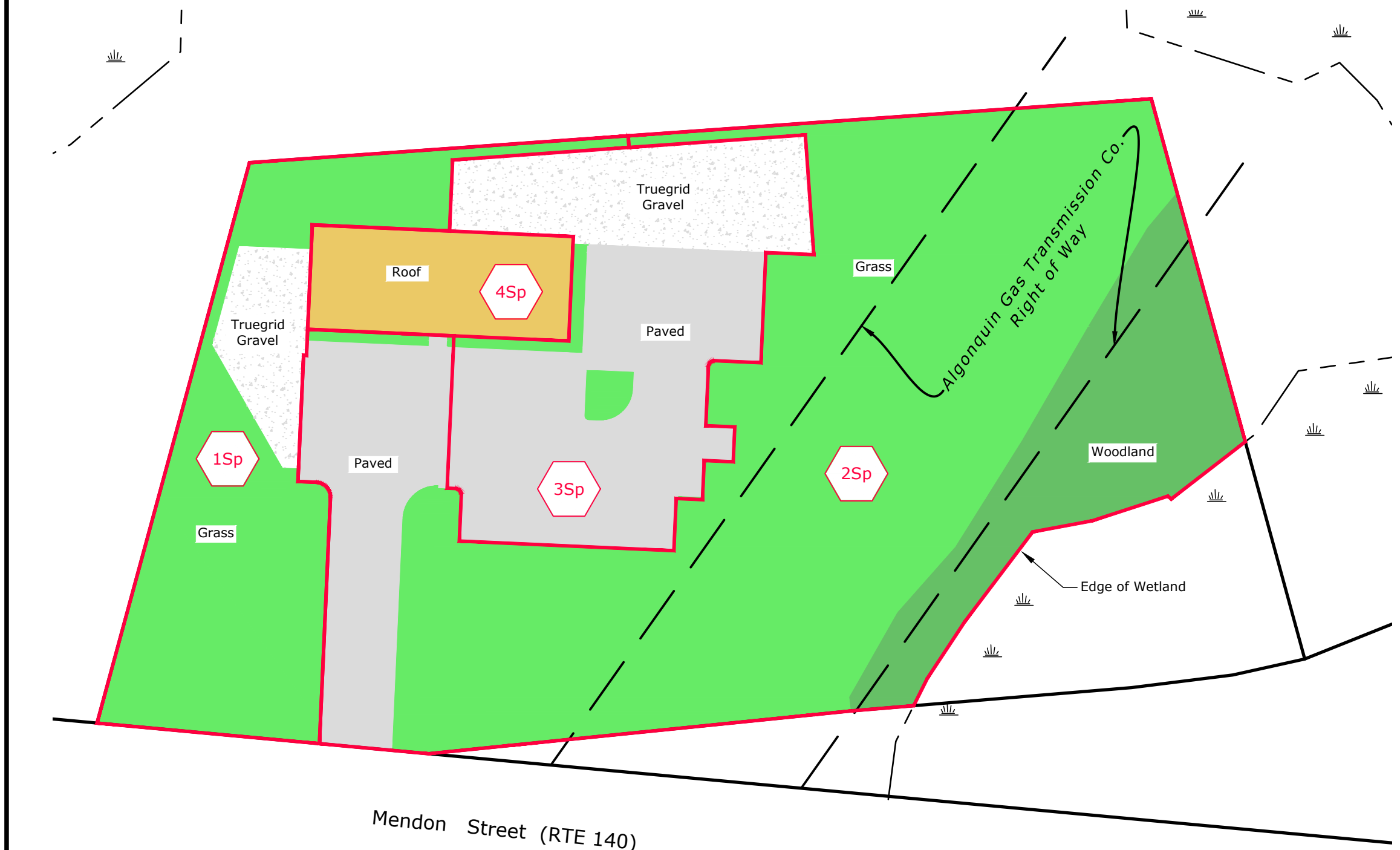
**Hanson**  
1115 Main Street  
Hanson, MA 02341  
781-294-4144  
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Date	Nov. 12, 2024	Sheet No.
Job No.	B2850	C-4

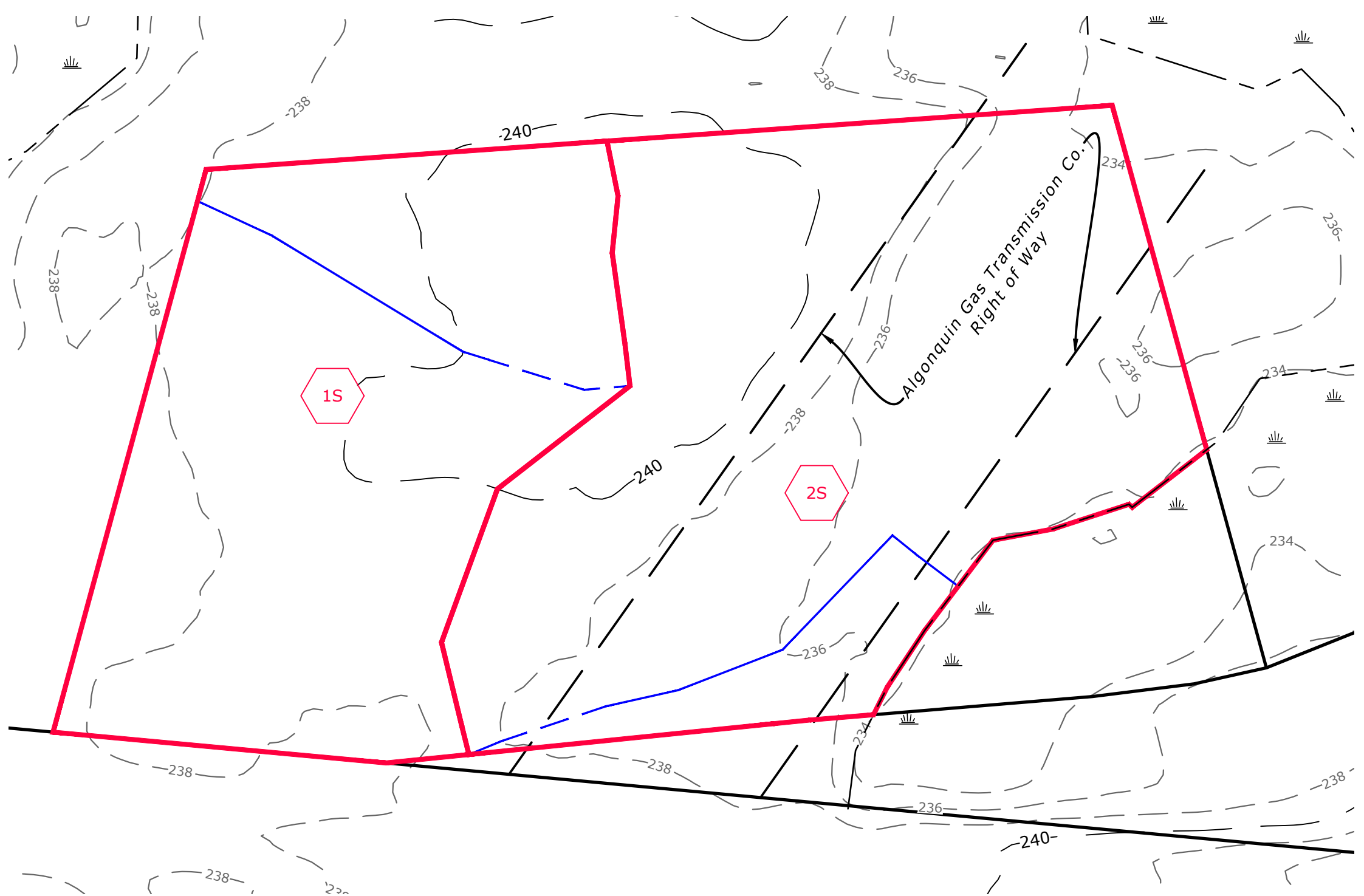




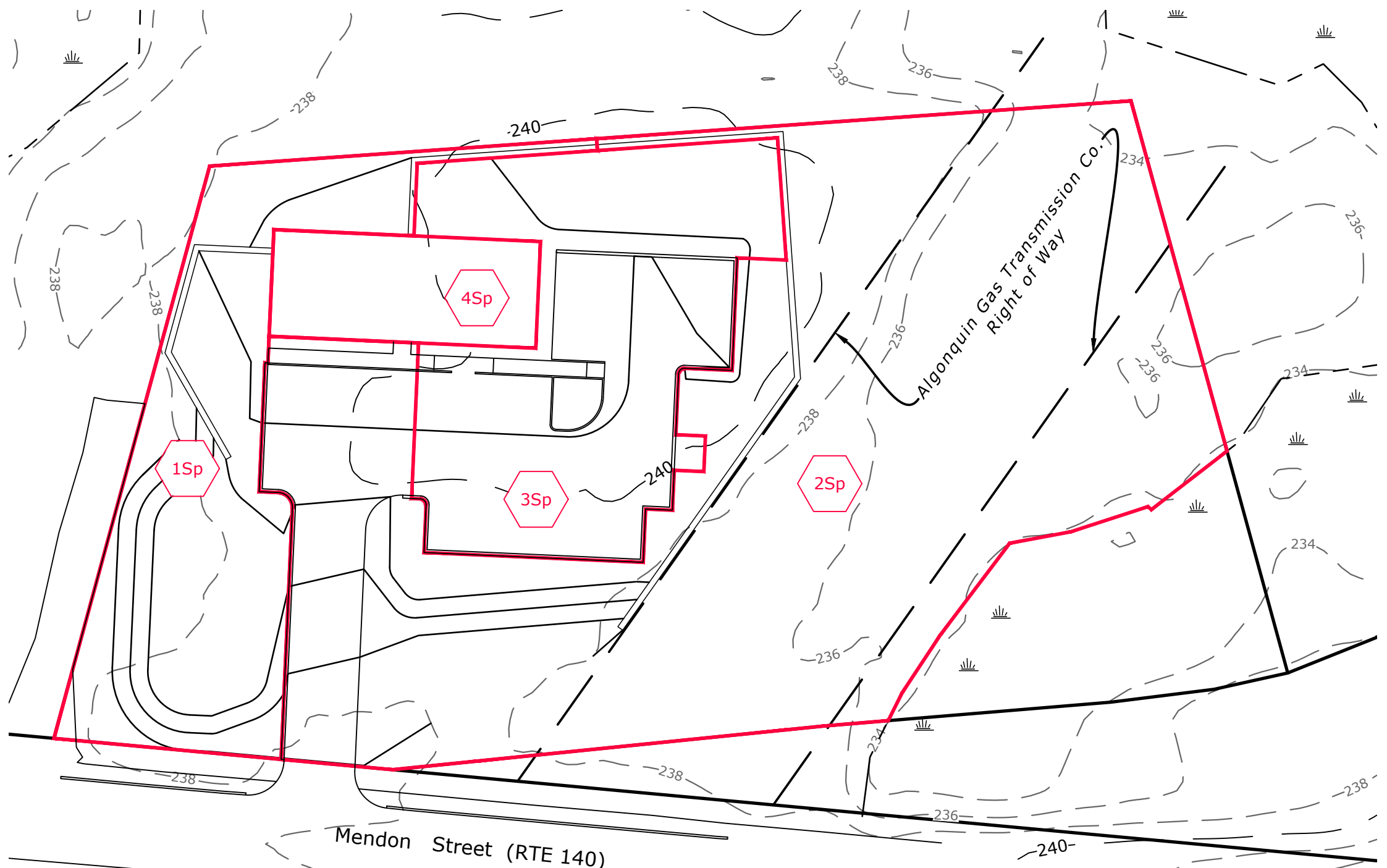
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SCALE: 1" = 40'



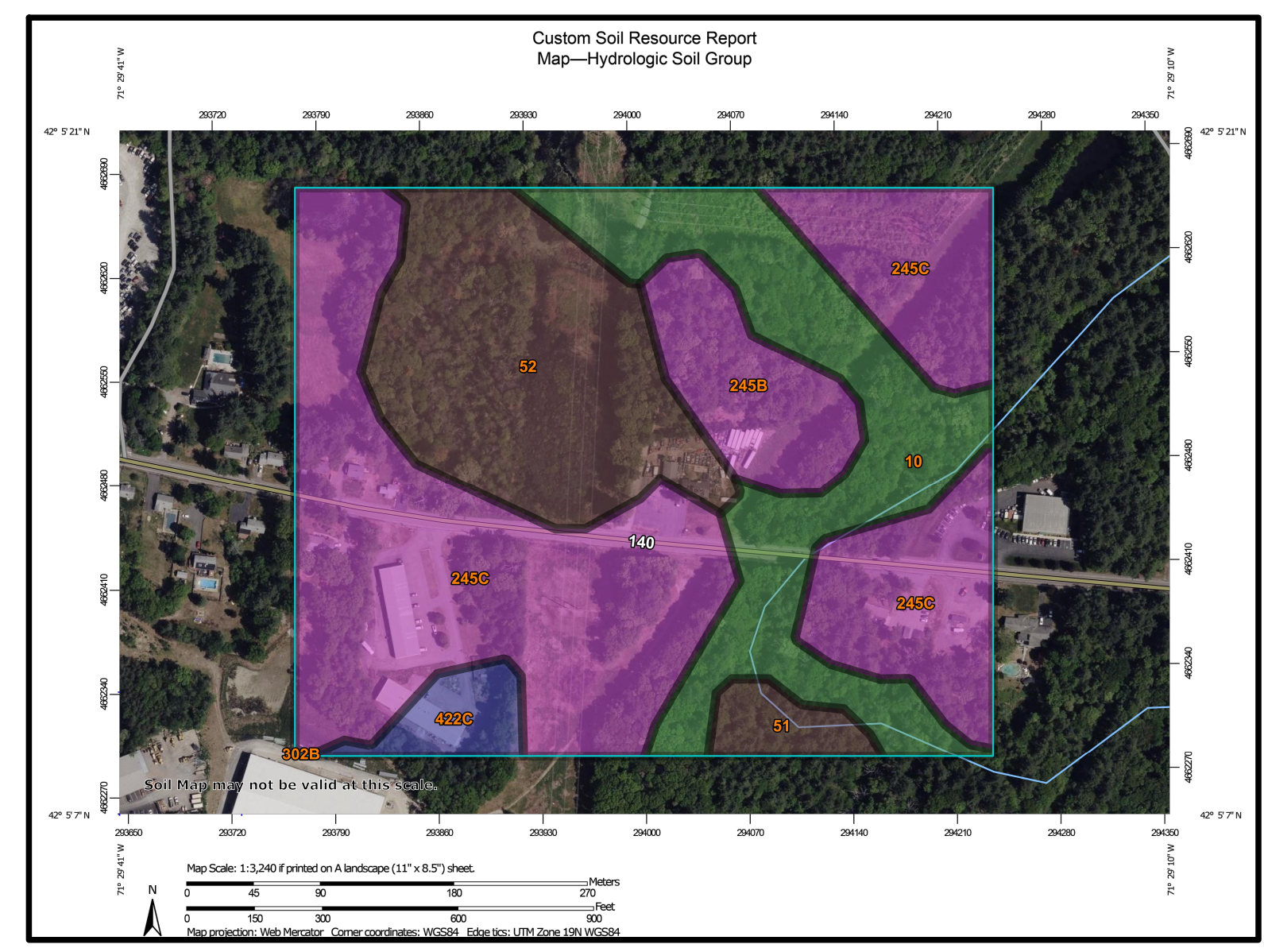
**GROUNDCOVER PRE**  
SCALE: 1" = 40'



**WATERSHED ANALYSIS PRE**  
SCALE: 1" = 40'



**WATERSHED ANALYSIS PRE**  
SCALE: 1" = 40'



FLOW PATH KEY  
— SHEET FLOW  
— SHALLOW CONCENTRATED FLOW

**Summary Subcatchment: 1S**

Area (sf)	CN	Description
430	98	Paved parking HSG B/D
16,463	98	Paved parking HSG B/D
10448	98	Paved parking HSG A
1,066	39	>75% Grass cover, Good HSG A
382	98	Paved parking HSG A

**Summary Subcatchment: 2S**

Area (sf)	CN	Description
2,739	98	Paved parking HSG B/D
10	98	Paved parking HSG A/D
547	98	Paved parking HSG B/D
1,925	30	Woods, Good HSG A/D
3,390	61	>75% Grass cover, Good HSG B/D
5,442	39	>75% Grass cover, Good HSG A/D
12,398	39	>75% Grass cover, Good HSG A
4,888	30	Woods, Good HSG A
3,663	98	Paved parking HSG A
3,471	98	Paved parking HSG A

**Summary Subcatchment: 1Sp**

Area (sf)	CN	Description
3,749	61	>75% Grass cover, Good HSG B/D
1,655	65	Truegrid gravel HSG B/D
112	65	Truegrid gravel HSG A
5,651	39	>75% Grass cover, Good HSG A

**Summary Subcatchment: 2Sp**

Area (sf)	CN	Description
1,923	30	Woods, Good HSG A/D
1,969	98	Paved parking HSG B/D
5,441	39	>75% Grass cover, Good HSG A/D
19,721	39	>75% Grass cover, Good HSG A
3,583	61	>75% Grass cover, Good HSG B/D
2,833	98	Paved parking HSG A
4,890	30	Woods, Good HSG A

**Summary Subcatchment: 3Sp**

Area (sf)	CN	Description
6,933	98	Paved parking HSG B/D
1,837	65	Truegrid gravel HSG B/D
2,271	65	Truegrid gravel HSG A
839	98	Paved parking HSG A
614	61	>75% Grass cover, Good HSG B/D

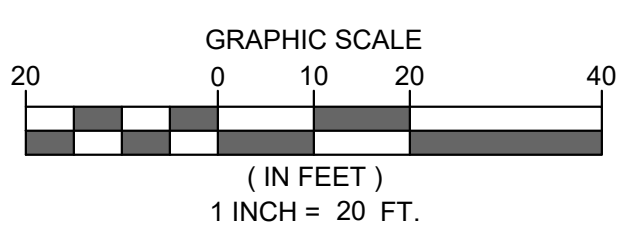
**Summary Subcatchment: 4Sp**

Area (sf)	CN	Description
3,240	98	Roofs HSG B/D

## Stormwater Management Plan

Located at  
123 Mendon Street  
Bellingham, MA

Owner/ Applicant  
D & C Pavone Enterprises, LLC  
45 Comstock Drive  
Wrentham, MA 02093



