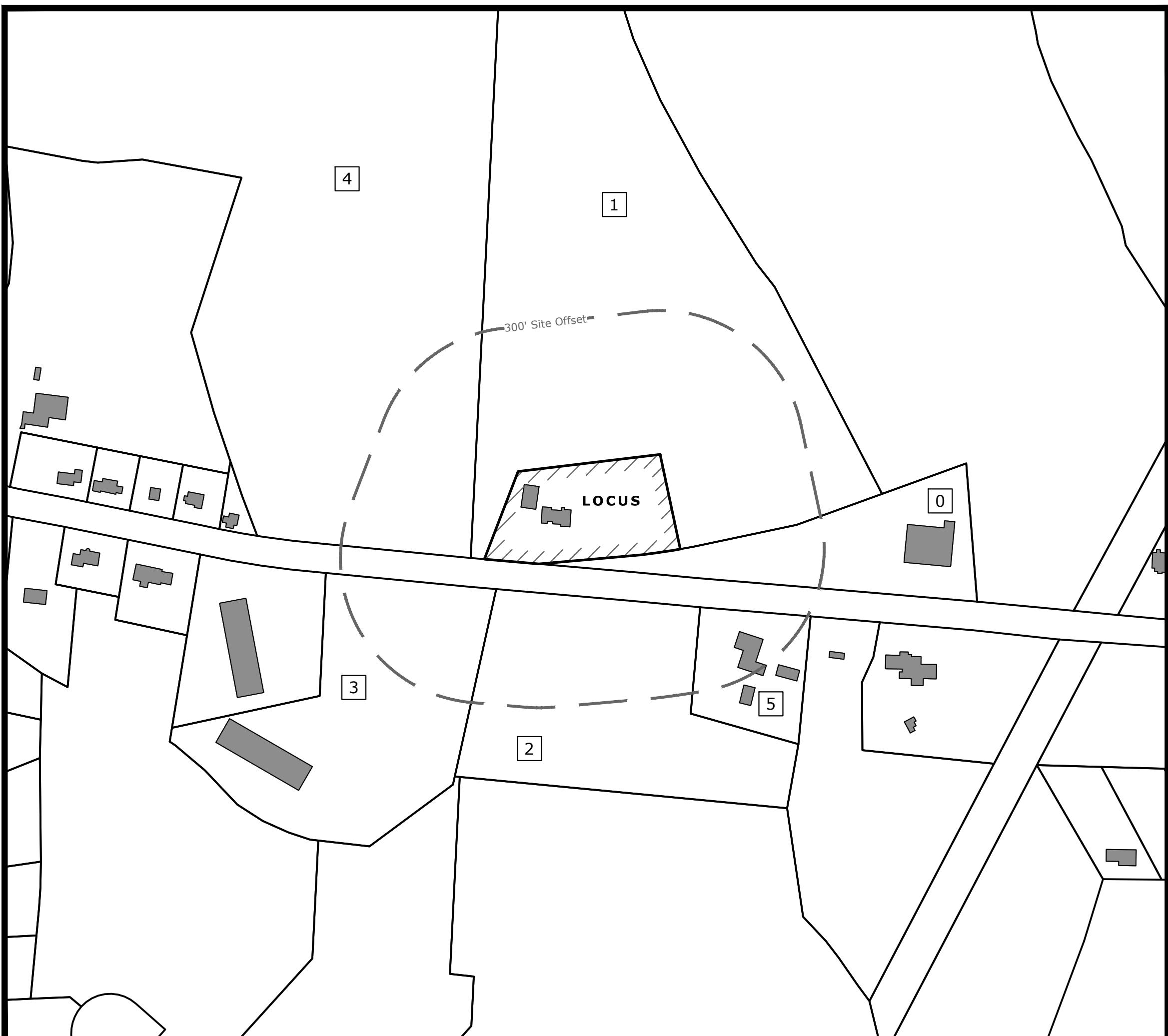
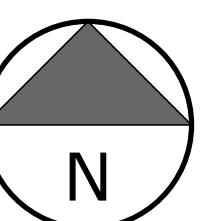


Site Development Plan

COMMERCIAL BUILDING

LOCUS MAP DATA				
Tag	Address	Parcel ID	Owner	Use Code
0	115 Mendon St	0043-0020-0000	Victory LLC	3160
1	0 Mendon St	0043-0019-0000	Northeast Energy Assoc-IEC	4420
2	0 Mendon St	0048-0001-0001	Shea High Point Trust II	3900
3	128 Mendon St	0048-004B-0000	T.A.A. Realty LLC	3160
4	165 Mendon St	0043-0010-000	Kathleen Richard	1090
5	112 Mendon St	0048-0002-0000	Shea High Point Trust II	0310



LOCUS MAP

$$1" = 200'$$

SHEET INVENTORY

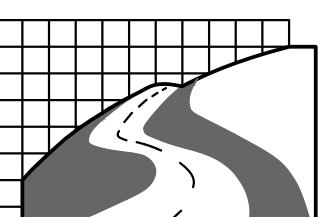
No.	Title
C1	Cover Page
C-1	Existing Conditions Plan
C-2	Site Design & Layout Plan
C-3	Grading & Utility Plan
C-4	Landscape & Planting Plan
C-5	Stormwater Management Plan
C-6	Aerial Platform Turning Path Plan
C-7	On-Site Sewage Disposal System
C-8	Septic System Details & Notes
EC-1	Erosion & Sediment Control Plan
C-9	Site Plan Details & Notes
C-10	Site Plan Details
C-11	Site Plan Details



Norman J. Hill, P.C.
Date: 11-22-2024

Page 11 of 24 Date: 11-22-2024

REVISTIONS



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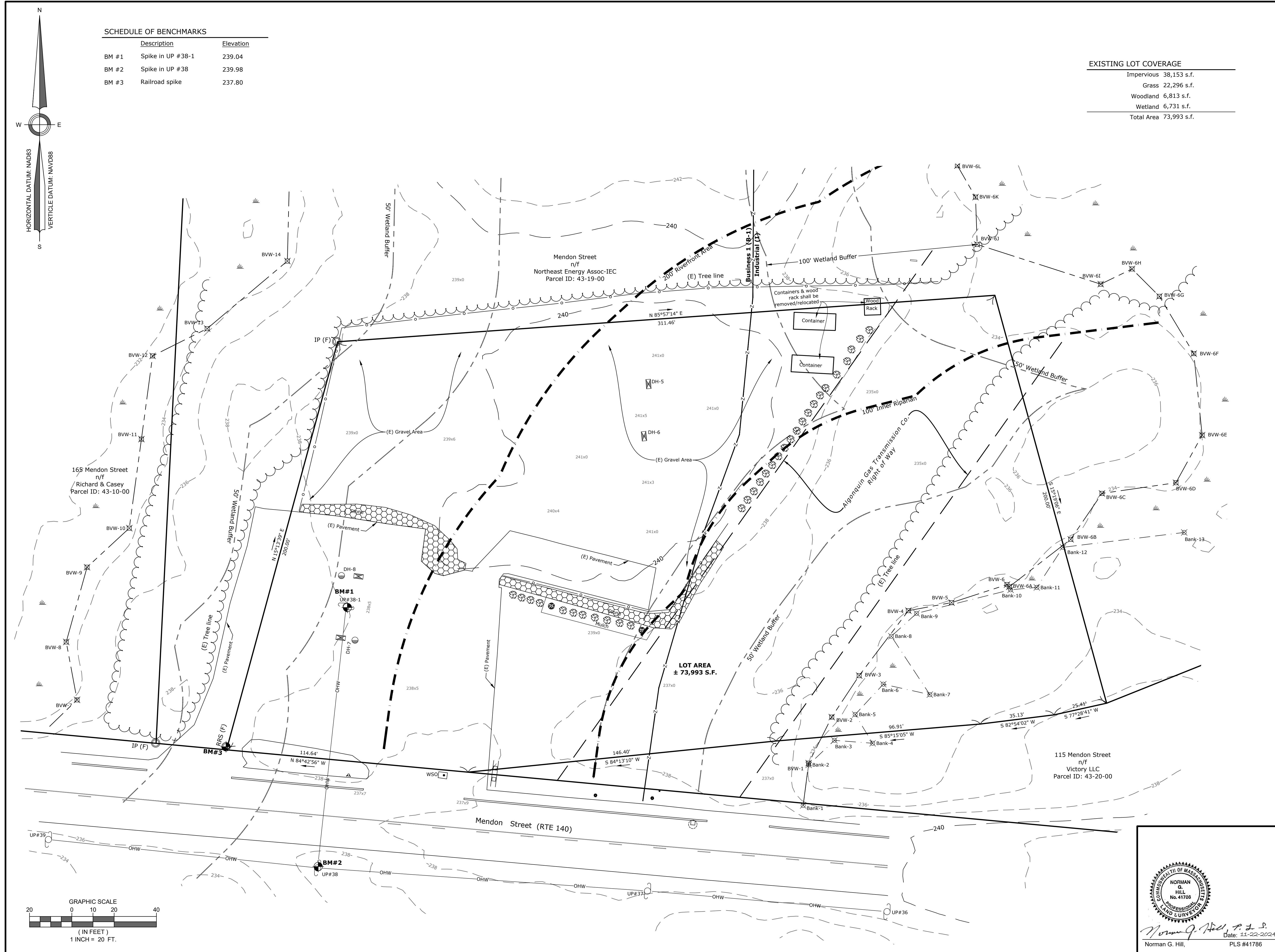
Civil Engineers • Land Surveyors

Bellingham
167 Hartford Ave.
Bellingham, MA 02019
508-966-4120

508-966-4130

Hanson
1115 Main Street
Hanson, MA 02341
781-294-4144

Date	Nov. 12, 2024	Sheet No.
Job No.	B2850	C1



SITE DEVELOPMENT PLAN

Existing Conditions Plan

Located at
123 Mendon Street
Bellingham, MA

Owner/ Applicant
D & C Pavone Enterprises, LLC
45 Comstock Drive
Wrentham, MA 02093

LOCUS REFERENCES

Assessors Parcel ID: 0043-0018-0000

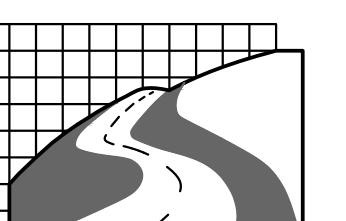
ZONING DISTRICT: INDUSTRIAL (I)

<u>REQUIRED</u>	
AREA:	60,000 S.F.
FRONTAGE:	200 FT.
FRONT YARD:	20 FT.
SIDE YARD:	10 FT.
REAR YARD:	20 FT.
BLDG HEIGHT MAX.	45 FT.