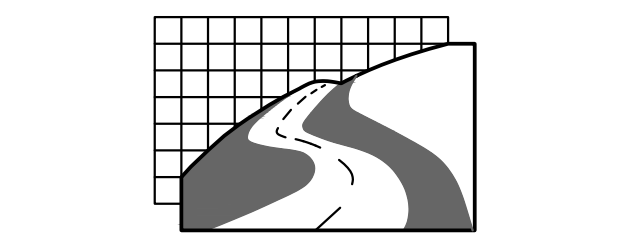
### LOCUS REFERENCES

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Assessors Parcel ID: 0043-0018-0000



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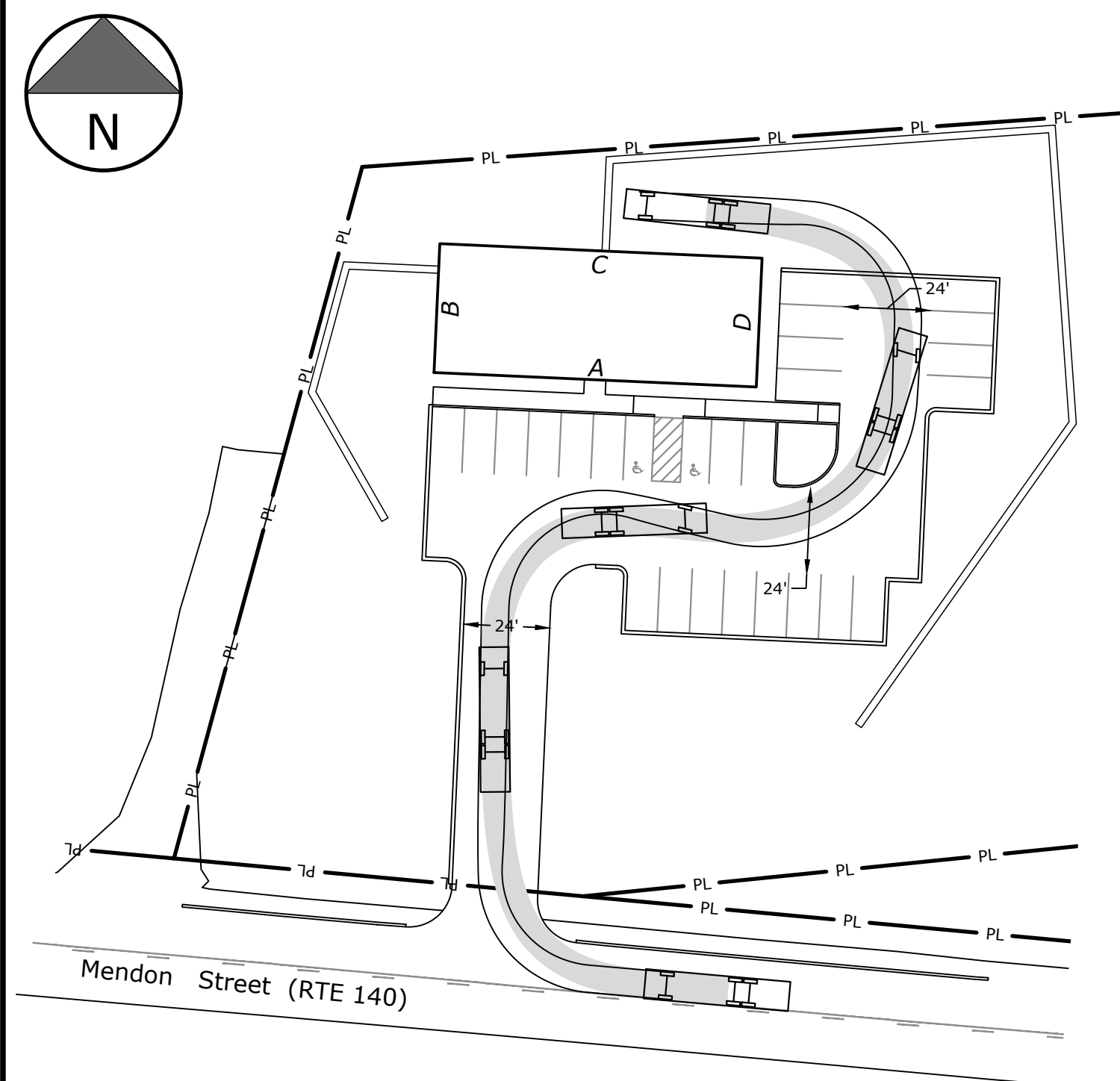
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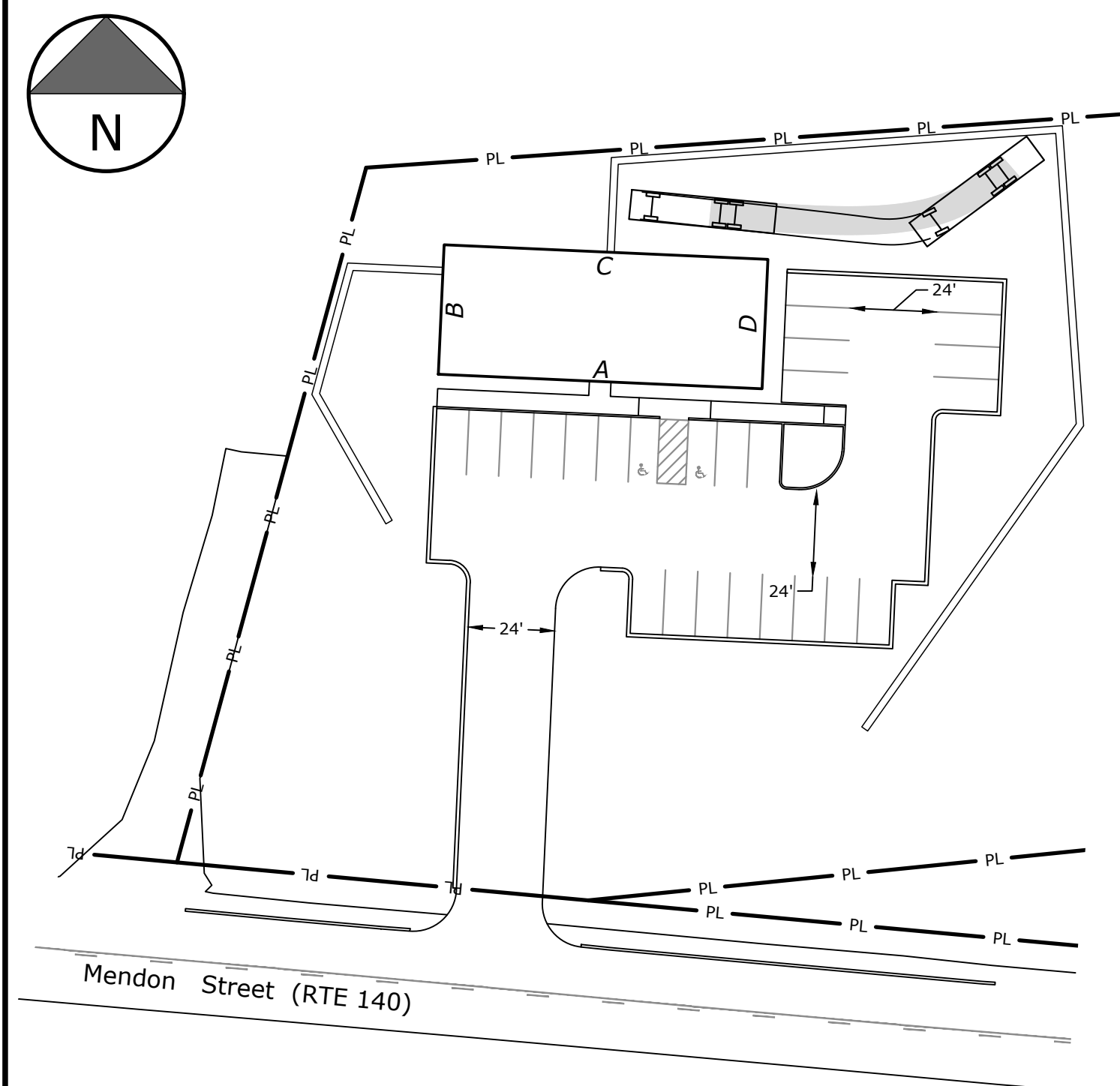
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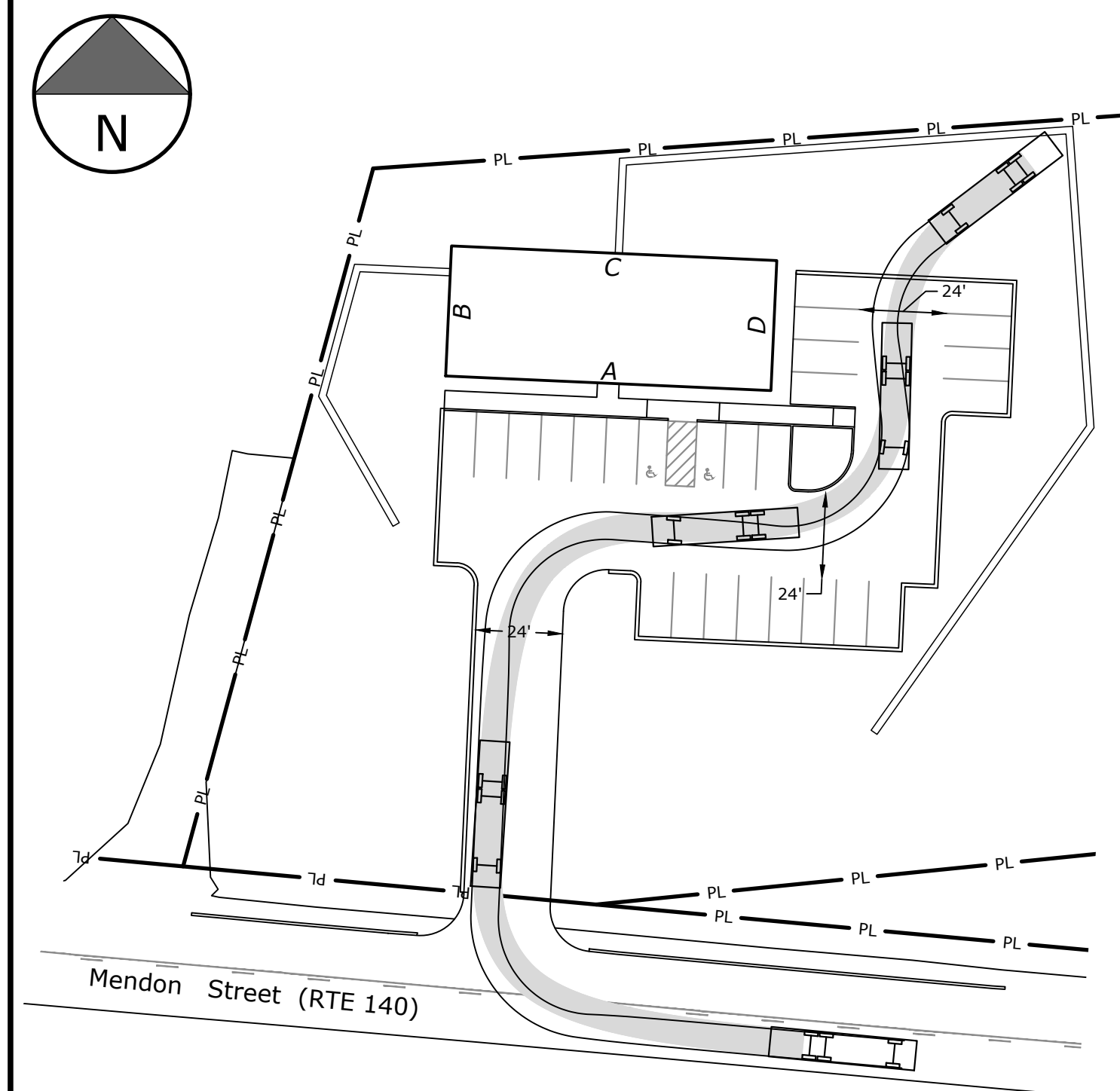
 Rear tire turning path  
 Front tire turning path



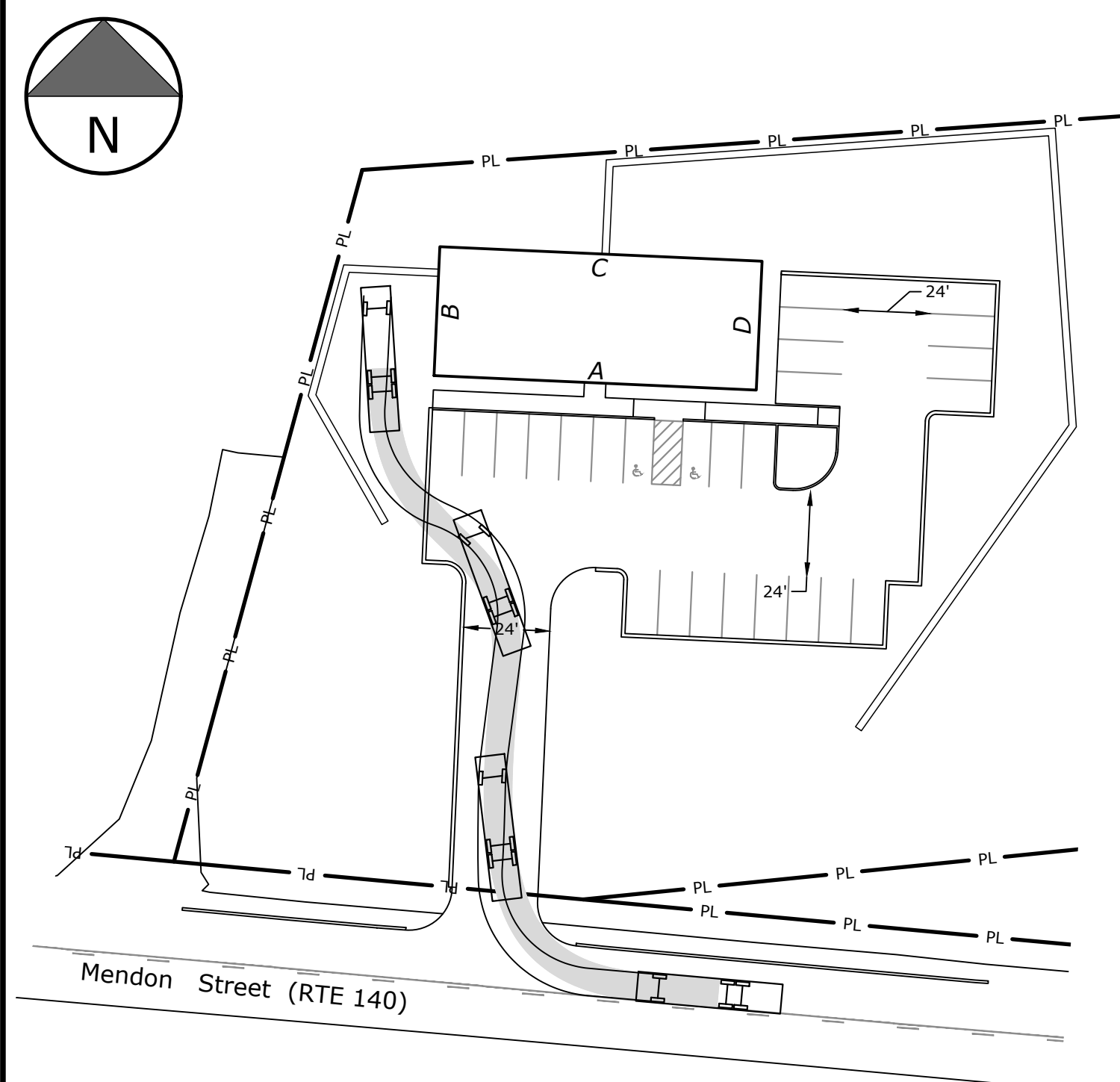
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SCALE: 1" = 40'



**AERIAL PLATFORM "C" SIDE EGRESS**  
SCALE: 1" = 40'

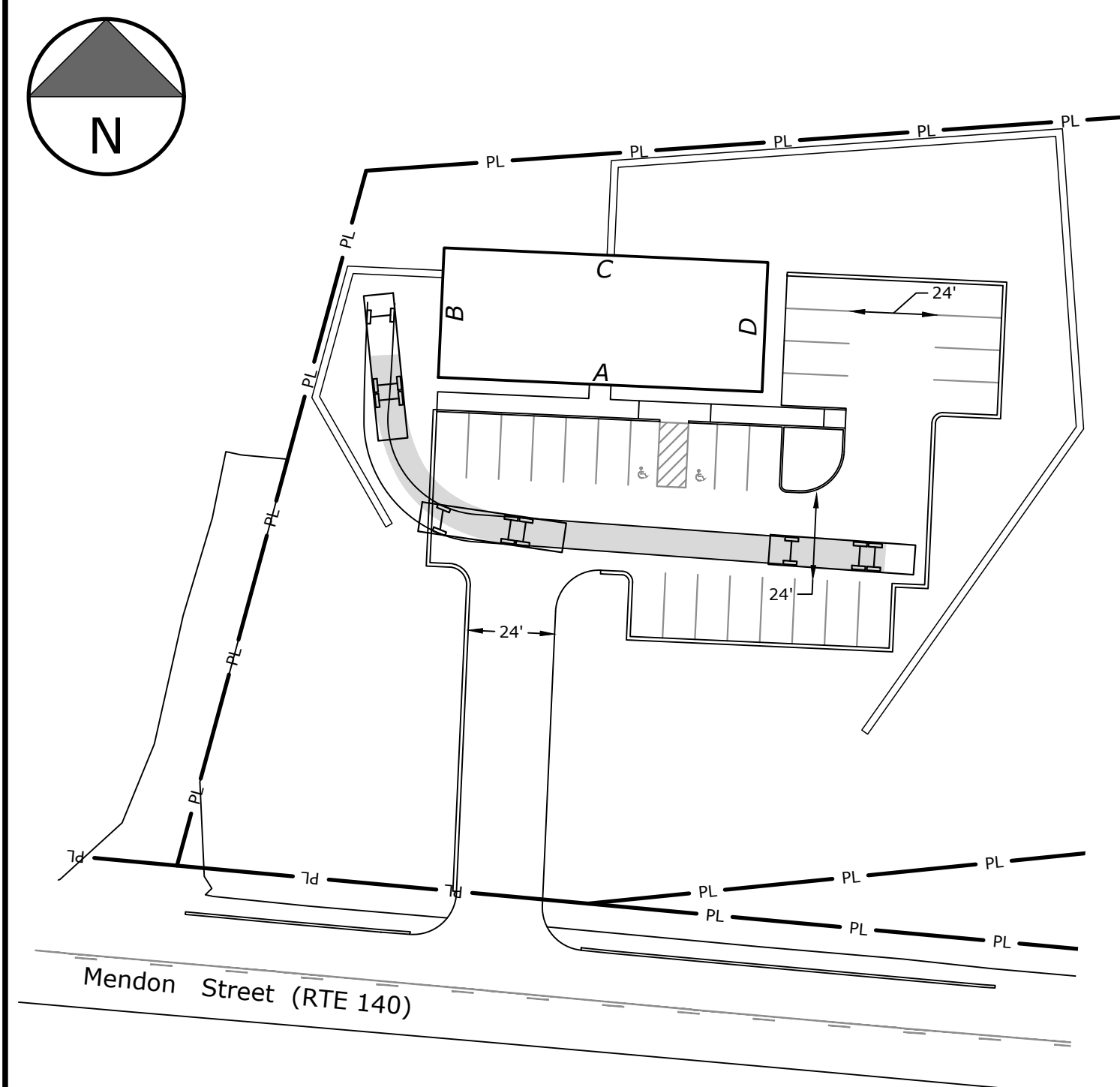


**AERIAL PLATFORM "C" SIDE EGRESS**  
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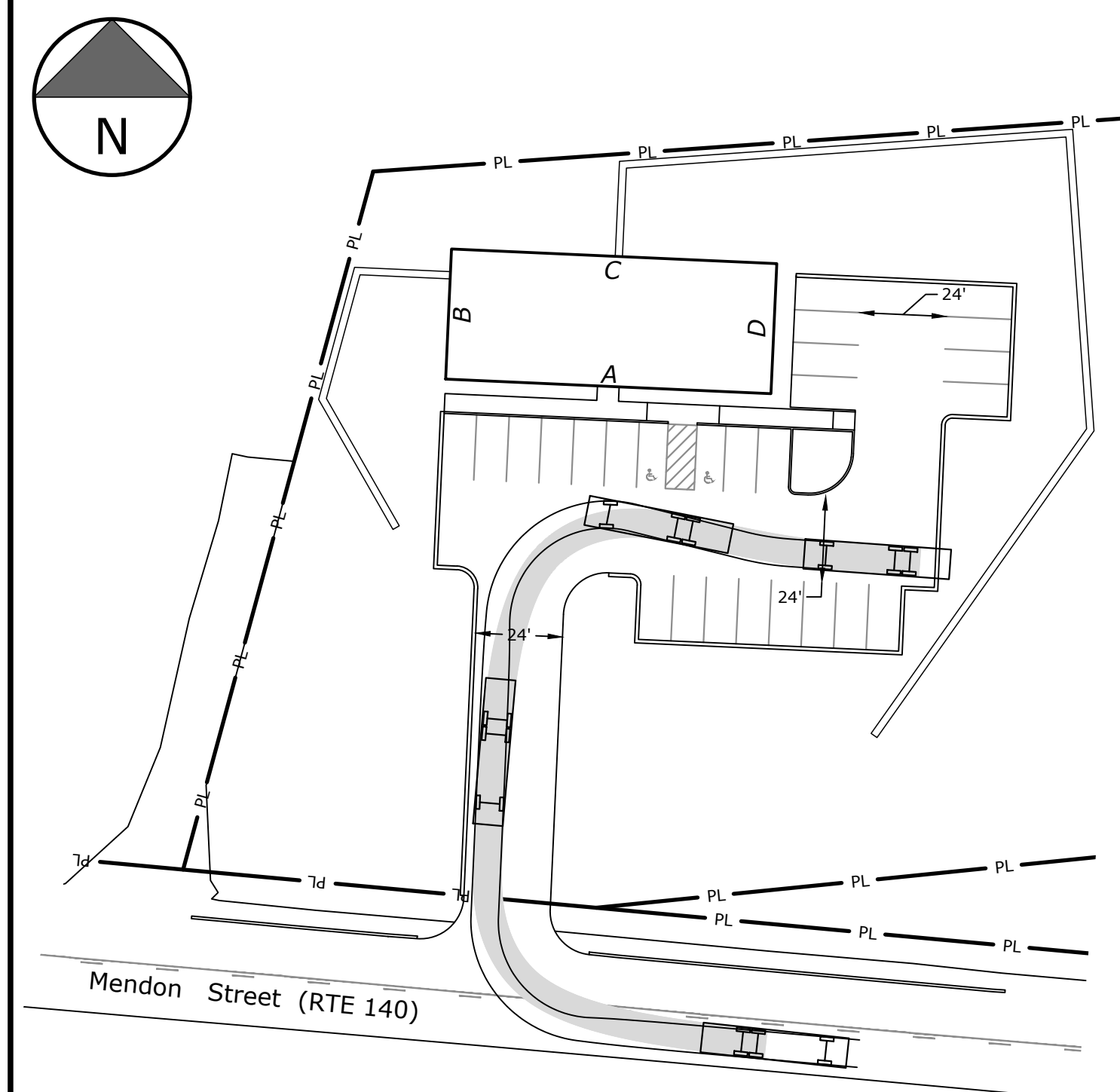


**AERIAL PLATFORM "B" SIDE ACCESS**

SCALE: 1" = 40'



**AERIAL PLATFORM "B" SIDE EGRESS**  
SCALE: 1" = 40'



**AERIAL PLATFORM "B" SIDE EGRESS**  
SCALE: 1" = 40'

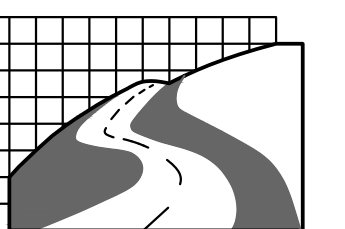
DATE	REVISION DESCRIPTION	APPROVED
<b>ATCH MOBILE EQUIPMENT</b> ONE INVERTED CONE ONE INVERTED CONE ONE INVERTED CONE		<b>CAD</b> ATANAWA CANNON JON
TRANS. 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## Deed (Book / Page): 41338 / 384

Assessors Parcel ID: 0043-0018-0000



*Morman G. Hill, PE.*  
Date: 11-22-2024  
Morman G. Hill, PE #31887



Civil Engineers • Land Surveyors  
Environmental Consultants

**Bellingham**  
67 Hartord Ave.  
Bellingham, MA 02019  
508-966-4130

**North Grafton**  
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508-839-9526

**Hanson**  
1115 Main Street  
Hanson, MA 02341  
781-294-4144

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Date	Nov. 18, 2024	Sh
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Job No. B2850

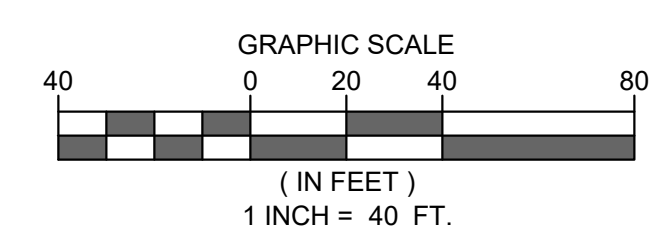
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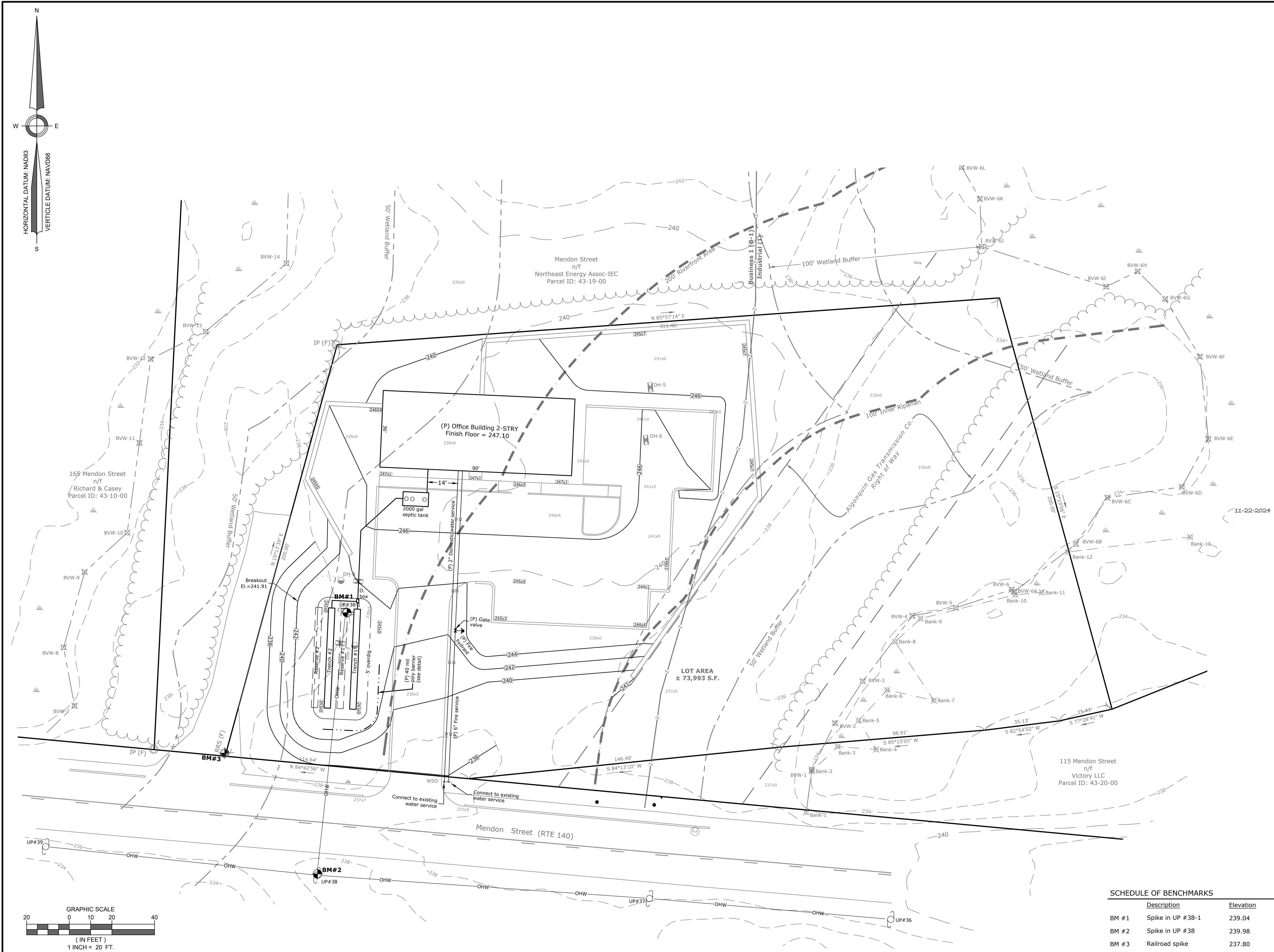
## Aerial Platform Turning Path Plan

Located at  
123 Mendon Street  
Bellingham, MA

Owner/ Applicant  
D & C Pavone Enterprises, LLC  
45 Comstock Drive  
Wrentham, MA 02093







**SITE DEVELOPMENT PLAN**

**On-site Sewage Disposal System**

Located at  
123 Mendon Street  
Bellingham, MA

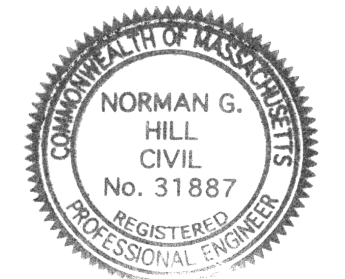
Owner/ Applicant  
D & C Pavone Enterprises, LLC  
45 Comstock Drive  
Wrentham, MA 02093

**LOCUS REFERENCES**  
Deed (Book / Page): 41338 / 384

Assessors Parcel ID: 0043-0018-0000

ZONING DISTRICT: INDUSTRIAL (I)	
REQUIRED	
AREA:	60,000 S.F.
FRONTAGE:	200 FT.
FRONT YARD:	20 FT.
SIDE YARD:	10 FT.
REAR YARD:	20 FT.
BLDG HEIGHT MAX.	45 FT.

ZONING DISTRICT: BUSINESS 1 (B-1)	
REQUIRED	
AREA:	40,000 S.F.
FRONTAGE:	150 FT.
FRONT YARD:	20 FT.
SIDE YARD:	10 FT.
REAR YARD:	20 FT.
BLDG HEIGHT MAX.	35 FT.

  
*Norman G. Hill, P.E.*  
Date: 11-22-2024  
Norman G. Hill, PE #31887

REVISIONS		
Date	Description	
Field By:	BH/DL	7/2024
Designed By:	SB	11/2024
Drawn By:	SB	11/2024
Checked By:	NGH	11/2024

  
**Land Planning, Inc.**  
Civil Engineers • Land Surveyors  
Environmental Consultants

**Bellingham**  
167 Hartford Ave.  
Bellingham, MA 02019  
508-966-4130

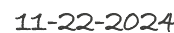
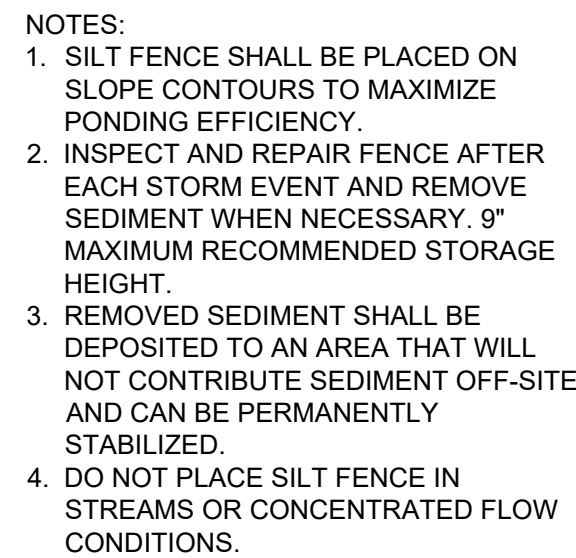
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Date	Nov. 12, 2024	Sheet No.
Job No.	B2850	C-7

SCHEDULE OF BENCHMARKS		
	Description	Elevation
BM #1	Spike in UP #38-1	239.04
BM #2	Spike in UP #38	239.98
BM #3	Railroad spike	237.80