ZONING DISTRICT: BUSINESS 1 (B-1)	
	<u>REQUIRED</u>
AREA:	40,000 S.F.
FRONTAGE:	150 FT.
FRONT YARD:	20 FT.
SIDE YARD:	10 FT.
REAR YARD:	20 FT.
BLDG HEIGHT MAX.	35 FT.

Norman G. Hill, P.C.
Date: 11-22-2021

REVISIONS	
Date	Description
Field By:	BH/DL
Designed By:	SB
Drawn By:	SB
Checked By:	NGH



Land Planning, Inc.

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Civil Engineers • Land Surveyors Environmental Consultants

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Bellingham, MA 02019
508.666.4120

North Grafton

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1115 Main Street
Hanson, MA 02341
781-294-4144

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b No. B2850 C-

SITE DEVELOPMENT PLAN

Grading & Utility Plan

Located at
123 Mendon Street
Bellingham, MA

Owner/ Applicant
D & C Pavone Enterprises, LLC
45 Comstock Drive
Wrentham, MA 02093

LOCUS REFERENCES
Deed (Book / Page): 41338 / 384

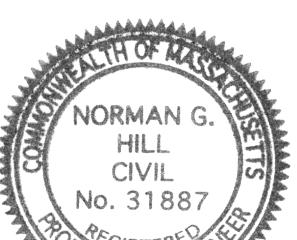
Assessors Parcel ID: 0043-0018-0000

ZONING DISTRICT: INDUSTRIAL (I)

REQUIRED
AREA: 60,000 S.F.
FRONTAGE: 200 FT.
FRONT YARD: 20 FT.
SIDE YARD: 10 FT.
REAR YARD: 20 FT.
BLDG HEIGHT MAX. 45 FT.

ZONING DISTRICT: BUSINESS 1 (B-1)

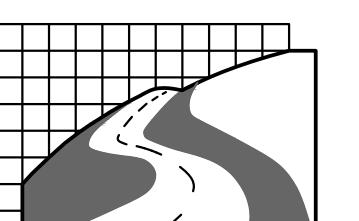
REQUIRED
AREA: 40,000 S.F.
FRONTAGE: 150 FT.
FRONT YARD: 20 FT.
SIDE YARD: 10 FT.
REAR YARD: 20 FT.
BLDG HEIGHT MAX. 35 FT.



Norman G. Hill, PE
Date: 11-22-2024
Norman G. Hill, PE #31887

REVISIONS

Date	Description
Field By:	BH/DL
Designed By:	SB
Drawn By:	SB
Checked By:	NGH



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Bellingham
167 Hartford Ave.
Bellingham, MA 02329
508-966-4130

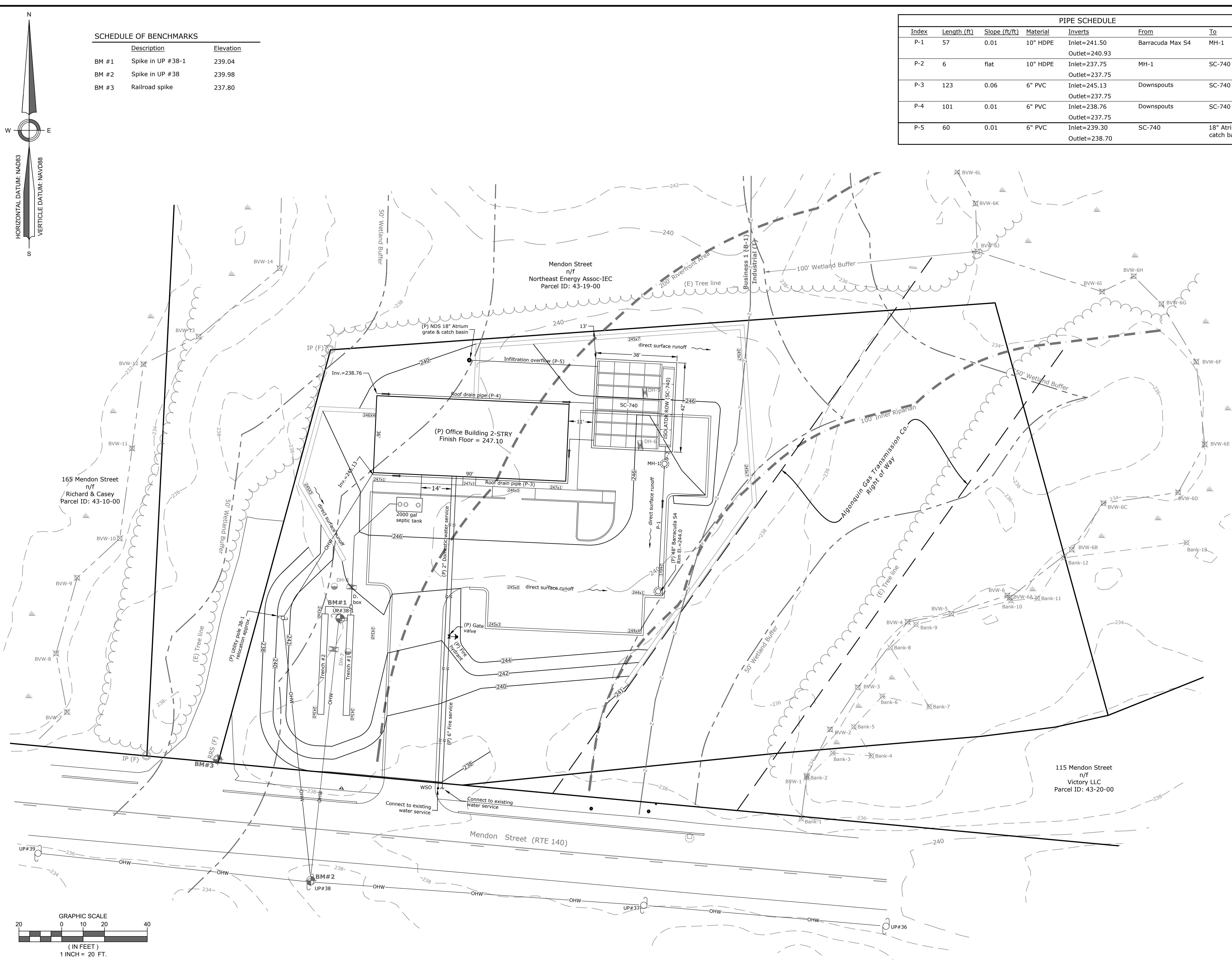
North Grafton
214 Worcester St.
N. Grafton, MA 01536
508-839-9526

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Date: Nov. 12, 2024
Job No.: B2850
Sheet No.: C-3

SCHEDULE OF BENCHMARKS	
Description	Elevation
BM # 1	Spike in UP #38-1
BM # 2	Spike in UP #38
BM # 3	Railroad spike

PIPE SCHEDULE						
Index	Length (ft)	Slope (ft/ft)	Material	Inverts	From	To
P-1	57	0.01	10" HDPE	Inlet=241.50 Outlet=240.93	Barracuda Max S4	MH-1
P-2	6	flat	10" HDPE	Inlet=237.75 Outlet=237.75	MH-1	SC-740 Isolator row
P-3	123	0.06	6" PVC	Inlet=245.13 Outlet=237.75	Downspouts	SC-740
P-4	101	0.01	6" PVC	Inlet=238.76 Outlet=237.75	Downspouts	SC-740
P-5	60	0.01	6" PVC	Inlet=239.30 Outlet=238.70	SC-740	18" Atrium grate & catch basin



SITE DEVELOPMENT PLAN

Landscape & Planting Plan

Located at
123 Mendon Street
Bellingham, MA

Owner/ Applicant
D & C Pavone Enterprises, LLC
45 Comstock Drive
Wrentham, MA 02093

LOCUS REFERENCES
Deed (Book / Page): 41338 / 384

Assessors Parcel ID: 0043-0018-0000

ZONING DISTRICT: INDUSTRIAL (I)

REQUIRED
AREA: 60,000 S.F.
FRONTAGE: 200 FT.
FRONT YARD: 200 FT.
SIDE YARD: 10 FT.
REAR YARD: 20 FT.
BLDG HEIGHT MAX. 45 FT.

ZONING DISTRICT: BUSINESS 1 (B-1)

REQUIRED
AREA: 40,000 S.F.
FRONTAGE: 150 FT.
FRONT YARD: 20 FT.
SIDE YARD: 10 FT.
REAR YARD: 20 FT.
BLDG HEIGHT MAX. 35 FT.

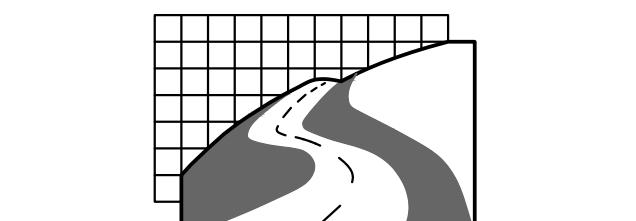


Norman G. Hill, PE
Date: 11-22-2024

Norman G. Hill, PE #31887

REVISIONS

Date	Description
Field By:	BH/DL
Designed By:	SB
Drawn By:	SB
Checked By:	NGH



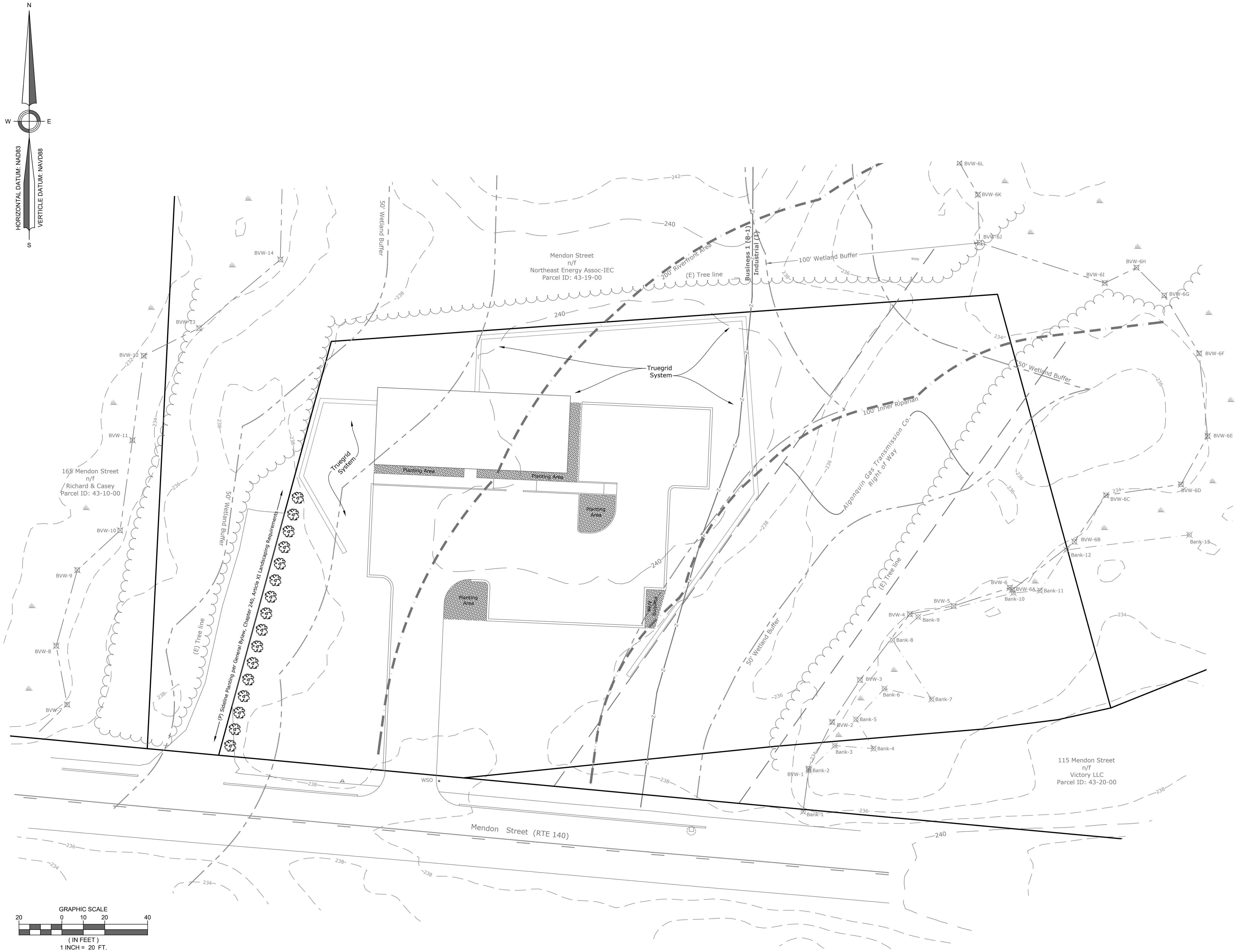
Land Planning, Inc.
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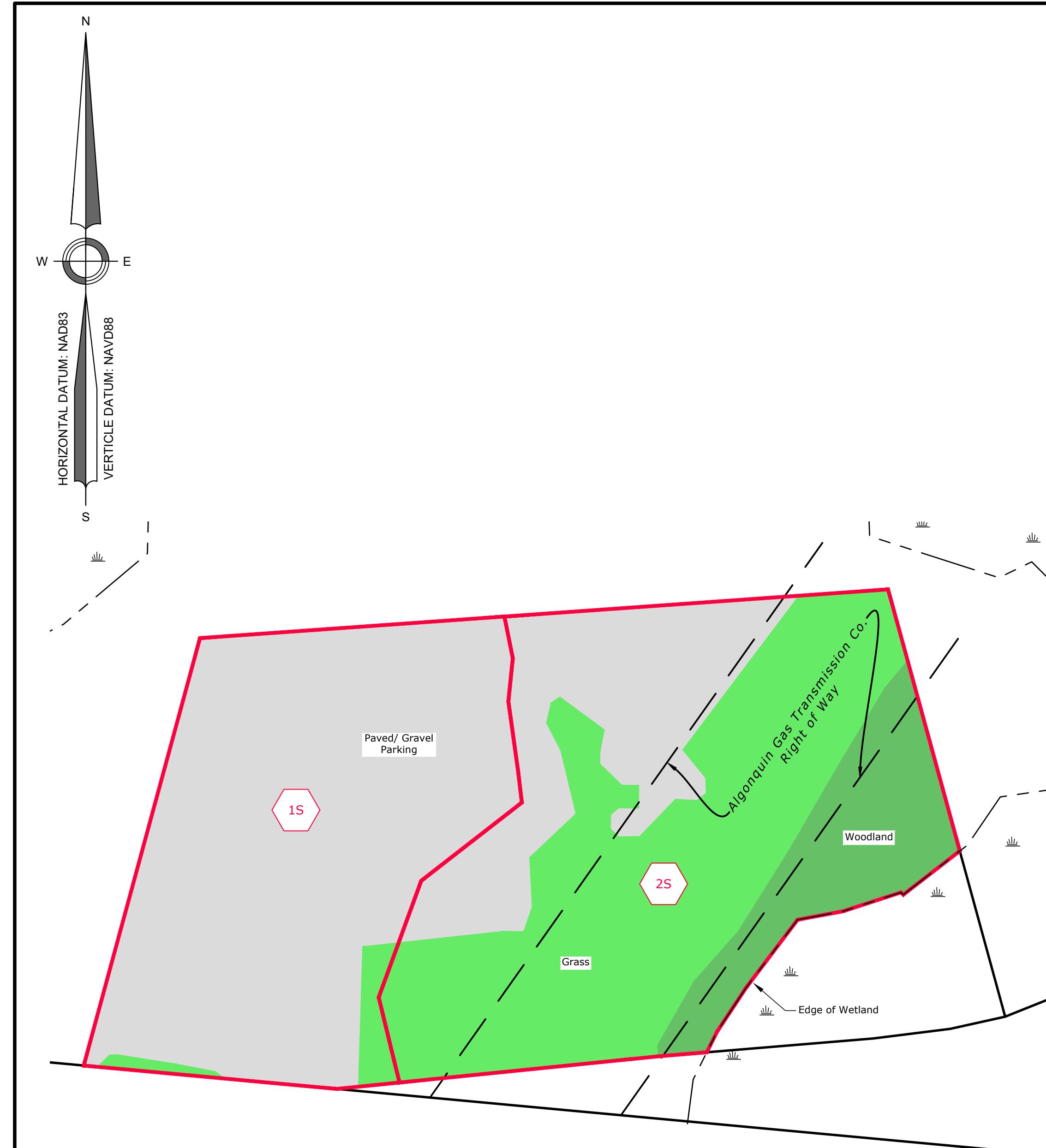
Bellingham
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Bellingham, MA 02019
508-966-4130

North Grafton
214 Worcester St.
N. Grafton, MA 01536
508-839-9526

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Date: Nov. 12, 2024
Job No.: B2850
Sheet No.: C-4





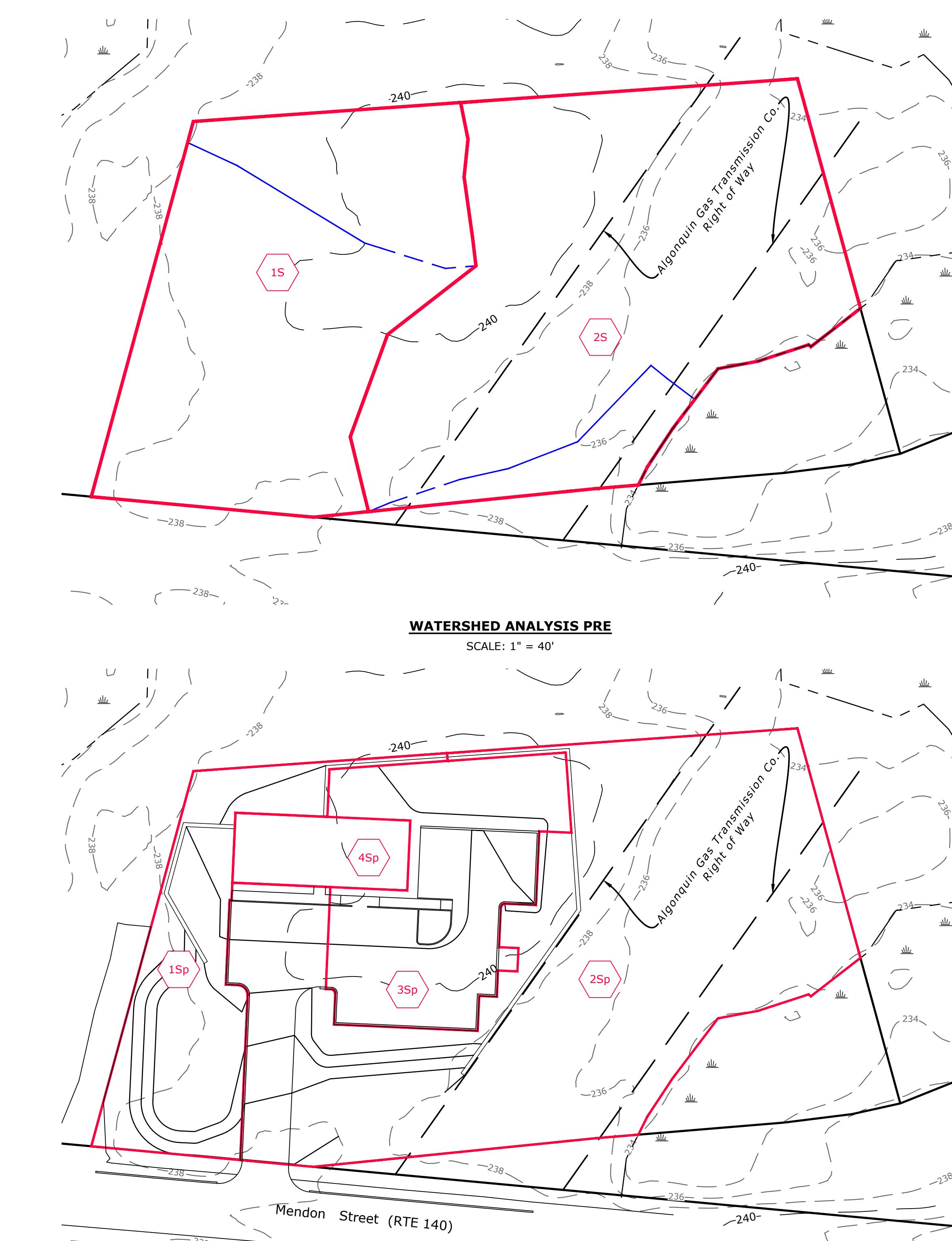
GROUNDCOVER PRE

SCALE: 1" = 40'