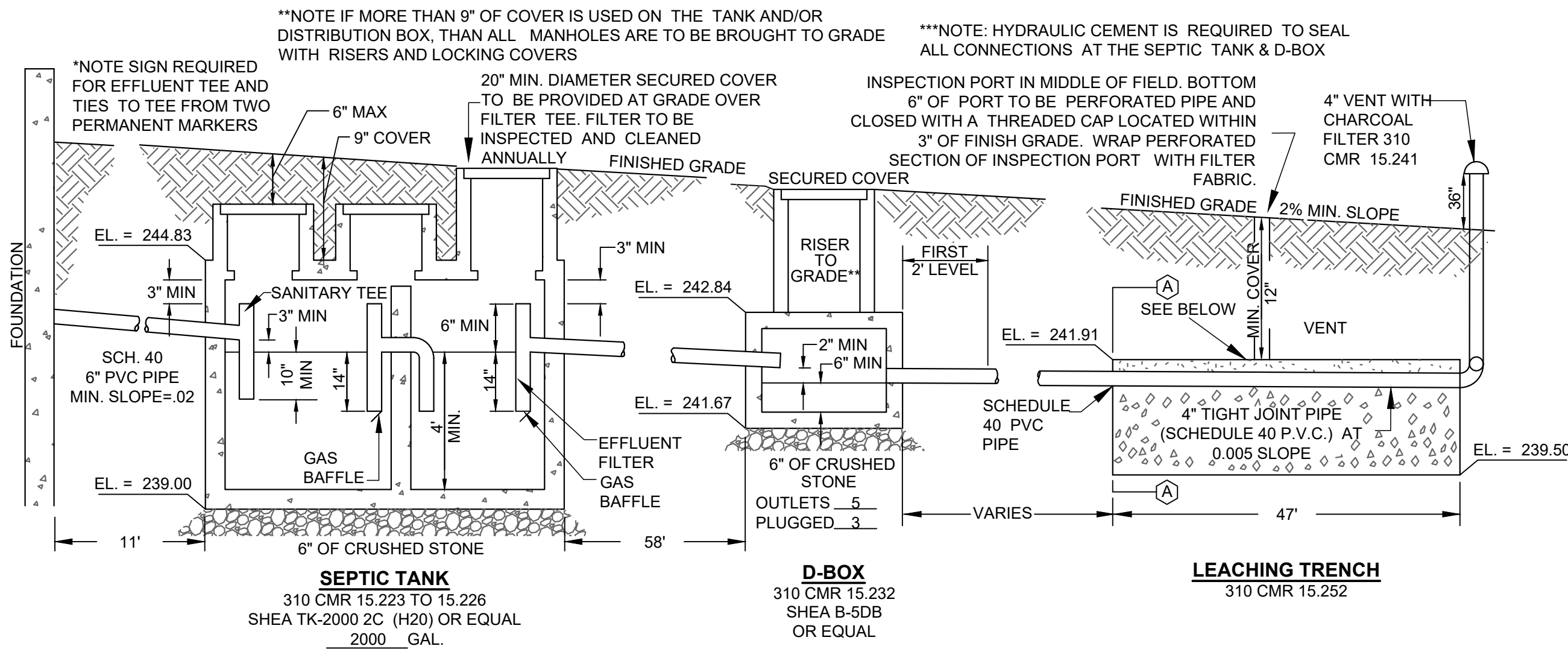


Date Nov. 12, 2024	Sheet No.  EC-1
Job No. B2850	

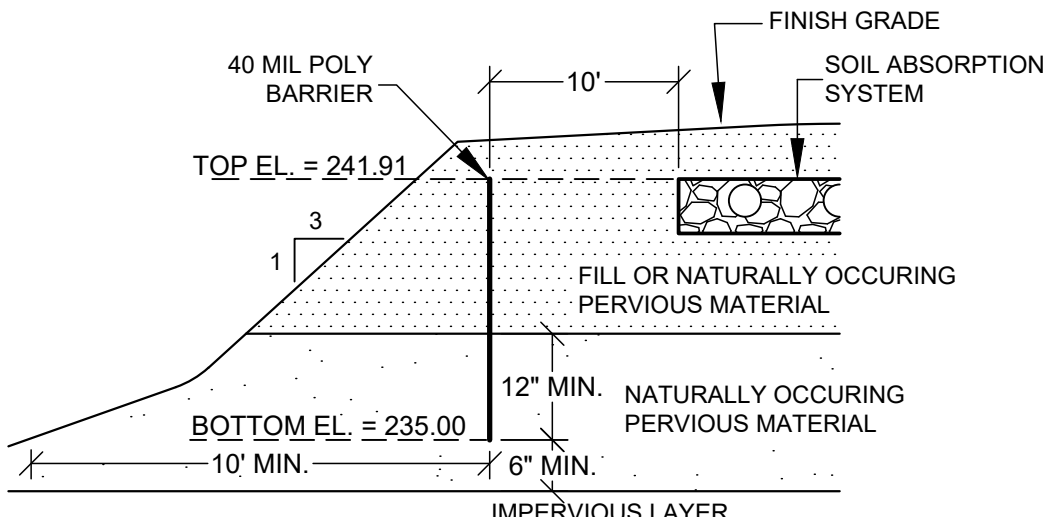
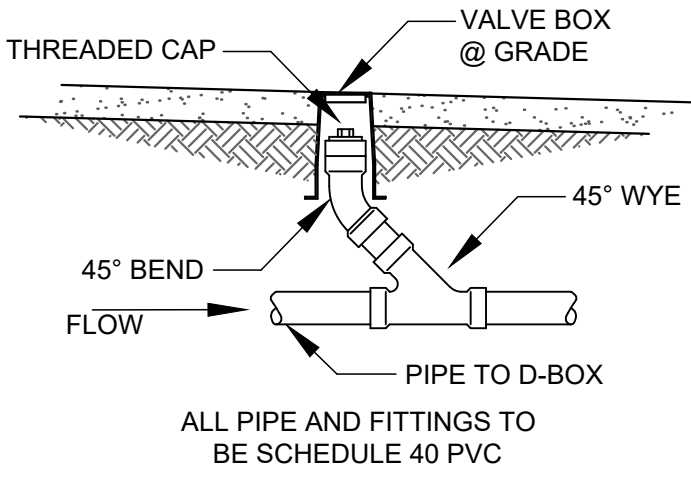
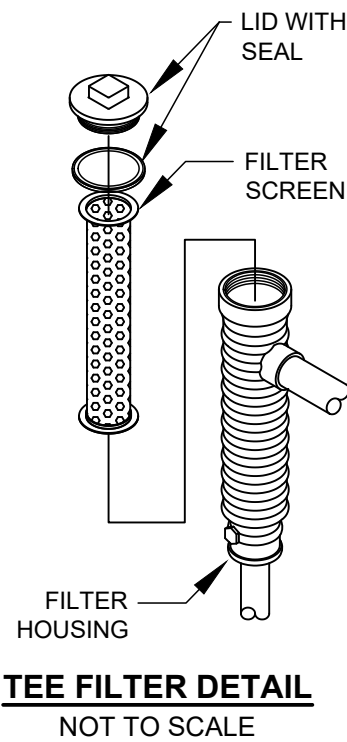
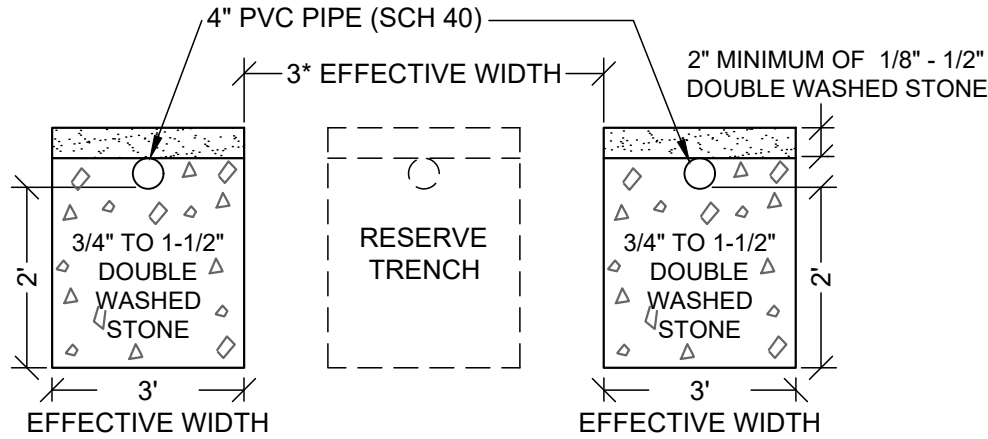


SCHEDULE OF ELEVATIONS			
COMPONENT	DESIGN	ASBUILT	DESCRIPTION
Foundation	243.80		6" Sch 40 sewer invert
Septic Tank	243.58		Inlet 6" Sch 40 sewer invert
	243.33		Outlet 4" Sch 40 sewer invert
Dist. Box	242.17		Inlet 4" Sch 40 sewer invert
	242.00		Outlet 4" Sch 40 sewer invert

SCHEDULE OF TRENCH ELEVATIONS				
TRENCH #	TOP OF WASHED STONE	4" INVERT BEGIN	4" INVERT END	BOTTOM OF TRENCH
Trench 1	241.91	241.74	241.50	239.50
Trench 2	241.91	241.74	241.50	239.50



SOIL TEST DATA					
PERFORMED BY: William Halsing, SE#2823			DATE PERFORMED: September 27, 2024		
WITNESSED BY: Dylan LaBonte, B.O.H. Agent					
TEST HOLE #	DEPTH (IN.)	SOIL HORIZON	SOIL TEXTURE (USDA)	SOIL COLOR (MUNSELL)	NOTES
DH-7				EXISTING GRADE: 238.5	
	0-40	FILL			
	40-108	C	FINE SAND	10YR 7/2	Redox. @48"
	WEEPING: N/A	STANDING: N/A		REFUSAL: N/A	
DH-8				EXISTING GRADE: 238.5	
	0-8	FILL			
	8-18	A	SANDY LOAM	10YR 3/2	
	18-36	B	SANDY LOAM	10YR 7/8	
	36-108	C	FINE SAND	10YR 7/2	Redox. @61"
	WEEPING: 108"	STANDING: N/A		REFUSAL: N/A	
GROUNDWATER DETERMINATION			PERC TEST DATA		
238.50	SYSTEM HIGHEST ADJACENT GRADE		DATE PERFORMED: September 27, 2024		
N/A	STANDING WATER		PERC TEST #:	Perc-7	Perc-8
48"	MOTTLES		OBS. HOLE #:	DH-7	DH-8
N/A	WEEPING		PERC RATE:	3 MIN/IN	<2 MIN./IN
N/A	GROUNDWATER ADJUSTMENT		DESIGN PERC RATE:	<2 MIN./IN	
5.00' MIN.	E.S.H.G.W.T. OFFSET FOR DESIGN				
I certify that I am currently approved by the Department of Environmental Protection to conduct soil evaluations and that the above analysis has been performed by me consistent with the required training, expertise, and experience described in 310 CMR 15.018(2).					
Date					



#### GENERAL SEPTIC DESIGN NOTES

- All elevations refer to NAVD 88. See plan for benchmark locations.
- All construction shall conform to 310 CMR 15.00, Title 5.
- This plan does not warrant or imply any subsurface soil conditions other than those observed at the immediate test pit locations. If unsuitable material is encountered, all construction shall cease, and the design engineer shall be contacted immediately.
- Septic Tank and Distribution Box shall be set level and true to grade on a mechanically compacted stable base of 6" of 3/4" stone.
- Areas disturbed during construction shall be stabilized to minimize erosion and control sedimentation. The area over the system shall be graded to a minimum of 2% slope to provide positive surface drainage. Place 4" Loam and seed all disturbed areas of the project not otherwise improved.
- This plan shall not be used for the reproduction of property lines, nor shall it be used as a mortgage plot plan or title survey. Conformance to local bylaws shall be determined by the owner prior to construction.
- For proper performance, the septic tank should be pumped on an as needed basis, but in no event shall the septic tank be pumped greater than every two years.
- Any alterations must be reported to the design engineer prior to proceeding with construction.
- The system must be inspected by the Board of Health or its agent and be certified by the design engineer.
- Conservation Commission approval is required.
- See 310 CMR 15.255 for fill specifications. See 310 CMR 15.247 for aggregate specifications.
- All system components shall be marked with magnetic marking tape.
- All trenches for utilities to be backfilled and compacted with granular materials free of rocks larger than 2".
- All underground utility locations shown are based on field evidence and records provided to Land Planning, Inc.. These locations should be considered approximate. Other utilities may exist which are not evident or for which record information was not found. The contractor must contact all utility companies and "Dig Safe" (888-DIG-SAFE) before excavation begins. We assume no responsibility for damages incurred as a result of utilities omitted or inaccurately shown.
- It is the responsibility of the contractor to review all of the drawings and specifications associated with this project work and project scope prior to the initiation of construction. Should the contractor find a conflict with the documents, relative to the specifications or applicable codes, it is the contractor's responsibility to notify the project engineer of record in writing prior to the start of construction. Failure by the contractor to notify the project engineer shall constitute acceptance of full responsibility by the contractor to complete the scope of work as defined by the drawings and in full conformance with local regulations and codes.
- Contractor is responsible for all excavation to be performed in accordance with current O.S.H.A. standards, as well as additional provisions to assure stability of contiguous structures, as field conditions dictate.
- Construction of permanent structures upon the disposal system or the reserve area is prohibited.
- All system components shall be marked with magnetic marking tape or a comparable means in order to locate them once buried.

#### PROJECT SPECIFIC NOTES

- Garbage disposal units are prohibited.
- All interior plumbing, with the exception of water filtration, softening and conditioning systems, backwash or byproducts of from such, shall discharge to the proposed septic system.
- All wetlands as defined by the Wetlands Protection Act are located within 100 feet.
- The proposed septic system is not located within a Zone II Approved Wellhead Protection Area.
- All known wells located within 200 feet of the proposed system have been shown on the plan.
- All known septic systems within 150' of the proposed well have been shown on the plan.
- This lot is not located within a special flood hazard zone per FEMA FIRMette Map #25021c0303eE dated 7/17/2012
- The Parcel Lies in the Industrial and Business-1 Zoning Districts.
- A sign constructed of durable material shall be placed at the sewer clean out in the basement to indicate to the owner that the septic tank is as-built as well as basic information relative to the maintenance of the system. Also, the as built plan shall show tie distances to the effluent tee to two permanent markers, both the sign and maintenance information
- Contractor to install at least one required inspection port in the SAS.
- Vent pipe must have charcoal filter.
- There are no public water supplies within 400' of this proposed septic.

#### DESIGNER REQUIREMENTS

- Leaching area location to be staked in the field by Land Planning, Inc. prior to construction.
- Land Planning, Inc. to be contacted to perform a bottom inspection once leaching area and 5' over dig (as applicable) are excavated.
- Any changes to the layout of the septic design must be brought to the attention of Land Planning, Inc. for approval.
- After all components are installed and before the system is back filled Land Planning, Inc. is to be contacted to perform a septic system asbuilt to verify the system components are installed correctly.
- Land Planning, Inc. to receive a copy of the Title Five sand certification.
- Once system is backfilled and final grading is complete Land Planning, Inc. is to be contacted to perform a final grading asbuilt.
- Installer assumes full responsibility for the septic system if these 'Designer Requirements' are not complied with.

## SITE DEVELOPMENT PLAN

### Septic System Detail Sheet

Located at  
123 Mendon Street  
Bellingham, MA

Owner/ Applicant  
D & C Pavone Enterprises, LLC  
45 Comstock Drive  
Wrentham, MA 02093

#### LOCUS REFERENCES

Deed (Book / Page): 41338 / 384

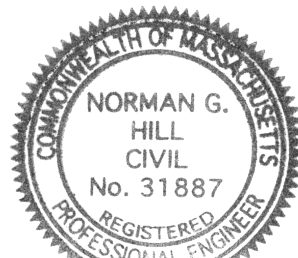
Assessors Parcel ID: 0043-0018-0000

#### ZONING DISTRICT: INDUSTRIAL (I)

	REQUIRED
AREA:	60,000 S.F.
FRONTAGE:	200 FT.
FRONT YARD:	20 FT.
SIDE YARD:	10 FT.
REAR YARD:	20 FT.
BLDG HEIGHT MAX.	45 FT.

#### ZONING DISTRICT: BUSINESS 1 (B-1)

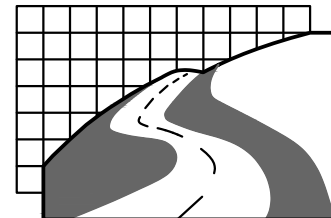
	REQUIRED
AREA:	40,000 S.F.
FRONTAGE:	150 FT.
FRONT YARD:	20 FT.
SIDE YARD:	10 FT.
REAR YARD:	20 FT.
BLDG HEIGHT MAX.	35 FT.



Norman G. Hill, P.E.  
Date: 11-22-2024  
Norman G. Hill, PE #31887

#### REVISIONS

Date	Description
Field By:	BH/DL 7/2024
Designed By:	SB 11/2024
Drawn By:	SB 11/2024
Checked By:	NGH 11/2024



## Land Planning, Inc.

Civil Engineers • Land Surveyors  
Environmental Consultants

#### Bellingham

167 Hartford Ave.  
Bellingham, MA 02019  
508-966-4130

#### North Grafton

214 Worcester St.  
N. Grafton, MA 01536  
508-839-9526

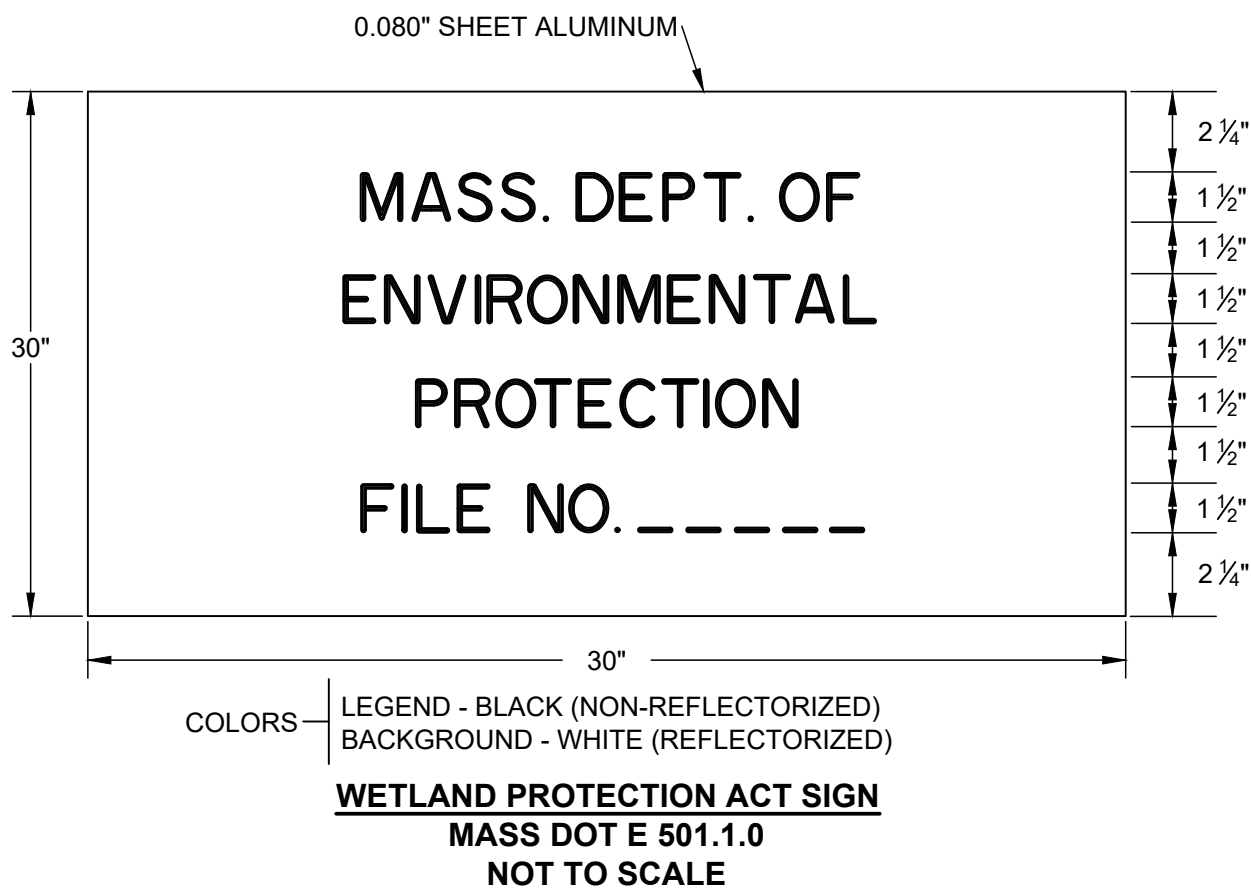
#### Hanson

1115 Main Street  
Hanson, MA 02341  
781-294-4144

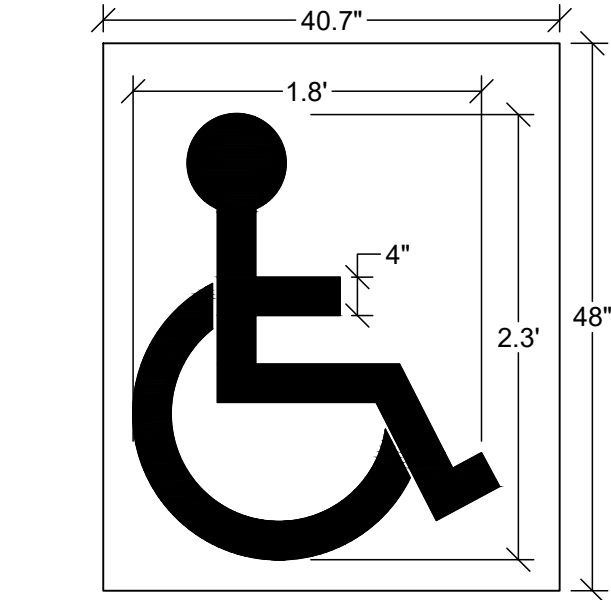
www.landplanninginc.com

Date	Nov. 12, 2024	Sheet No.
Job No.	B2850	C-8

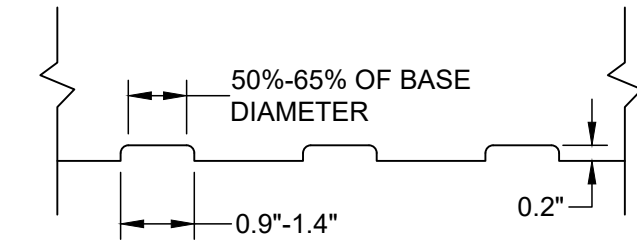
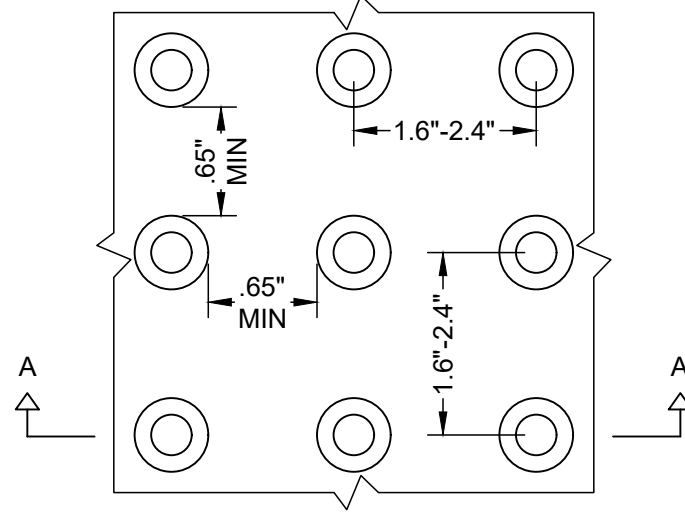