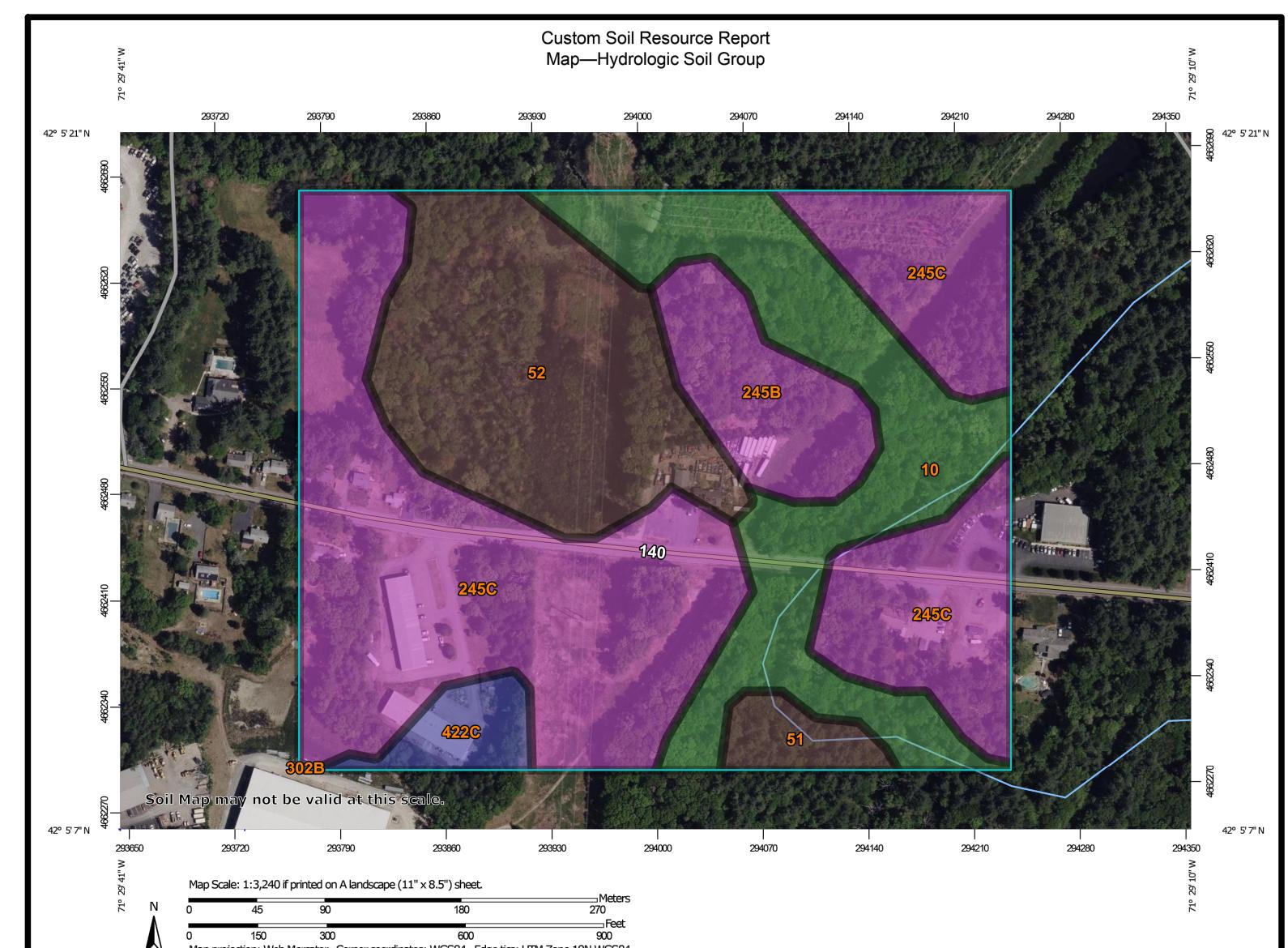
GROUNDCOVER PRE

SCALE: 1" = 40'



WATERSHED ANALYSIS PRE

SCALE: 1" = 400'



Stormwater Management Plan

Located at
123 Mendon Street
Bellingham, MA

Owner/ Applicant
D & C Pavone Enterprises, LLC
45 Comstock Drive
Wrentham, MA 02093

GRAPHIC SCALE

A horizontal scale line with tick marks at 20, 0, 10, 20, and 40. The segment between 20 and 0 is broken, indicated by a gap in the line and a shorter tick mark at 0.

(1:12,500)
1 INCH = 20 FT.

A circular impression of the Commonwealth of Massachusetts state seal. The outer ring contains the text "THE COMMONWEALTH OF MASSACHUSETTS" at the top and "THE GREAT SEAL" at the bottom. The inner circle contains the text "NORMAN G. HILL" on the top two lines, "CIVIL" on the third line, and "No. 31887" on the bottom line. The seal is rendered in a dark, textured style.

Norman J. Hill, P.C.

A 5x5 grid of squares, with a diagonal line from the bottom-left to the top-right, representing a 2D convolutional kernel.



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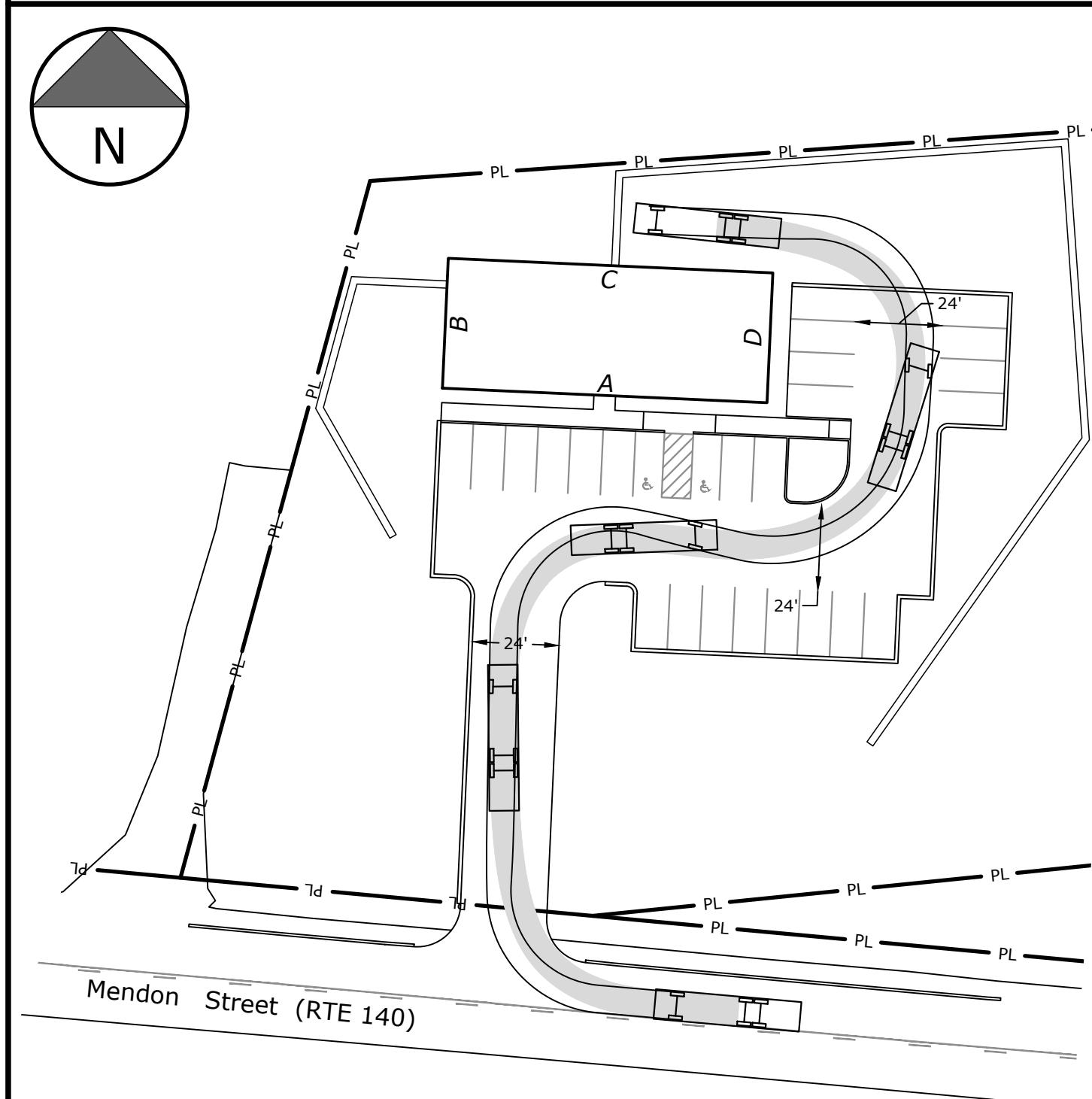
Date Nov. 18, 2024 Sheet No.

Job No. B2850

B2050

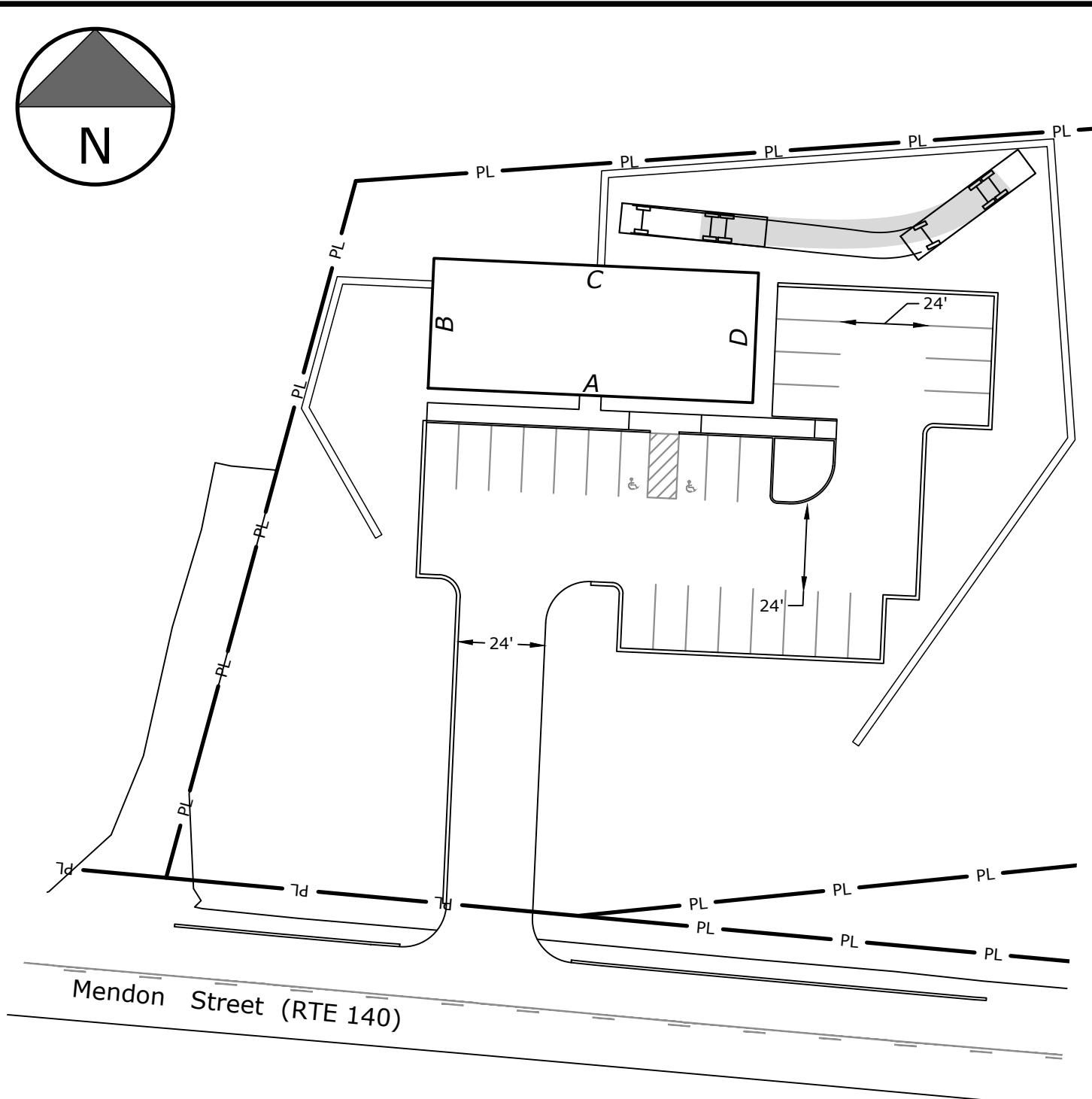
Turning Path Key

- Rear tire turning path
- Front tire turning path



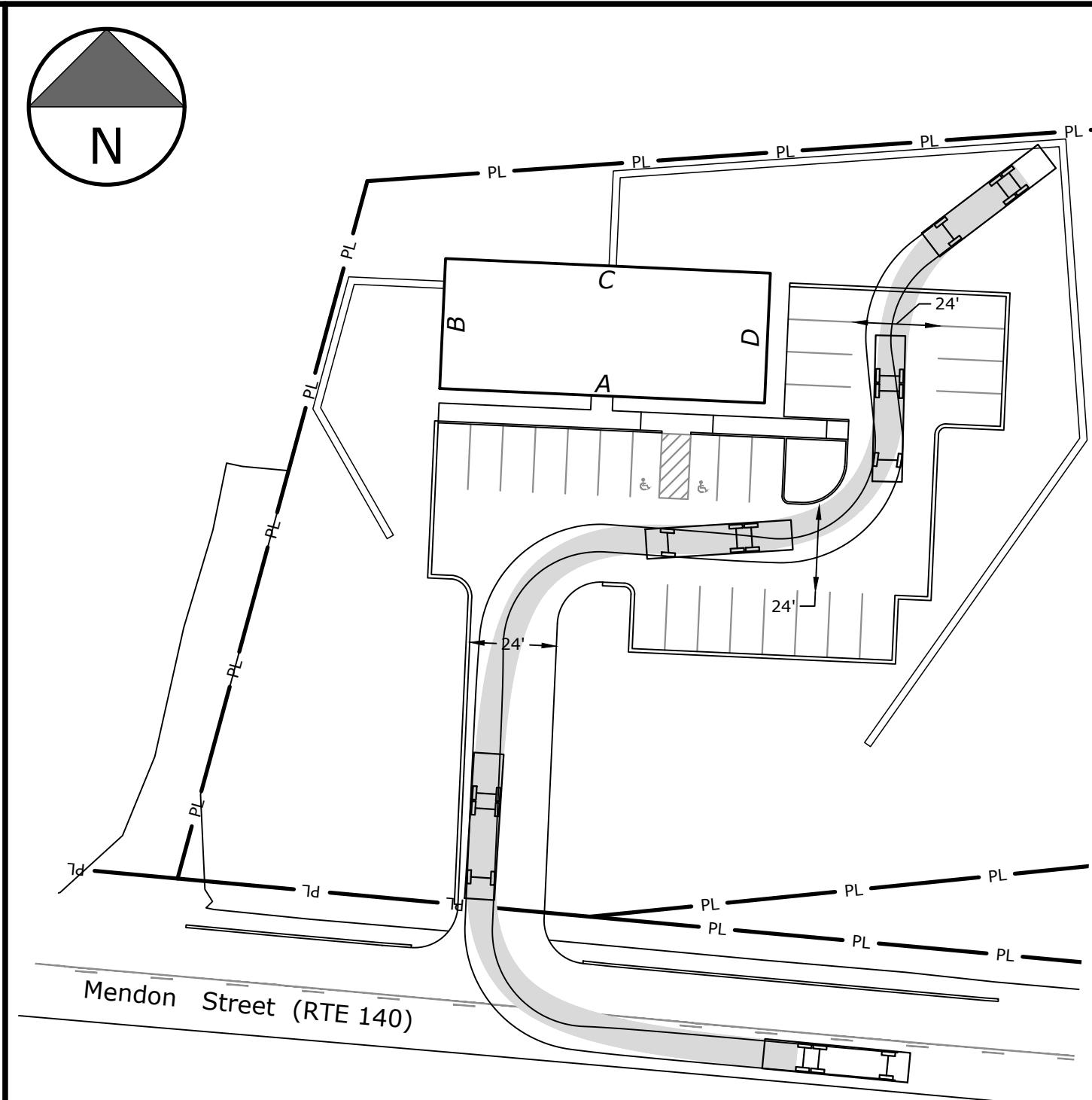
AERIAL PLATFORM "C" SIDE ACCESS

SCALE: 1" = 40'



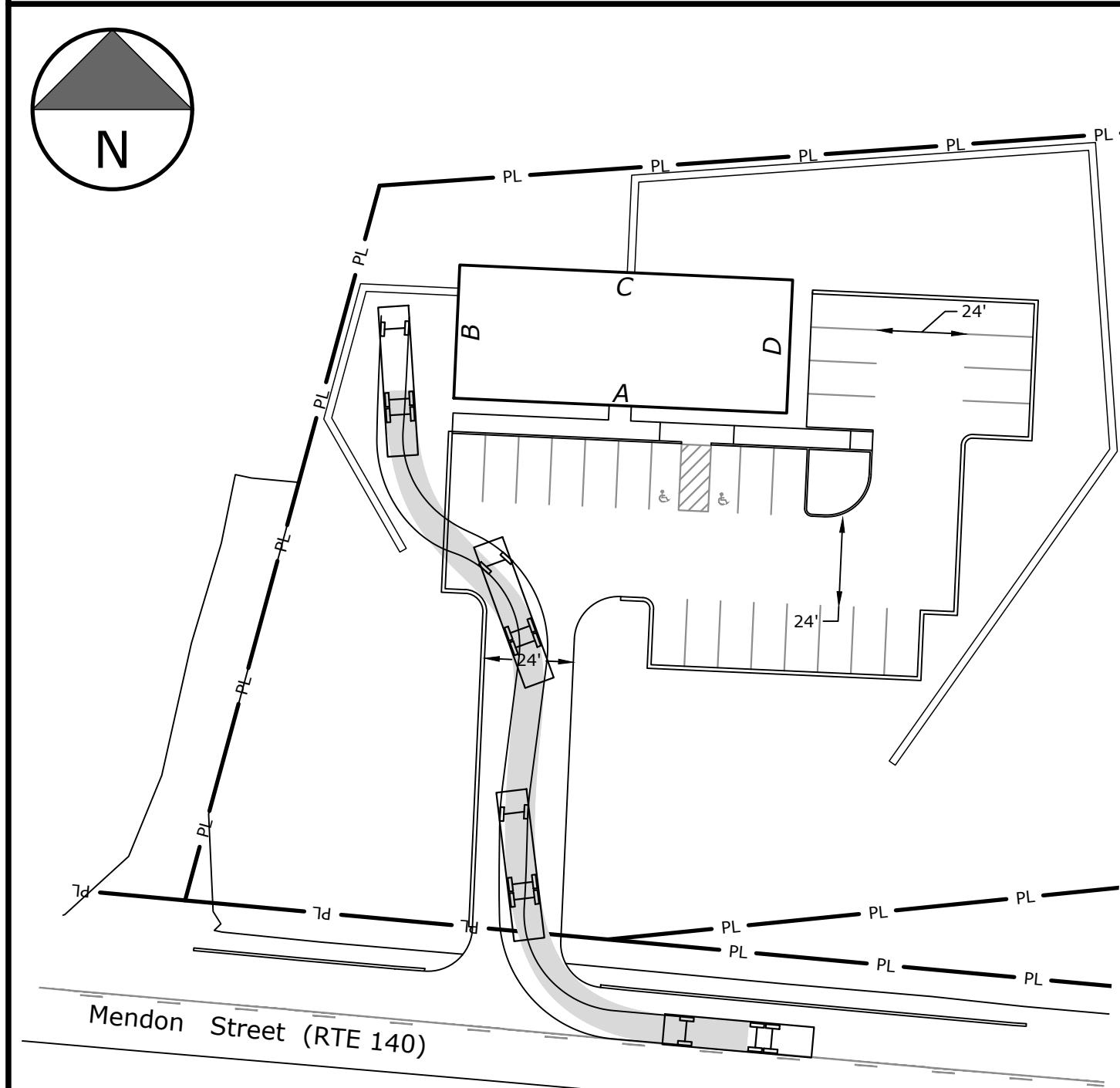
AERIAL PLATFORM "C" SIDE EGRESS

SCALE: 1" = 40'