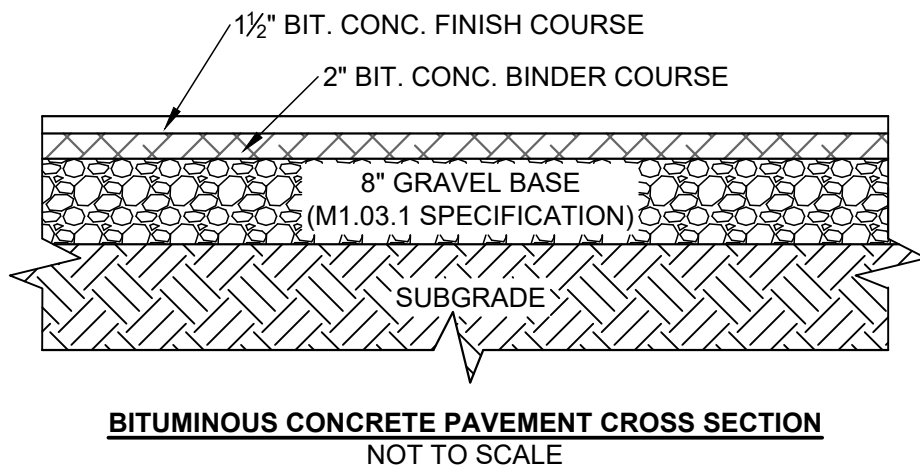
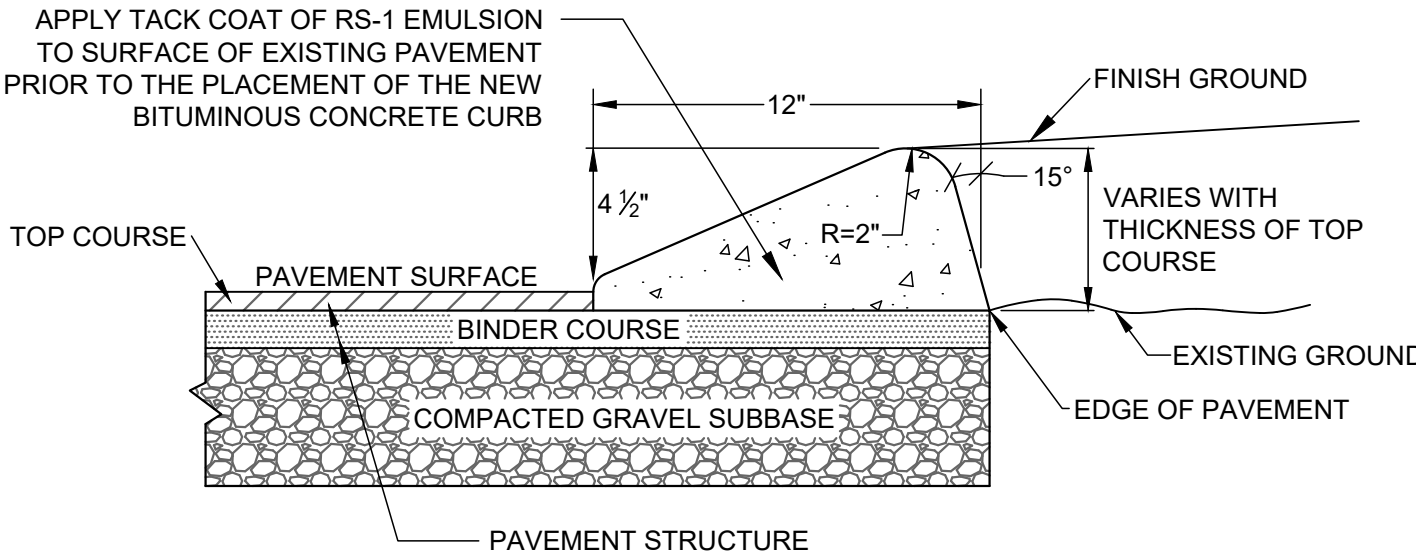
- NOTES:
1. THE SIGN IS PLACED ON ALL PROJECTS SUBJECT TO THE PROVISIONS OF THE MASSACHUSETTS WETLAND PROTECTION ACT.
  2. THE LOCATION OF THE SIGN IS TO BE DETERMINED BY THE ENGINEER.
  3. SEE SPECIAL PROVISIONS FOR THE MANUFACTURE, MAINTENANCE, ERECTION AND REMOVAL RESPONSIBILITIES.
  4. USE SERIES "D" FOR LETTERING.
  5. THE SIGN IS TO BE MOUNTED ON A MASSDOT HIGHWAY DIVISION STANDARD "P-5" POST



NOTE: PANELS MAY BE CONCRETE PRECAST OR CAST IN PLACE OR OTHER SUITABLE MATERIAL PERMANENTLY APPLIED TO THE RAMP. DETECTABLE WARNING SURFACE SHALL CONTRAST VISUALLY WITH ADJACENT WALKING SURFACE EITHER LIGHT ON DARK OR DARK ON LIGHT.



**DETAIL OF DETECTABLE WARNING PANEL**  
SEE MASSDOT E107.6.5  
NOT TO SCALE

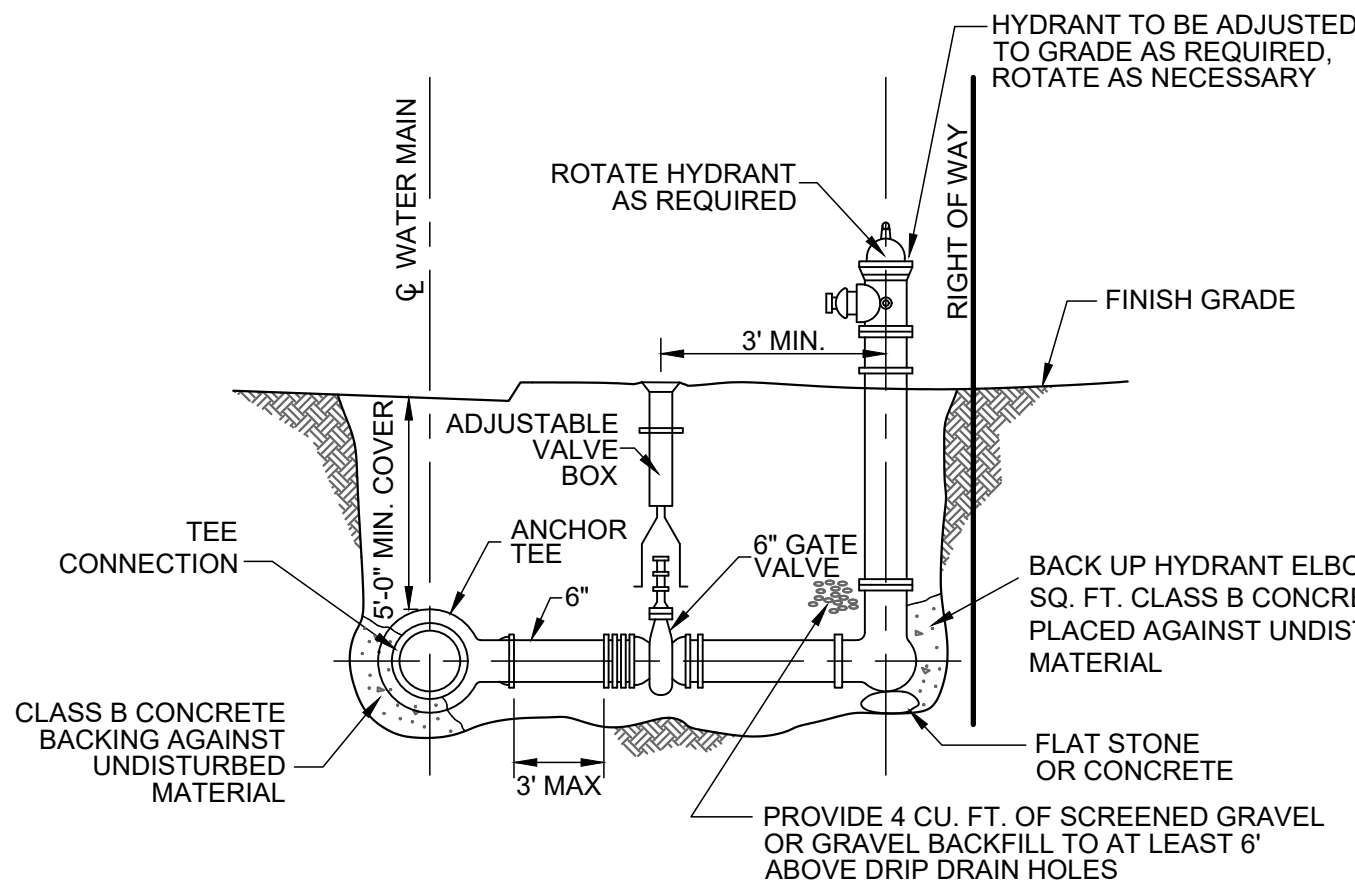
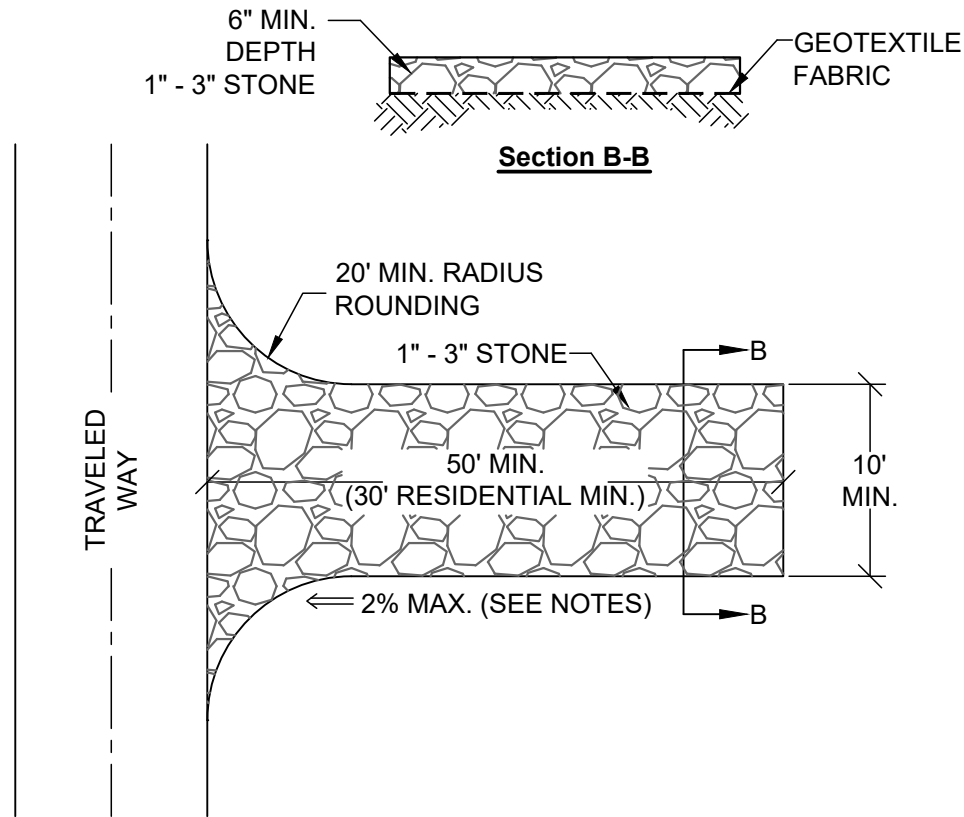


**EROSION & SEDIMENT CONTROL NOTES**

1. THE CONTRACTOR AND ALL SUB-CONTRACTORS ARE TO BE MADE AWARE THAT THIS PROJECT IS SUBJECT TO AN ORDER OF CONDITIONS FROM THE CONSERVATION COMMISSION AND ITS REGULATIONS ARE APPLICABLE TO THIS PROJECT. A COPY OF THIS ORDER IS TO BE READILY AVAILABLE ON SITE AT ALL TIMES.
2. SEDIMENT BARRIERS ARE TO BE INSTALLED WHERE SHOWN ON THIS PLAN. THE CONTRACTOR AND THE OWNER ARE RESPONSIBLE FOR THE PROPER MAINTENANCE OF THE SEDIMENT BARRIERS AND TO IDENTIFY AND CORRECT ALL SOURCES OF EROSION. EXTRA SEDIMENT BARRIER MATERIALS ARE TO BE STORED ON SITE IN ORDER TO QUICKLY REPAIR EROSION PRONE AREAS. PERIODIC MAINTENANCE OF THE EROSION CONTROL STRUCTURES IS REQUIRED IN ORDER TO INSURE THE PROPER PROTECTION OF THE RESOURCE AREAS.
3. STOCKPILED MATERIAL THAT IS SUBJECT TO EROSION SHALL BE PROTECTED AT ITS BASE ON THE DOWN-SLOPE SIDE WITH A SILT FENCE.
4. TEMPORARY STABILIZATION OF DISTURBED AREAS IS REQUIRED TO LIMIT EROSION TOWARD ABUTTING PROPERTIES AND PUBLIC WAYS. ALL GRADED SLOPES ARE TO BE STABILIZED ON A DAILY BASIS WITH SPECIAL CARE TAKEN TO AVOID ROUTING RAINFALL THROUGH GULLIES TOWARD THE RESOURCE AREAS. AREAS OF EROSION ARE TO BE REPAIRED ON A DAILY BASIS.
5. THE CONTRACTOR IS TO USE PROPER JUDGMENT RELATIVE TO CONSTRUCTION PRACTICES DURING ADVERSE WEATHER CONDITIONS OR PERIODS OF HIGH GROUNDWATER. NO WORK IS TO BE PERFORMED NEAR THE WETLAND AREAS DURING PERIODS OF HEAVY RAINFALL. INSPECTION IS REQUIRED AFTER MORE THAN 1/2" OF RAINFALL IN 24 HOURS.
6. ALL GRADED AREAS ARE TO BE LOAMED AND SEEDED AS SOON AS POSSIBLE IN ORDER TO INSURE THE RAPID STABILIZATION OF THE EROSION PRONE AREAS. A GRASS SEED MIXTURE OF 20% RED TOP, 60% CHEWINGS FESCUE AND 20% KENTUCKY BLUEGRASS IS RECOMMENDED. "HYDROSEED" WITH HIGH FIBER CONTENT.
7. THE SEDIMENT BARRIERS SHALL REMAIN IN PLACE UNTIL ALL UPGRADIENT AREAS HAVE BEEN STABILIZED.
8. DURING PERIODS OF HEAVY RAINFALL, IT WILL BE EXPECTED TO EXPERIENCE EROSION OF THE UNSTABILIZED SLOPES. IMMEDIATE ATTENTION TO THE MAINTENANCE OF THESE ERODED AREAS WILL FURTHER INSURE THE SUCCESSFUL STABILIZATION OF THE EXPOSED SLOPES WHILE LIMITING THE IMPACTS TO NEARBY RESOURCE AREAS.
9. PERIODIC INSPECTIONS OF THE ENTIRE CONSTRUCTION SITE ARE TO BE PERFORMED BY A COMPETENT REPRESENTATIVE WHO WILL INSURE THE ADHERENCE TO THE REGULATIONS AS SET FORTH IN 310 CMR 10.00. NO UNAUTHORIZED INDIVIDUALS ARE TO ENTER THE CONSTRUCTION AREA WITHOUT THE EXPRESSED CONSENT OF THE OWNER.
10. THE APPLICANT IS TO NOTIFY THE CONSERVATION COMMISSION ONCE THE JURISDICTIONAL WORK HAS BEEN COMPLETED AND THE ENTIRE SITE HAS BEEN PROPERLY STABILIZED. UPON APPROVAL OF THE WORK SUBJECT TO THE ORDER OF CONDITIONS, THE APPLICANT IS TO RECEIVE A CERTIFICATE OF COMPLIANCE.