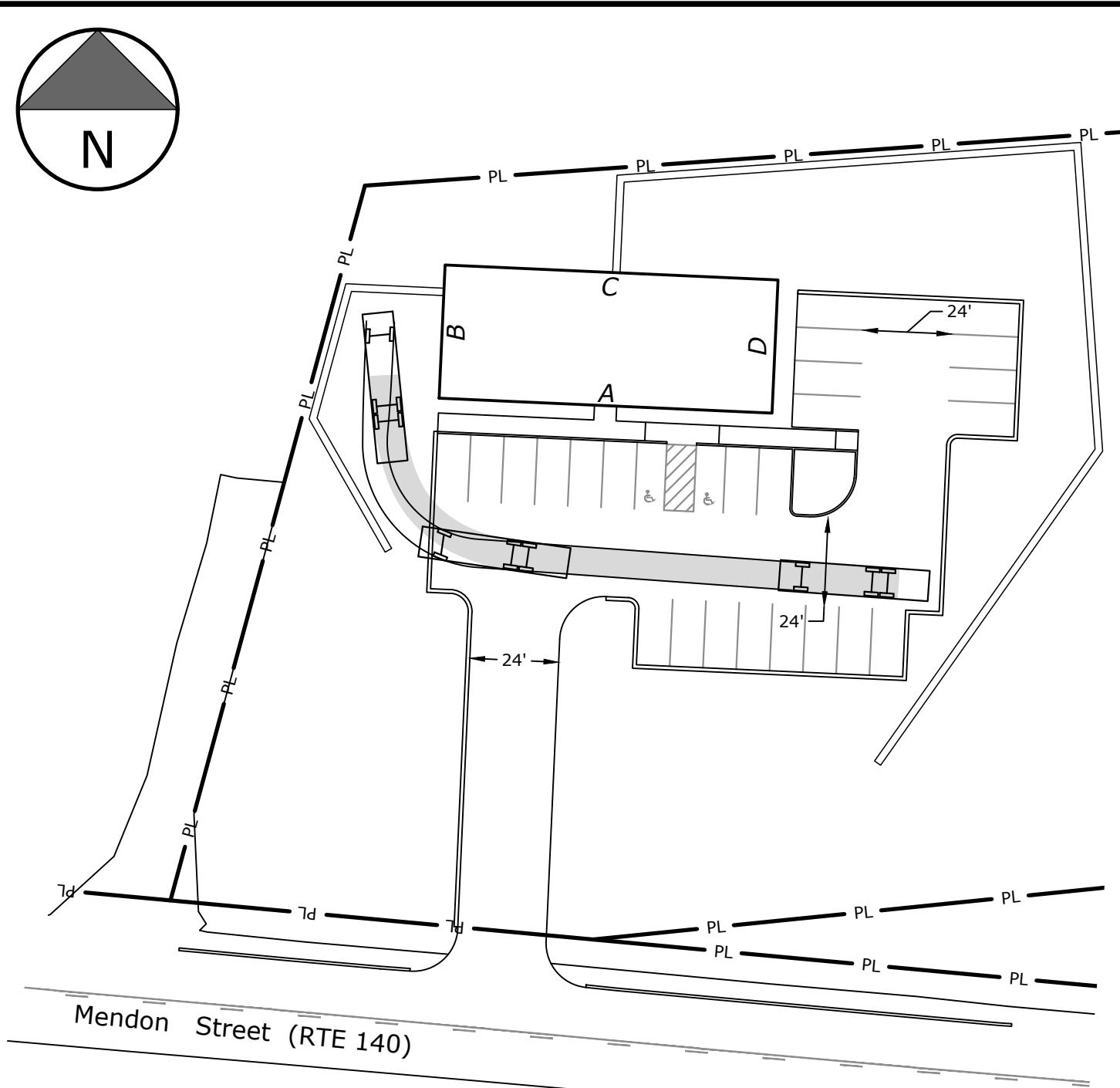
AERIAL PLATFORM "C" SIDE EGRESS

SCALE: 1" = 40'



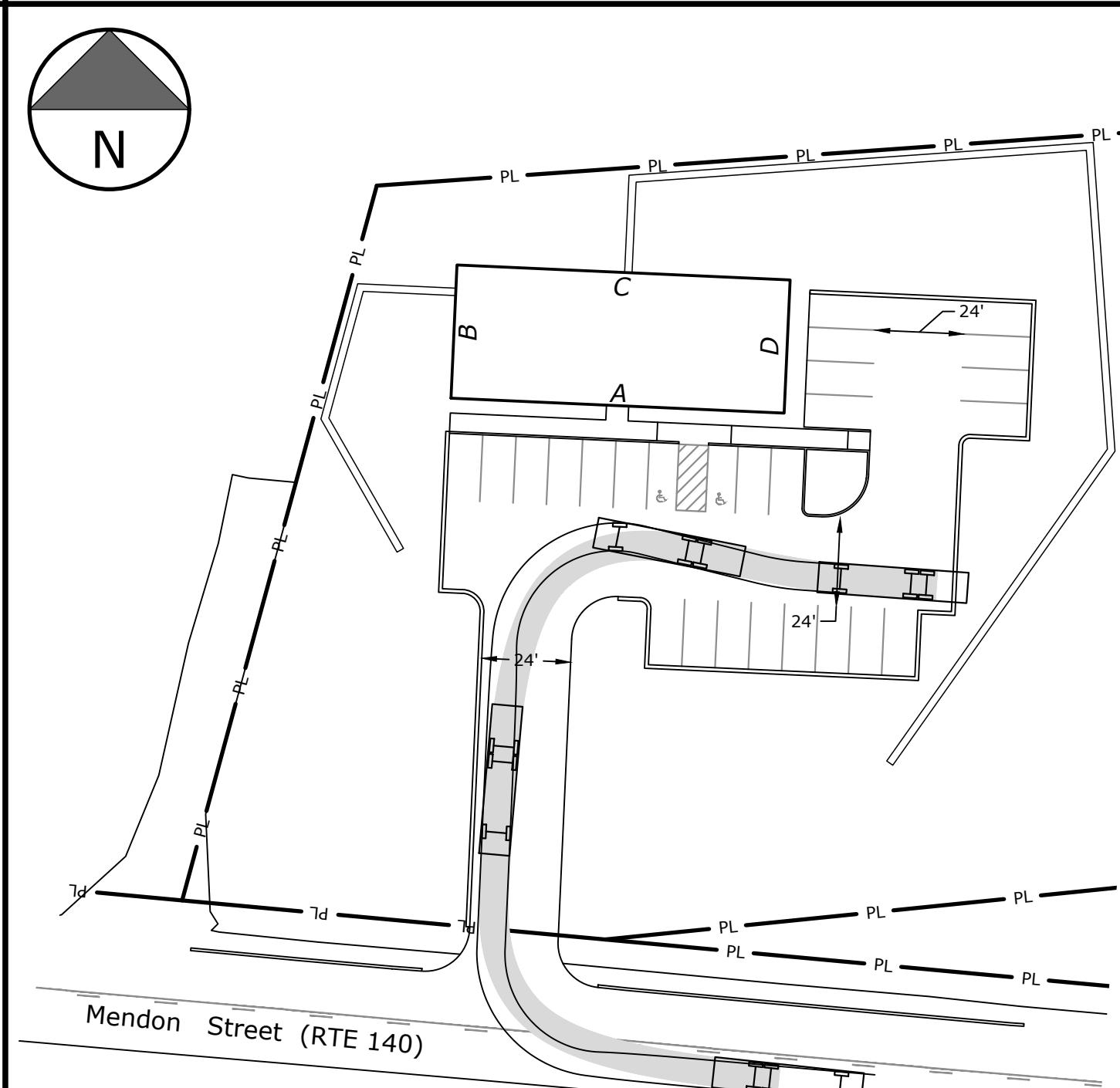
AERIAL PLATFORM "B" SIDE ACCESS

SCALE: 1" = 40'



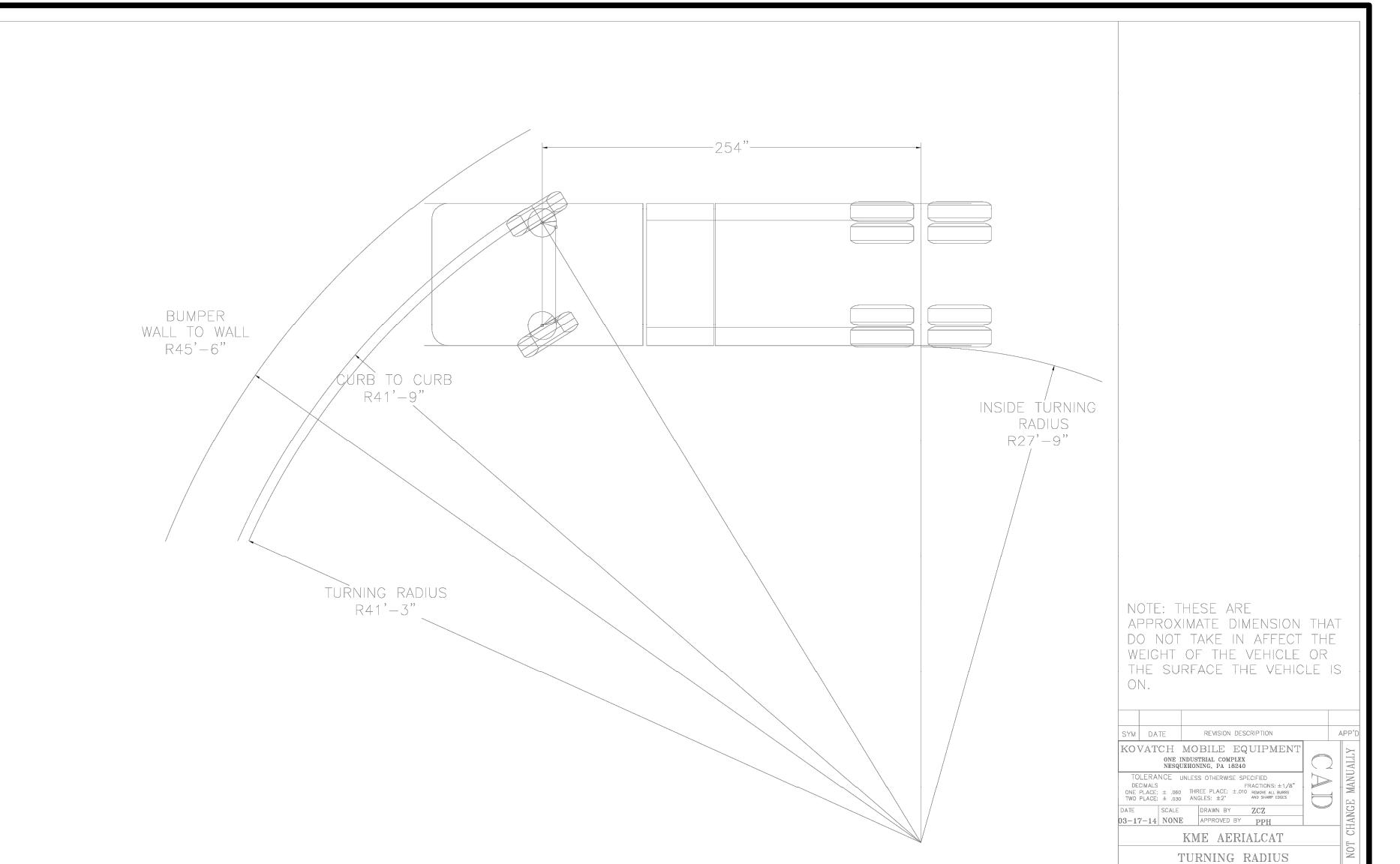
AERIAL PLATFORM "B" SIDE EGRESS

SCALE: 1" = 40'



AERIAL PLATFORM "B" SIDE EGRESS

SCALE: 1" = 40'



LOCUS REFERENCES

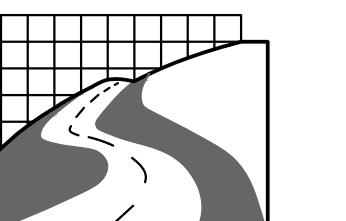
Deed (Book / Page): 41338 / 384

Assessors Parcel ID: 0043-0018-0000



Norman G. Hill, PE
Date: 11-22-2024

Norman G. Hill,
PE #31887



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**Aerial Platform
Turning Path Plan**