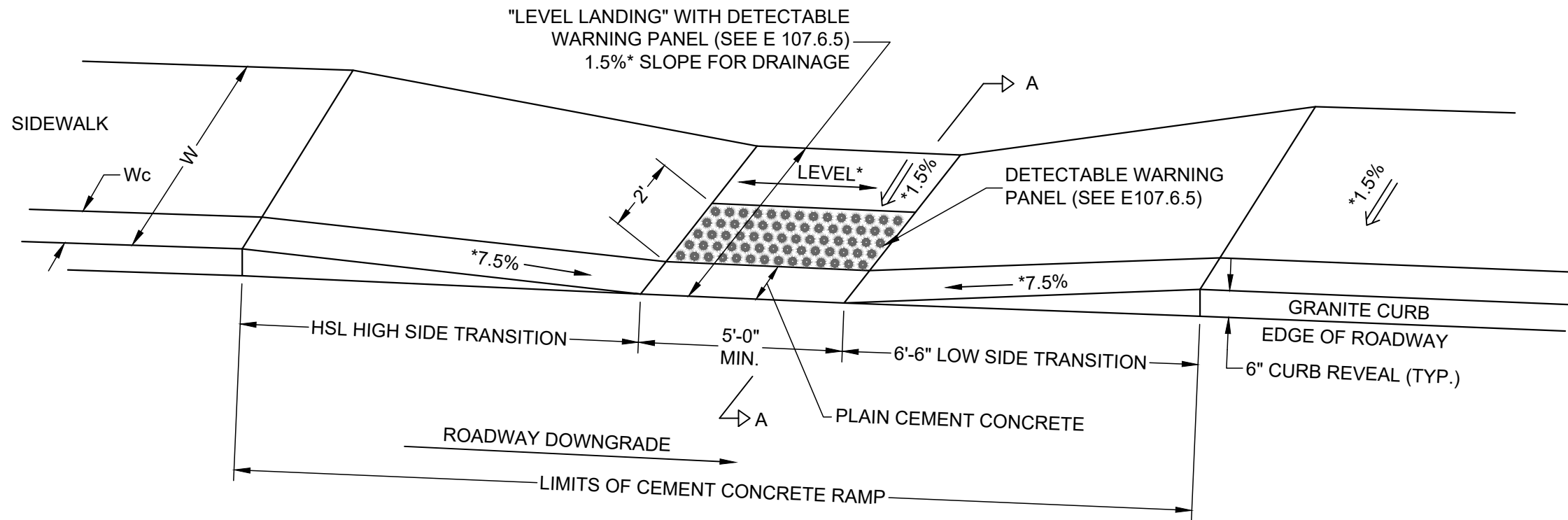
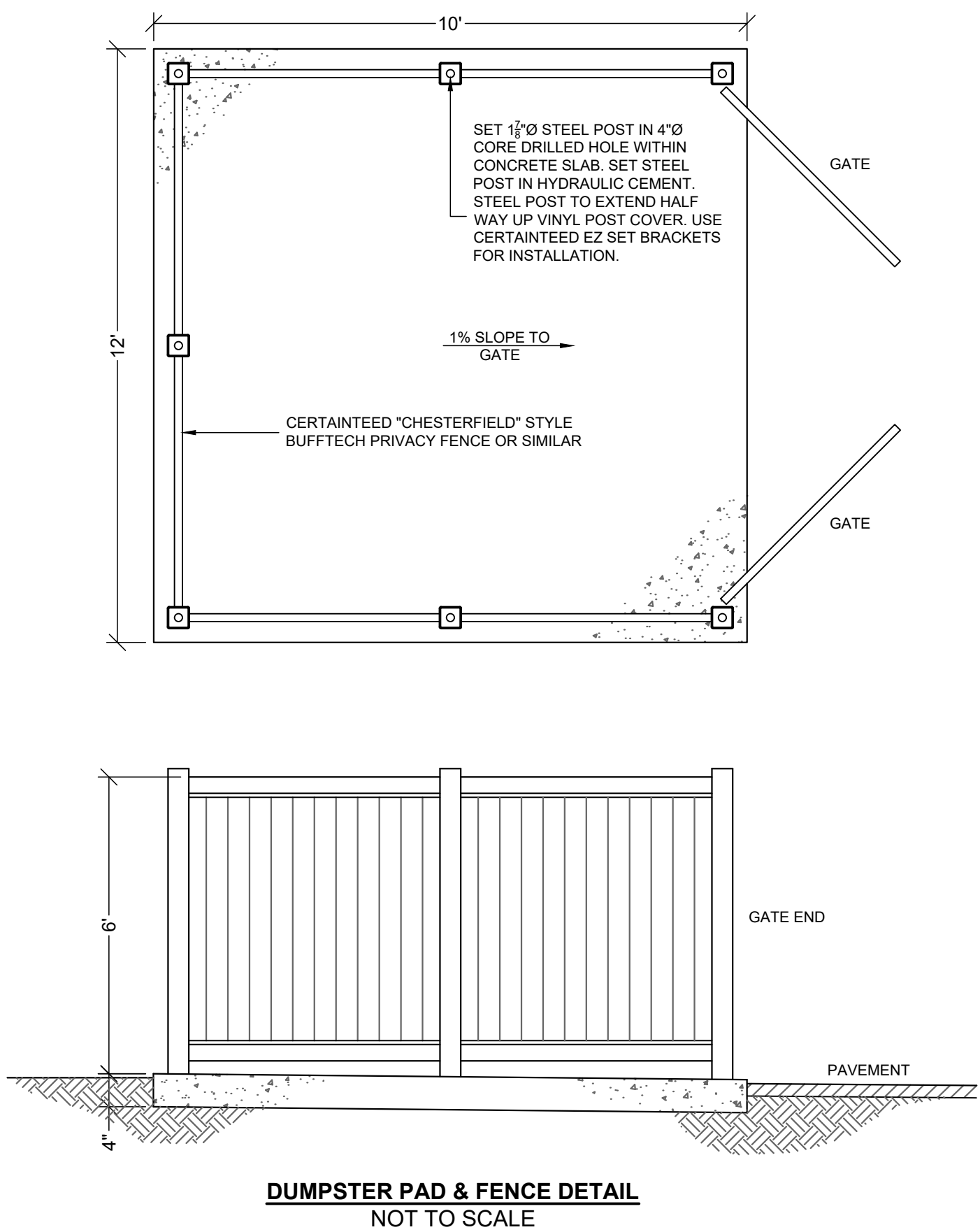
**CONSTRUCTION SEQUENCE**

1. ESTABLISH THE LIMIT OF WORK WITH THE SILT FENCE ON PAVEMENT, SEDIMENT CONTROL BARRIERS, AND CATCH BASIN FILTERS PRIOR TO ANY SITE WORK.
2. SAWCUT EXISTING PAVEMENT AND REMOVE FOR DISPOSAL.
3. PLACE THE PROPOSED CULVERT SECTIONS THAT CAN BE PLACED WITHOUT DISTURBANCE TO THE EXISTING STONE CULVERT (APPROXIMATELY 14 SECTIONS).
4. PREPARE FOR DEWATERING OF THE EXISTING STREAM.
  - 4.1. PREPARE FILTERBAG FOUNDATION AND SANDBAG DIVERSION AROUND EXISTING CATCH BASIN
  - 4.2. LAY TRASH PUMP INLET AND OUTLET LINES
  - 4.3. INSTALL SANDBAG COFFERDAM ACROSS STREAM
5. COMMENCE DEWATERING.
  - 5.1. ENVIRONMENTAL MONITOR TO INSPECT INSTALLATION OF ALL INSTALLED EROSION CONTROL BMPS
  - 5.2. ENVIRONMENTAL MONITOR TO CONTINUOUSLY MONITOR DEWATERING DURING WORK HOURS.
  - 5.3. PROVIDE (2) 4", 400 GMP TRASH PUMPS FOR DEWATERING. ONE PUMP WILL NORMALLY OPERATE WHILE THE OTHER IS MAINTAINED FOR HIGH FLOWS OR FAILURE OF THE OTHER PUMP.
  - 5.4. PUMP TO BE MONITORED BY THE CONTRACTOR 24 HOURS/DAY WHILE PUMP IS OPERATING.
  - 5.5. INSPECT FILTER BAGS AND CATCH BASIN FILTERS DAILY AND REPLACE AS NEEDED.
6. INSTALL DOWNSTREAM SECTIONS OF THE NEW CULVERT AND CONSTRUCT THE TRANSITION TO THE EXISTING CULVERT.
7. REMOVE EXISTING HEADWALL AND SECTIONS OF THE EXISTING CULVERT AS INDICATED.
8. INSTALL REMAINING UPSTREAM CULVERT SECTIONS AND HEADWALL.
9. RE-ESTABLISH STREAM FLOW THROUGH THE NEW CULVERT AS SOON AS PRACTICABLE.
10. RESTORE ANY DAMAGE TO THE STREAMBED AND BANKS TO ORIGINAL CONDITION.
11. REMOVE DEWATERING RELATED EQUIPMENT.
12. FILL REMAINING SECTION OF EXISTING CULVERT UNDER THE BUILDING WITH FLOWABLE FILL.
13. FINISH GRADE AND PAVE WORK AREA AS REQUIRED.
14. REMOVE CATCH BASIN FILTERS AND SEDIMENT BARRIERS UPON FINAL STABILIZATION OF THE SITE.

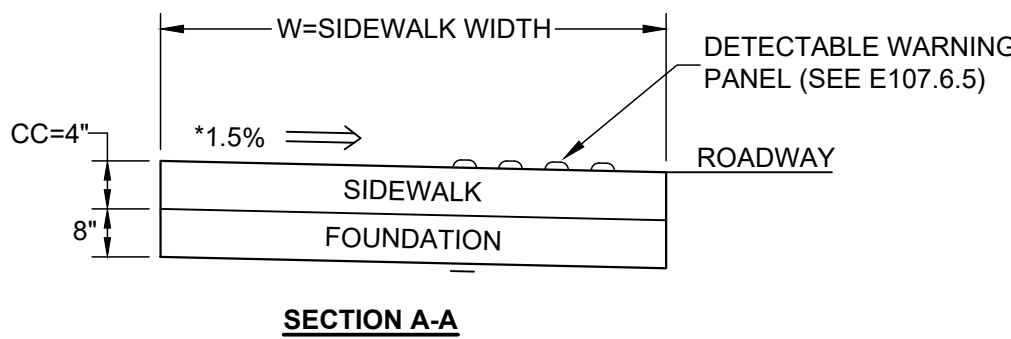


- NOTE:
1. HYDRANT AND GATE VALVE TO BE RODDED TO ANCHOR TEE.
  2. SEE FORCE MAIN THRUST BLOCK DETAIL FOR THE AREA OF CONCRETE REQUIRED
  3. HYDRANTS SHALL BE SPACED NOT MORE THAN 500' APART.

**TYPICAL HYDRANT AND VALVE DETAIL**  
NOT TO SCALE



- LEGEND
- HSL = HIGH SIDE TRANSITION LENGTH (SEE E107.9.0)
- W = SIDEWALK WIDTH
- Wc = CURB WIDTH
- CC = CEMENT CONCRETE
- \* = TOLERANCE FOR CONSTRUCTION ±0.5%
- USABLE SIDEWALK WITH PER AAB=W-Wc
  - USABLE SIDEWALK WIDTH PER AAB IS NOT TO BE LESS THAN 4'-0".
  - SEE E107.6.5 FOR DETAIL OF DETECTABLE WARNING PANEL



**SITE DEVELOPMENT PLAN**

**Site Plan Details & Notes**

Located at  
123 Mendon Street  
Bellingham, MA

Owner/ Applicant  
D & C Pavone Enterprises, LLC  
45 Comstock Drive  
Wrentham, MA 02093

**LOCUS REFERENCES**

Deed (Book / Page): 41338 / 384

Assessors Parcel ID: 0043-0018-0000

**ZONING DISTRICT: INDUSTRIAL (I)**

	REQUIRED
AREA:	60,000 S.F.
FRONTAGE:	200 FT.
FRONT YARD:	20 FT.
SIDE YARD:	10 FT.
REAR YARD:	20 FT.
BLDG HEIGHT MAX.	45 FT.

**ZONING DISTRICT: BUSINESS 1 (B-1)**

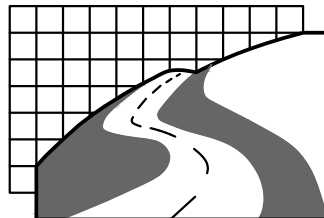
	REQUIRED
AREA:	40,000 S.F.
FRONTAGE:	150 FT.
FRONT YARD:	20 FT.
SIDE YARD:	10 FT.
REAR YARD:	20 FT.
BLDG HEIGHT MAX.	35 FT.



*Norman G. Hill, P.E.*  
Date: 11-22-2024  
Norman G. Hill, PE #31887

**REVISIONS**

Date	Description
Field By:	BH/DL 7/2024
Designed By:	SB 11/2024
Drawn By:	SB 11/2024
Checked By:	NGH 11/2024



**Land Planning, Inc.**  
Civil Engineers • Land Surveyors  
Environmental Consultants

**Bellingham**

167 Hartford Ave.  
Bellingham, MA 02019  
508-966-4130

**North Grafton**

214 Worcester St.  
N. Grafton, MA 01536  
508-839-9526

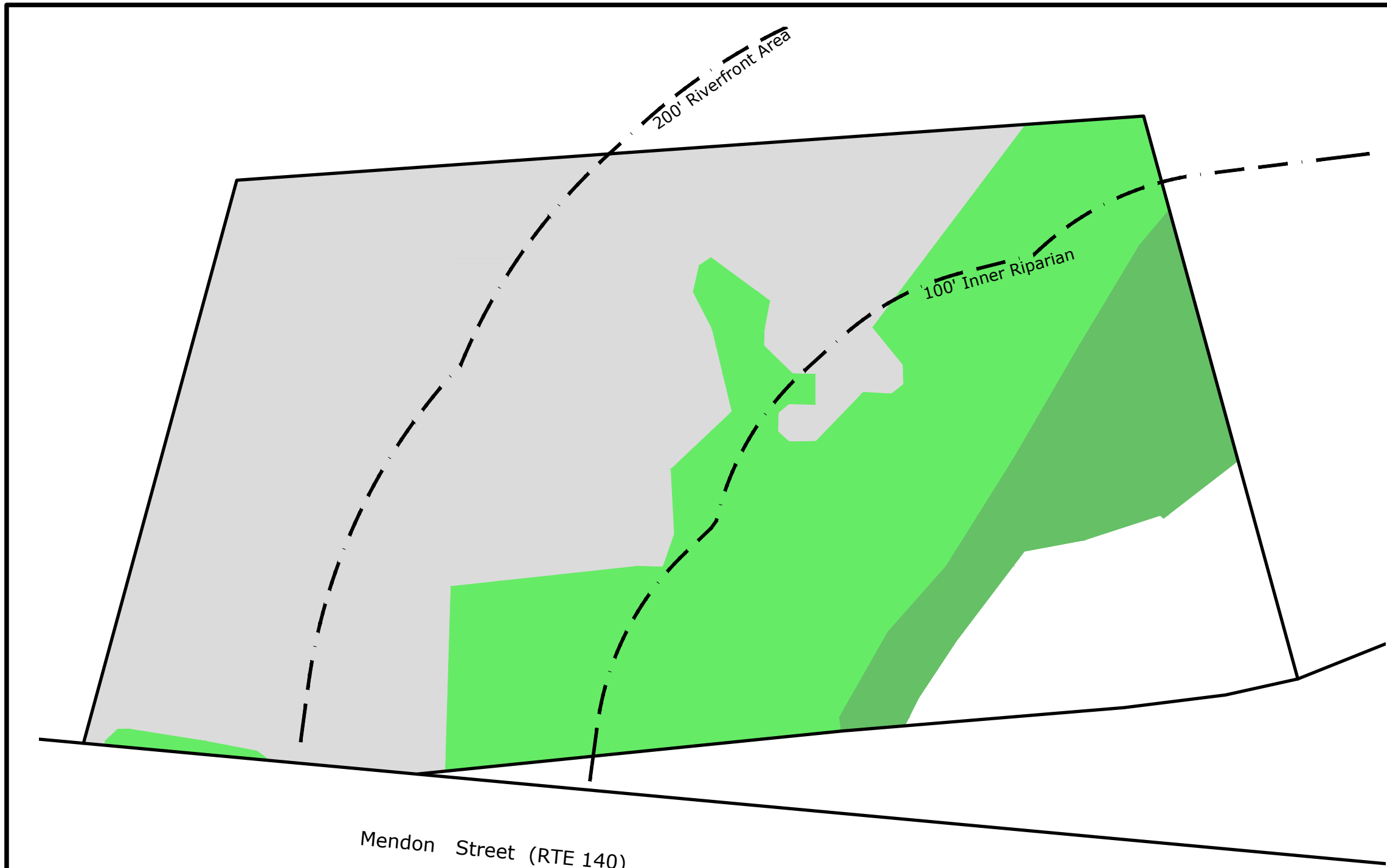
**Hanson**

1115 Main Street  
Hanson, MA 02341  
781-294-4144

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Date	Nov. 12, 2024	Sheet No.
Job No.	B2850	C-9





RIVERFRONT AREA REPORT

Riverfront Schedule

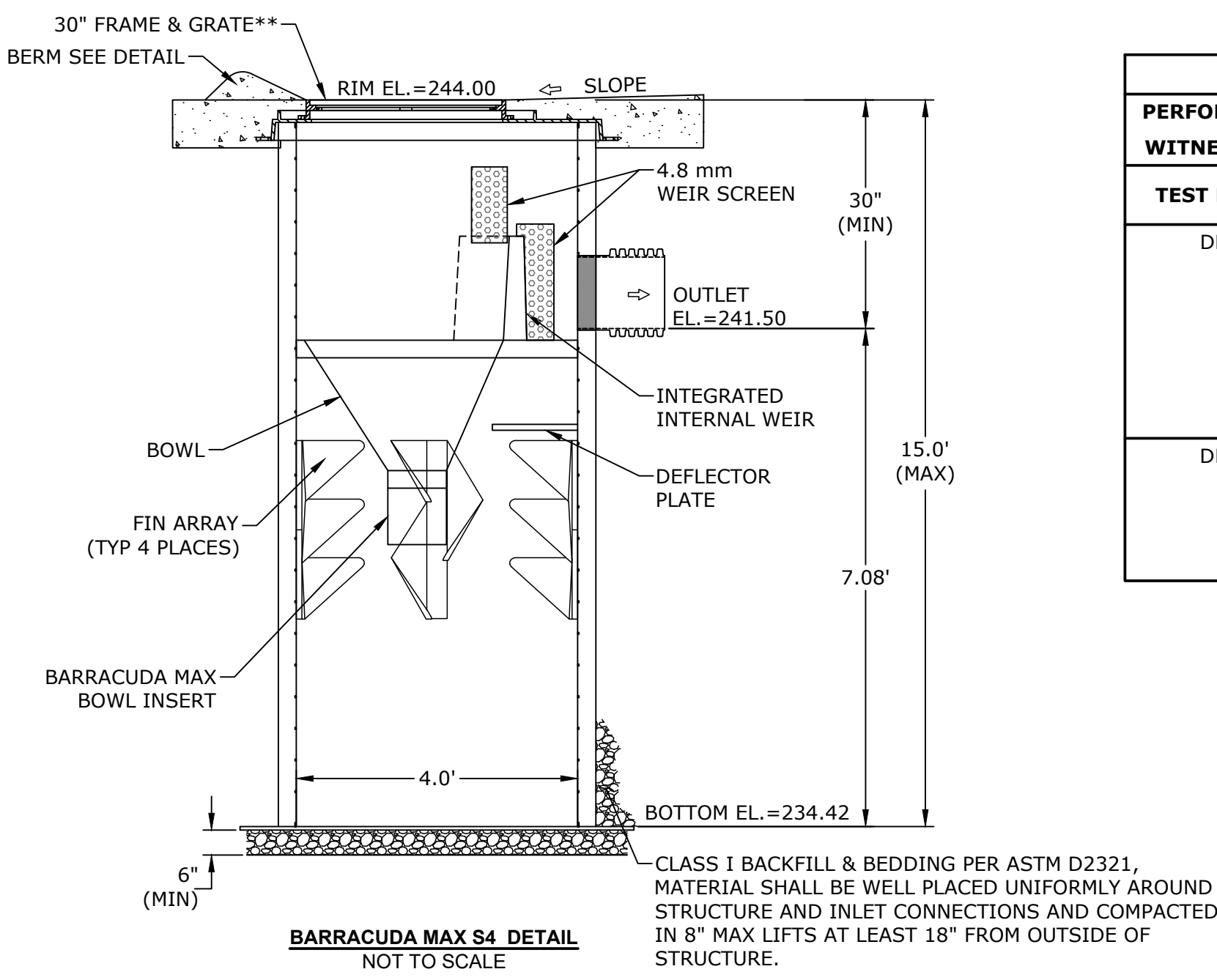
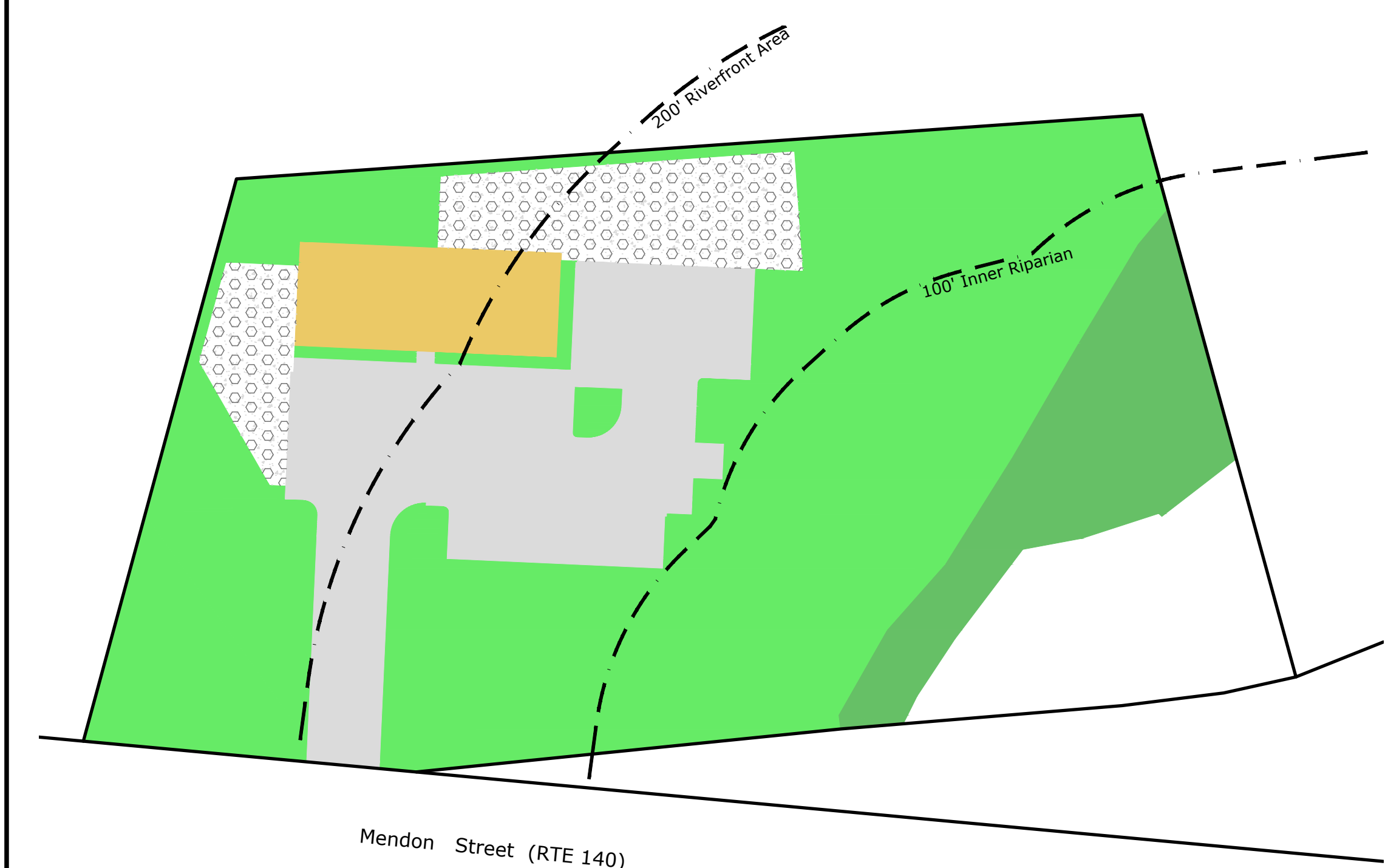
Inner Riparian (bank-100'):	28,597 s.f.
Outer Riparian (100'-200'):	28,312 s.f.
Total Riverfront Area:	56,909 s.f.

Existing Riverfront Coverage

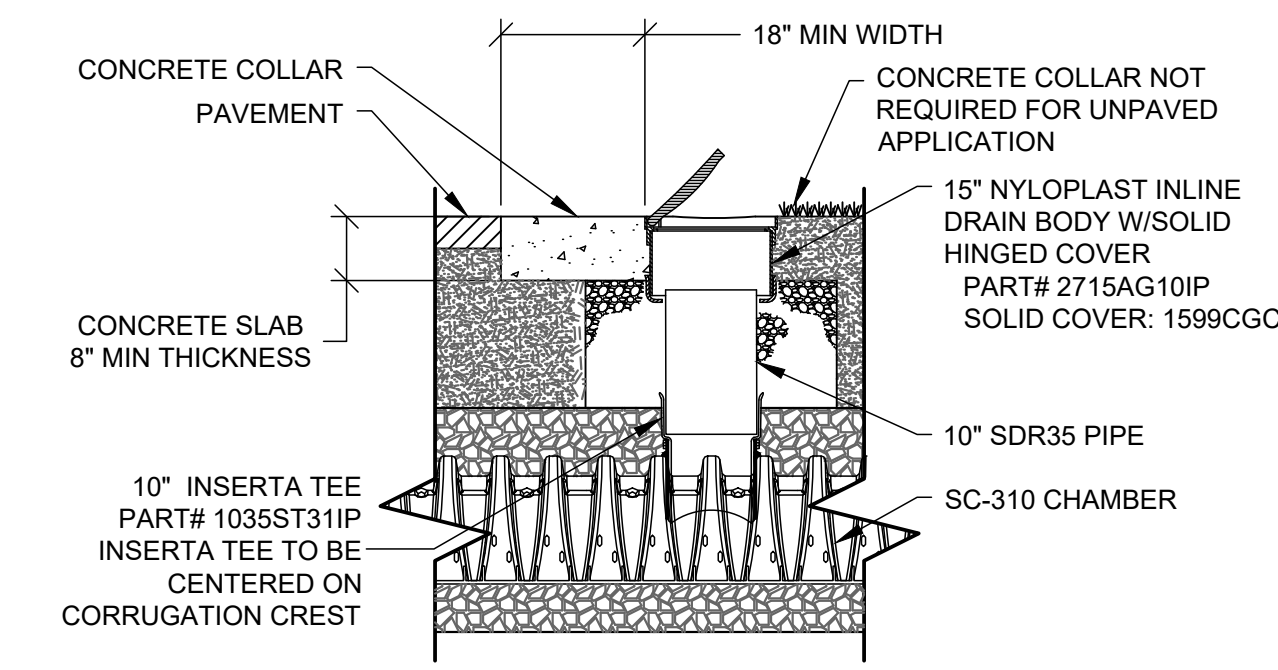
Degraded/ Impervious	21,321 s.f.
Grass	22,043 s.f.
Natural Vegetation	13,545 s.f.

Propose Riverfront Coverage

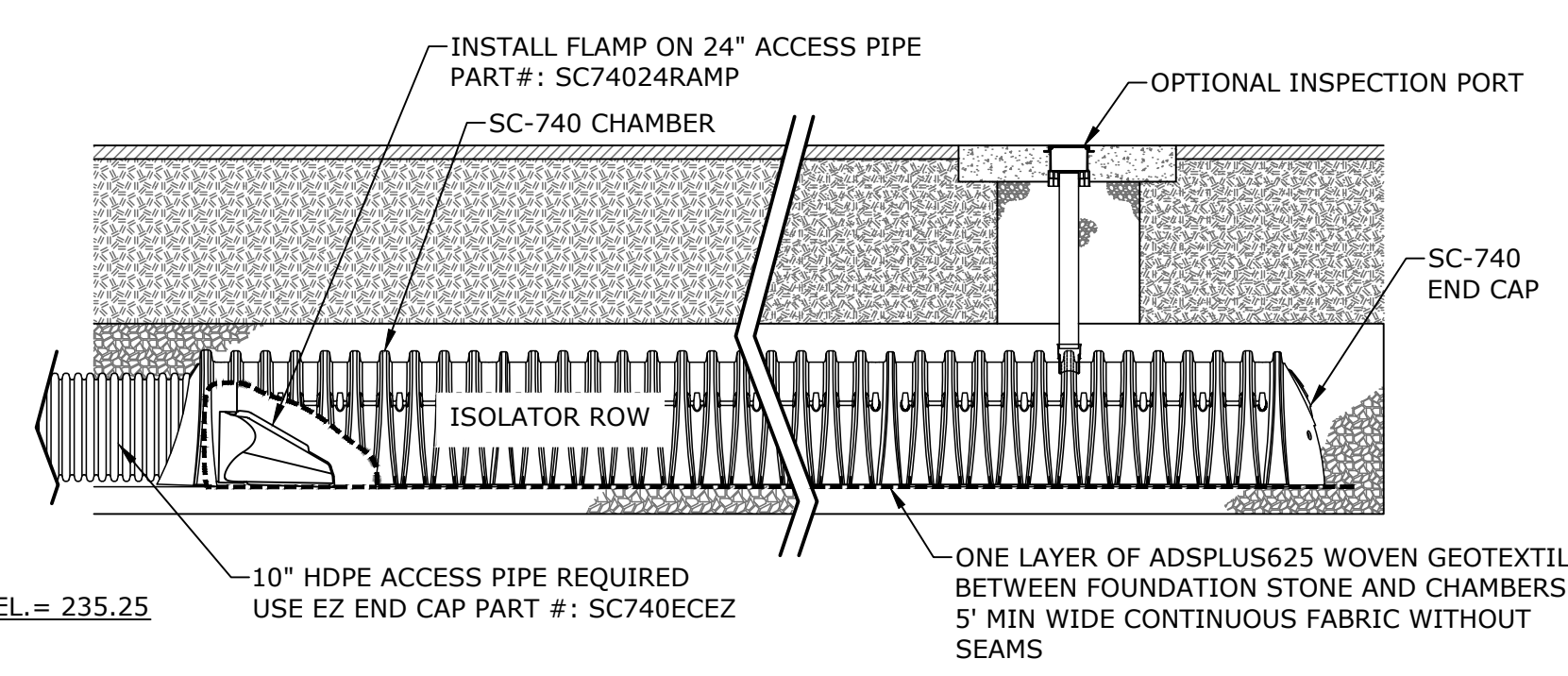
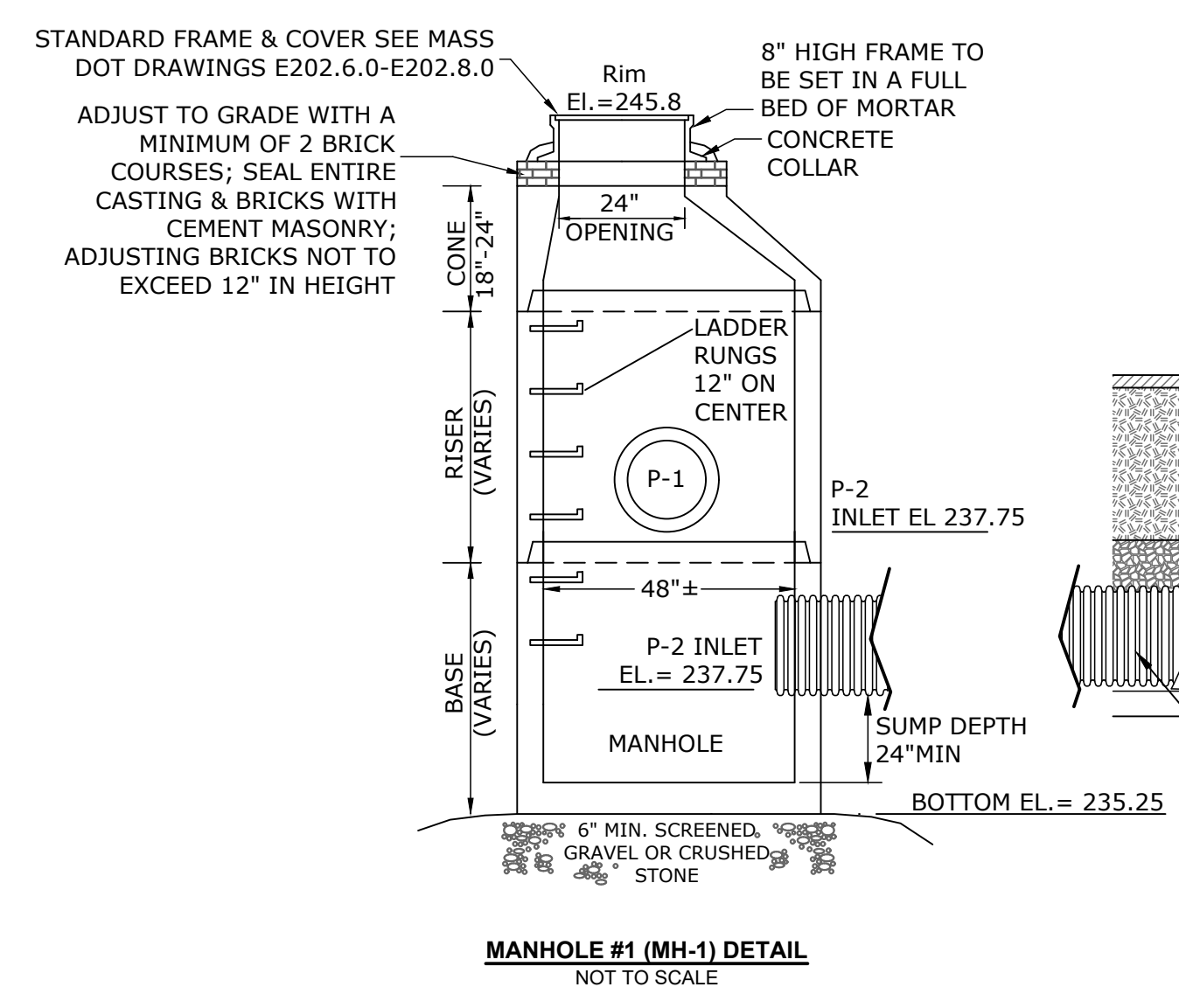
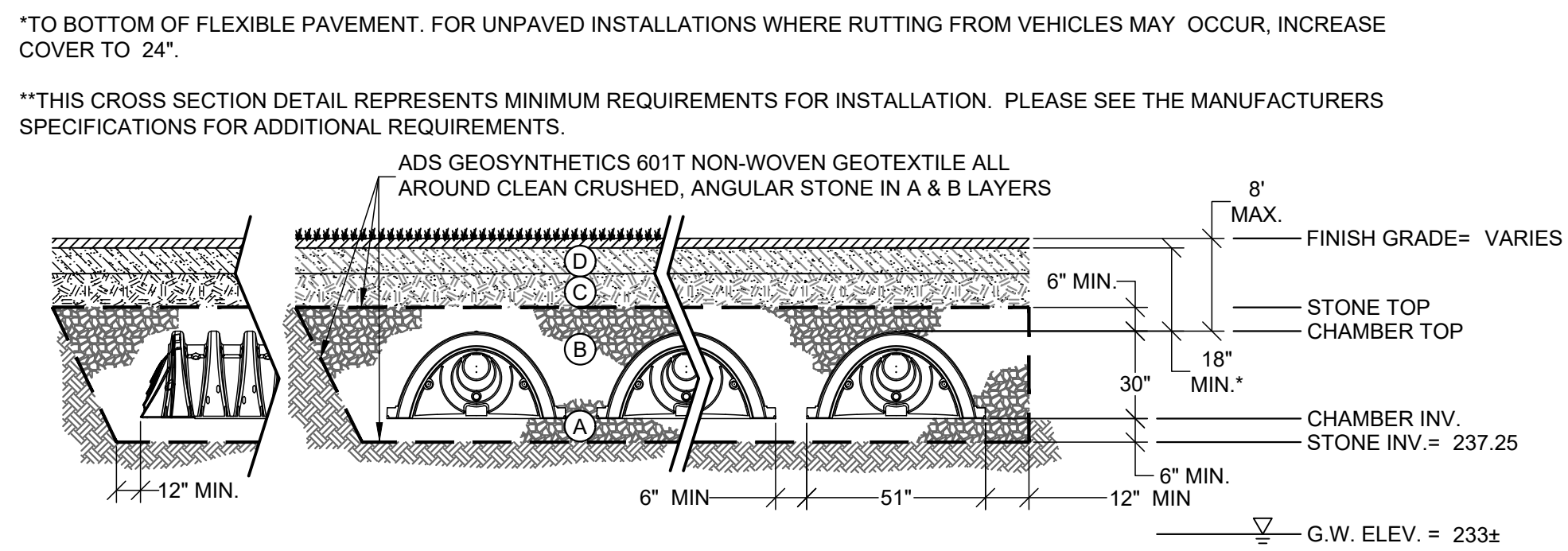
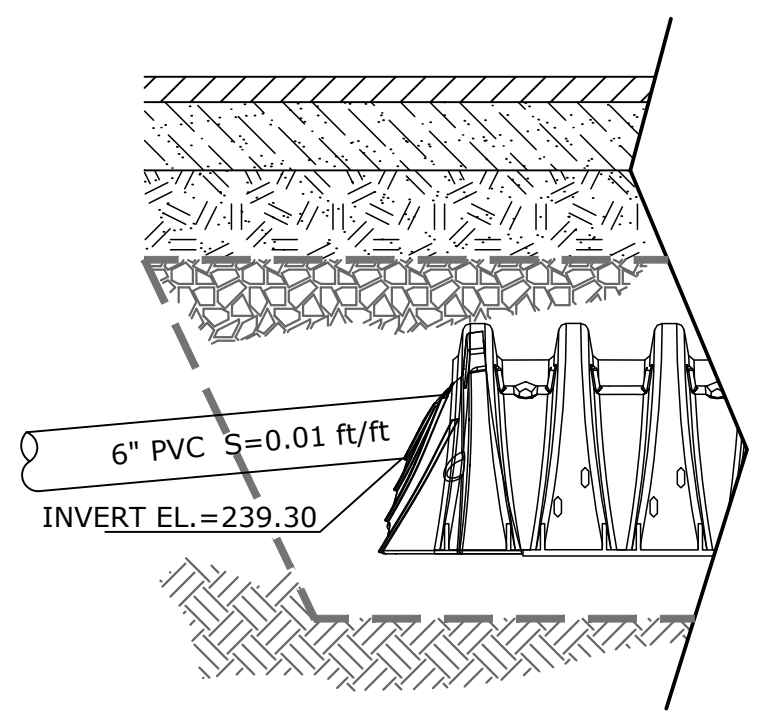
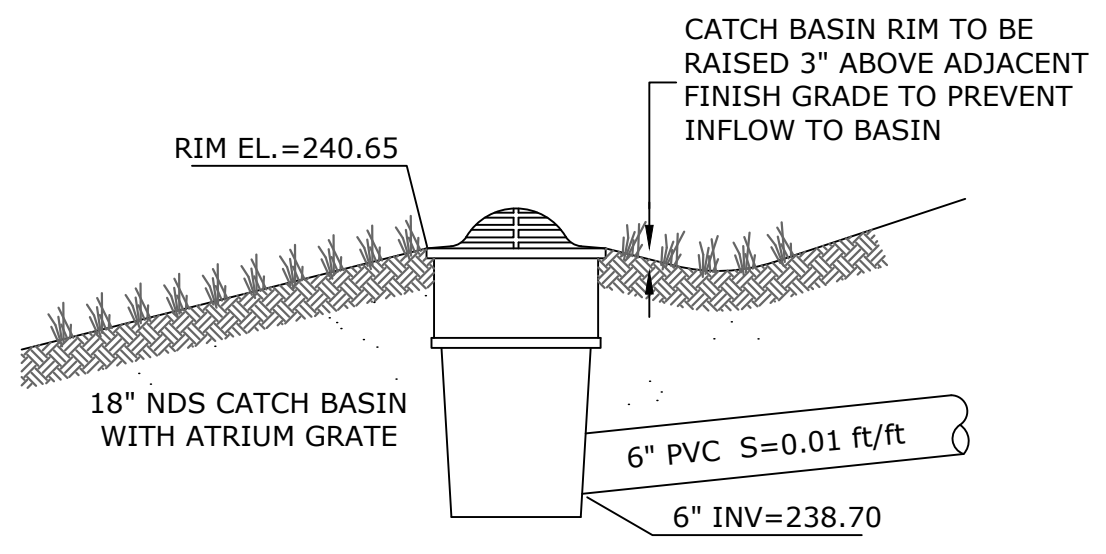
Degraded/ Impervious	11,000 s.f.
Grass	32,364 s.f.
Natural Vegetation	13,545 s.f.