Located at
123 Mendon Street
Bellingham, MA

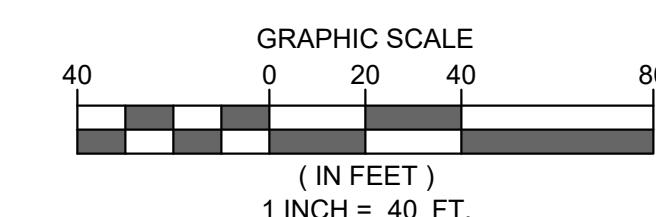
Owner/ Applicant
D & C Pavone Enterprises, LLC
45 Comstock Drive
Wrentham, MA 02349

Bellingham
167 Hartford Ave.
Bellingham, MA 02019
508-966-4130

North Grafton
214 Worcester St.
N. Grafton, MA 01536
508-839-9526

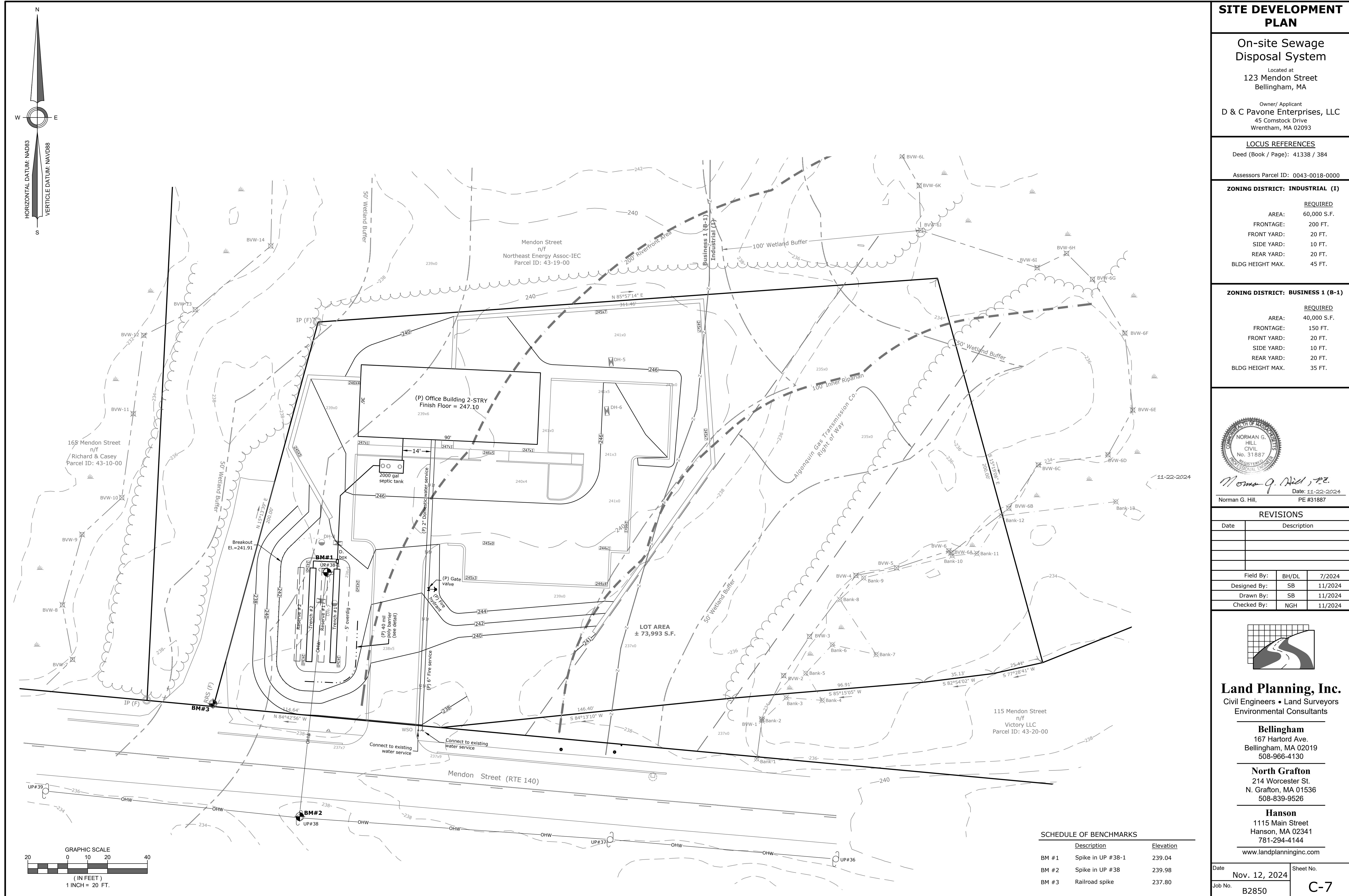
Hanson
1115 Main Street
Hanson, MA 02341
781-294-4144

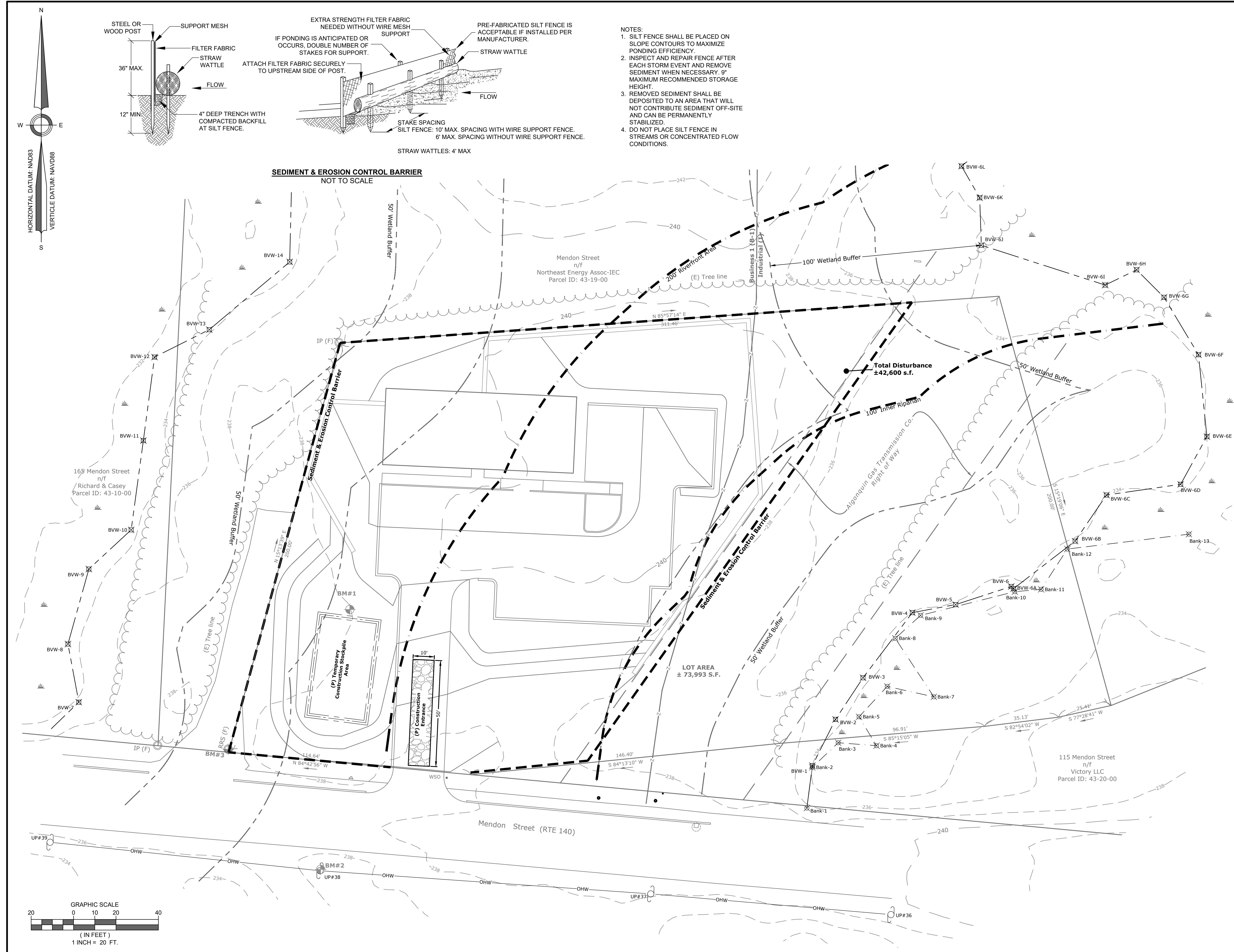
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(IN FEET)
1 INCH = 40 FT.

Date: Nov. 18, 2024
Sheet No. C-6
Job No. B2850





SITE DEVELOPMENT PLAN

Erosion & Sediment Control Plan

Located at
123 Mendon Street
Bellingham, MA

Owner/ Applicant
D & C Pavone Enterprises, LLC
45 Comstock Drive
Wrentham, MA 02093

LOCUS REFERENCES
Deed (Book / Page): 41338 / 384

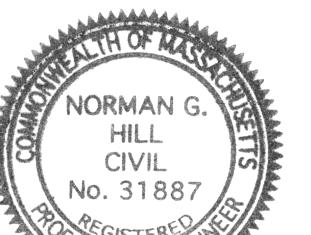
Assessors Parcel ID: 0043-0018-0000

ZONING DISTRICT: INDUSTRIAL (I)

	<u>REQUIRED</u>
AREA:	60,000 S.F.
FRONTAGE:	200 FT.
FRONT YARD:	20 FT.
SIDE YARD:	10 FT.
REAR YARD:	20 FT.
BLDG HEIGHT MAX.	45 FT.

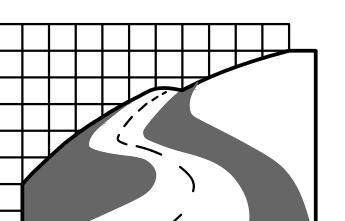
ZONING DISTRICT: BUSINESS 1 (B-1)

	<u>REQUIRED</u>
AREA:	40,000 S.F.
FRONTAGE:	150 FT.
FRONT YARD:	20 FT.
SIDE YARD:	10 FT.
REAR YARD:	20 FT.
BLDG. HEIGHT MAX.	35 FT.



Norman G. Hill, P.E.
Date: 11-22-2024

REVISTIONS



Land Planning, Inc.