SOIL TEST DATA					
PERFORMED BY: William Halsing, SE#2823			DATE PERFORMED: June 11, 2024		
WITNESSED BY: Steven Donatelli, B.O.H. Agent					
TEST HOLE #	DEPTH (IN.)	SOIL HORIZON	SOIL TEXTURE (USDA)	SOIL COLOR (MUNSELL)	NOTES
DH-5				EXISTING GRADE: 241.1	
	0-20	FILL			
	20-28	A	SANDY LOAM	10YR 3/2	
	28-36	B	SANDY LOAM	10YR 6/8	
	36-100	C	LOAMY SAND	10YR 7/1	
WEEPING: N/A		STANDING: N/A		REFUSAL: N/A	
DH-6				EXISTING GRADE: 241.4	
	0-24	FILL			
	24-96	C	LOAMY SAND	10YR 7/1	
WEEPING: N/A		STANDING: N/A		REFUSAL: N/A	



CHAMBER INFILTRATION SYSTEM								
CHAMBER TYPE	FIELD DIMENSIONS			ELEVATIONS				
	ROWS X UNITS PER ROW	FIELD LENGTH	FIELD WIDTH	BOTTOM OF STONE	BOTTOM OF CHAMBER	TOP OF CHAMBER	TOP OF STONE	INLET PIPES / INLET INVERT
SC-740	SEE PLAN LAYOUT 33 UNITS TOAL 2 ENDCAPS/ROW	38'	41.8'	237.25	237.75	240.25	240.75	VARIES / 237.75



SITE DEVELOPMENT PLAN

Site Plan Details

Located at  
123 Mendon Street  
Bellingham, MA

Owner/ Applicant  
D & C Pavone Enterprises, LLC  
45 Comstock Drive  
Wrentham, MA 02093

LOCUS REFERENCES

Deed (Book / Page): 41338 / 384

Assessors Parcel ID: 0043-0018-0000

ZONING DISTRICT: INDUSTRIAL (1)

	REQUIRED
AREA:	60,000 S.F.
FRONTAGE:	200 FT.
FRONT YARD:	20 FT.
SIDE YARD:	10 FT.
REAR YARD:	20 FT.
BLDG HEIGHT MAX.	45 FT.

ZONING DISTRICT: BUSINESS 1 (B-1)

	REQUIRED
AREA:	40,000 S.F.
FRONTAGE:	150 FT.
FRONT YARD:	20 FT.
SIDE YARD:	10 FT.
REAR YARD:	20 FT.
BLDG HEIGHT MAX.	35 FT.

Professional Engineer Seal for Norman G. Hill, No. 31887, State of Massachusetts.

Norman G. Hill, PE  
Date: 11-22-2024  
PE #31887

REVISIONS

Date	Description
Field By:	BH/DL 7/2024
Designed By:	SB 11/2024
Drawn By:	SB 11/2024
Checked By:	NGH 11/2024

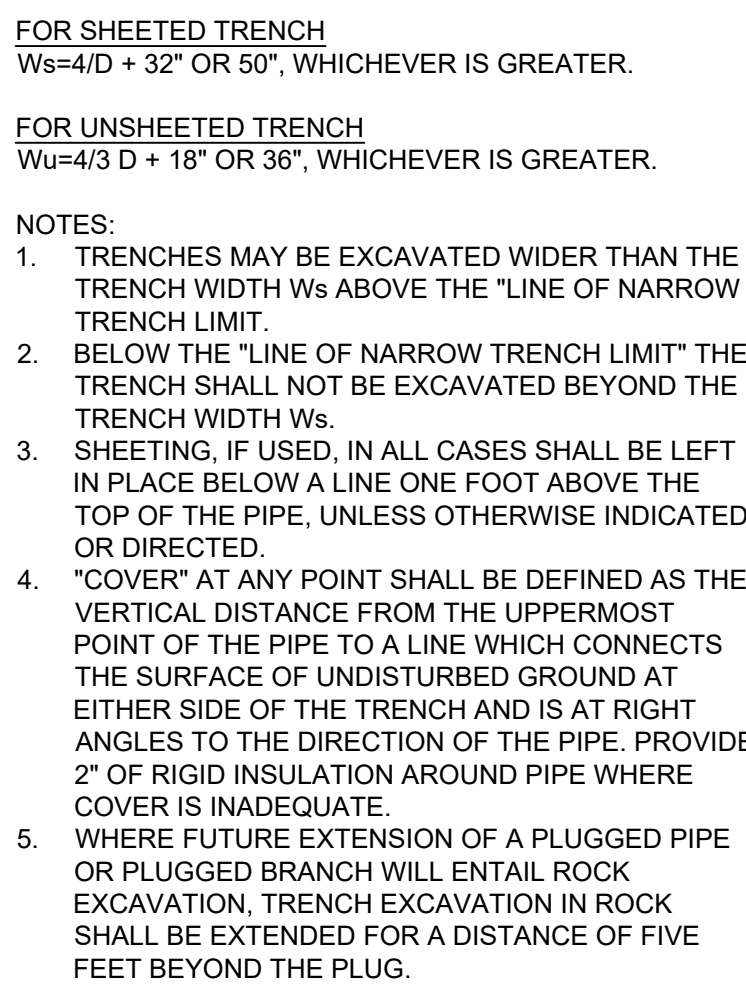
Land Planning, Inc. logo and contact information.

**Bellingham**  
167 Hartford Ave.  
Bellingham, MA 02019  
508-966-4130

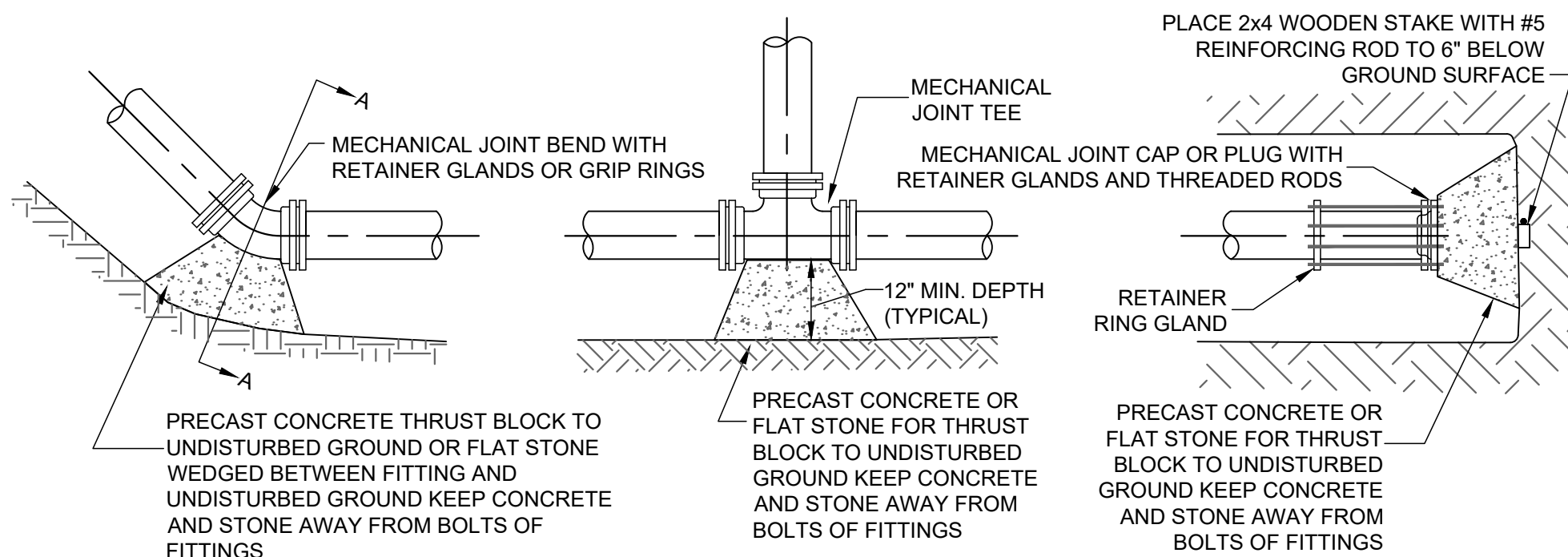
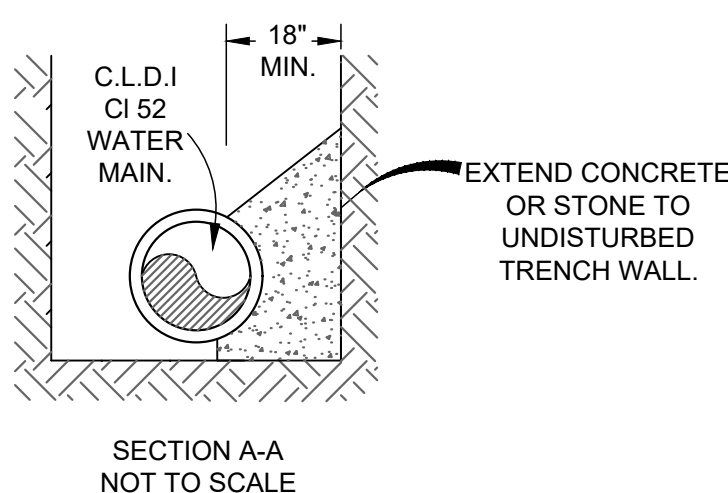
**North Grafton**  
214 Worcester St.  
N. Grafton, MA 01536  
508-839-9526

**Hanson**  
1115 Main Street  
Hanson, MA 02341  
781-294-4144  
www.landplanninginc.com

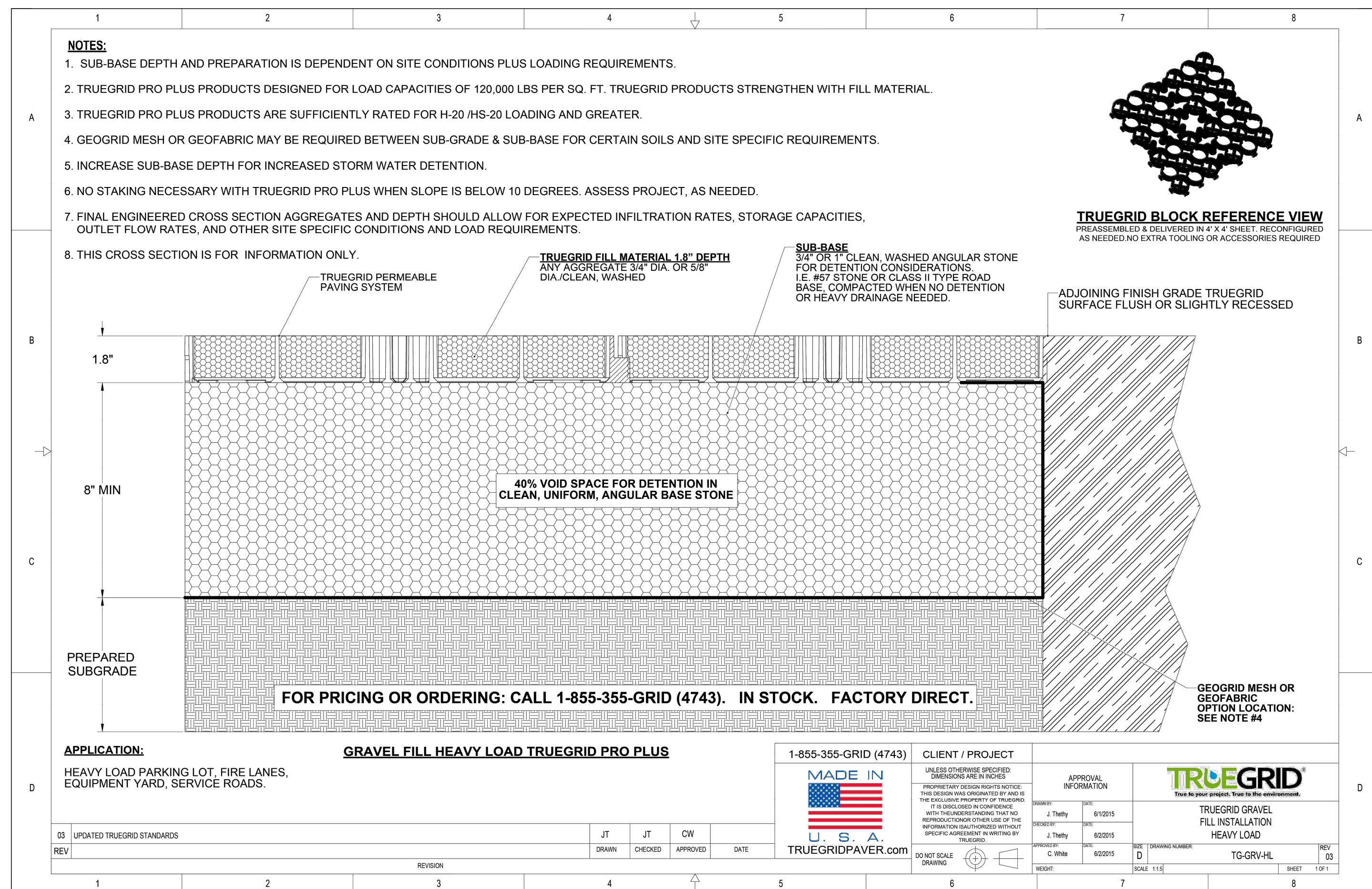




**UTILITY TRENCH DETAIL**  
**NOT TO SCALE**



**TYPICAL THRUST BLOCK DETAILS**  
NOT TO SCALE



## SITE DEVELOPMENT PLAN

## Site Plan Details

Located at  
123 Mendon Street  
Bellingham, MA

Owner/ Applicant  
D & C Pavone Enterprises, LLC  
45 Comstock Drive  
Wrentham, MA 02093

### LOCUS REFERENCES

Deed (Book / Page): 41338 / 384

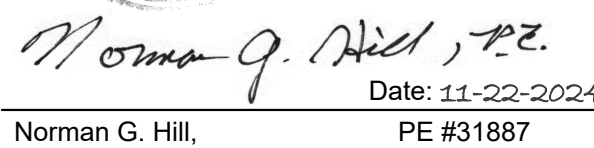
Assessors Parcel ID: 0043-0018-0000

**ZONING DISTRICT: INDUSTRIAL (I)**

	<u>REQUIRED</u>
AREA:	60,000 S.F.
FRONTAGE:	200 FT.
FRONT YARD:	20 FT.
SIDE YARD:	10 FT.
REAR YARD:	20 FT.
BLDG HEIGHT MAX.	45 FT.

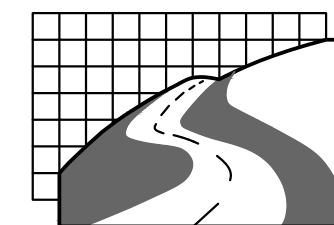
**ZONING DISTRICT: BUSINESS 1 (B-1)**

	<u>REQUIRED</u>
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FRONTAGE:	150 FT.
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## REVISIONS

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	Designed By:	SB	11/2024
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**Land Planning, Inc.**

Civil Engineers • Land Surveyors  
Environmental Consultants

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Date	Sheet No.
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Nov. 12,  
Job No. B2850

C-11