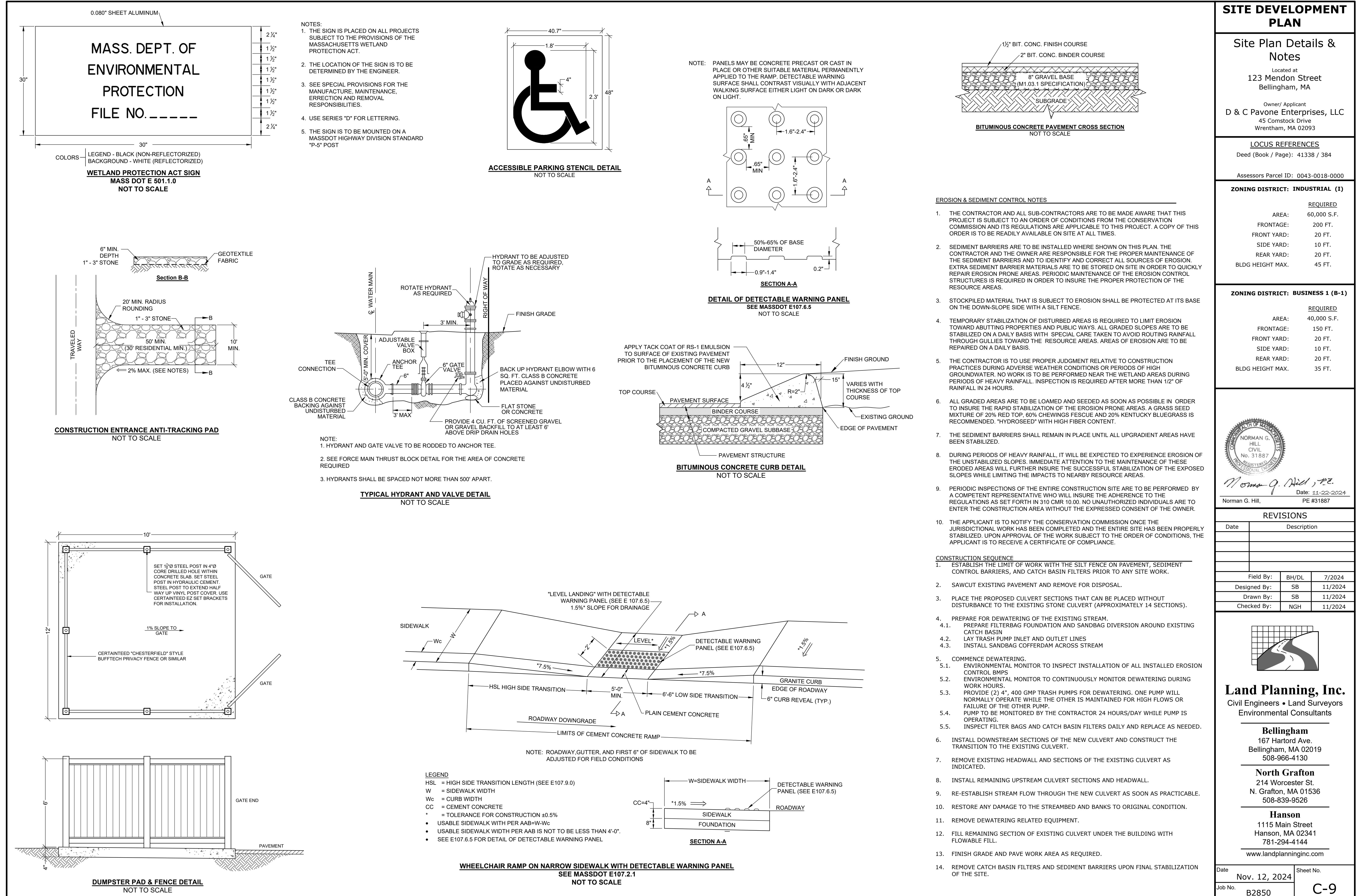
Civil Engineers • Land Surveyors

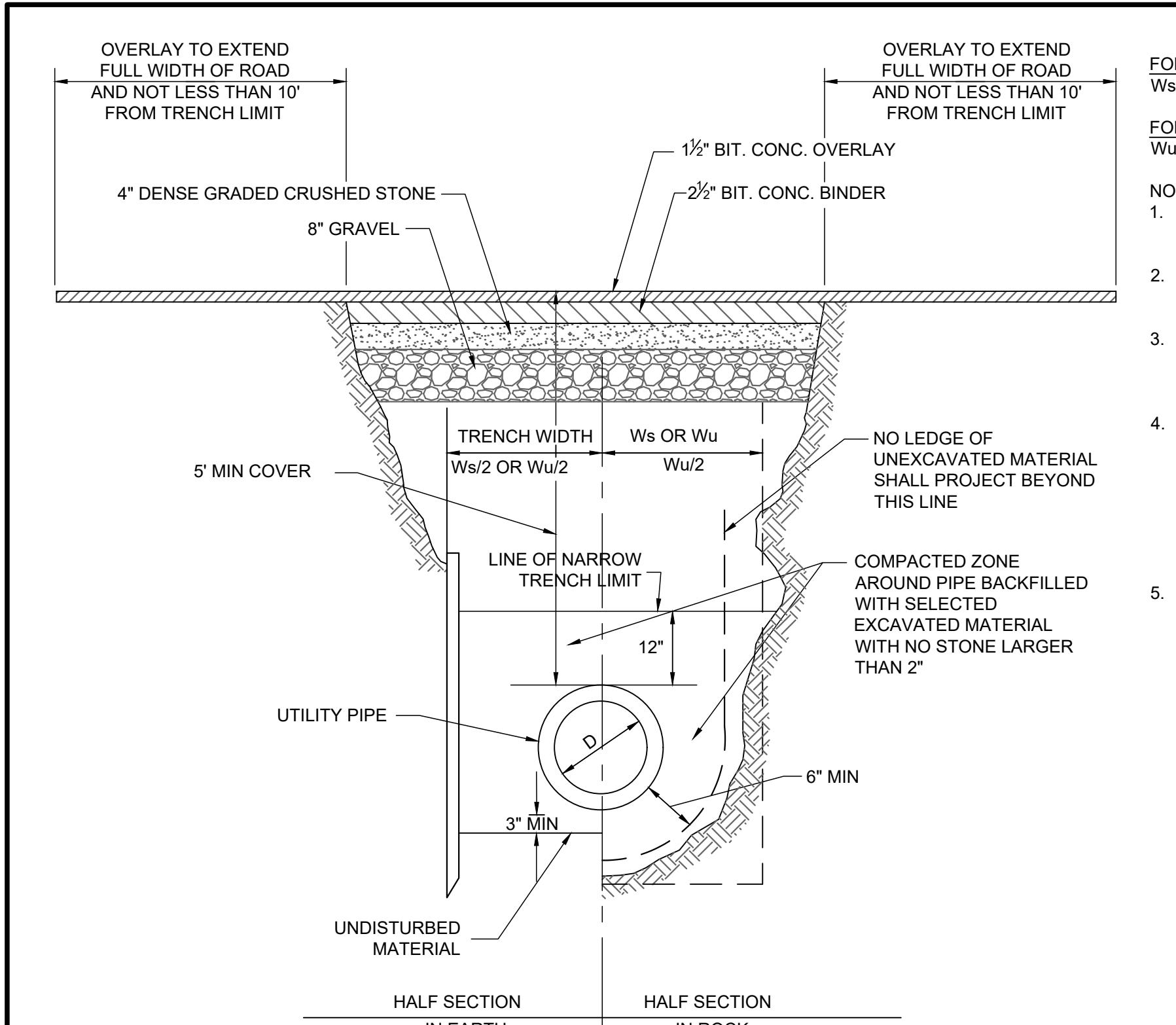
CIV. ENGINEERS LAND SURVEYORS Environmental Consultants

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167 Hartford Ave.
Bellingham, MA 02019
508-966-4130

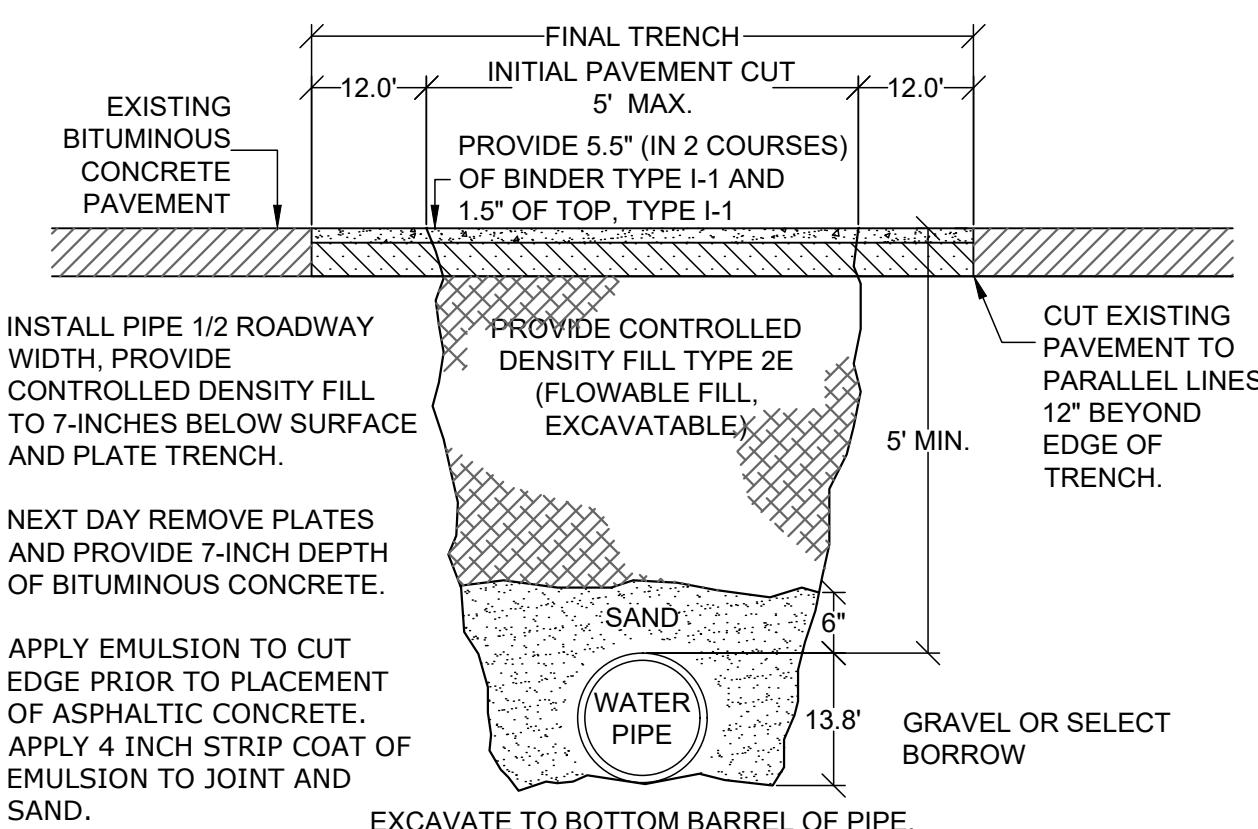
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214 Worcester St.
N. Grafton, MA 01536
508-839-9526

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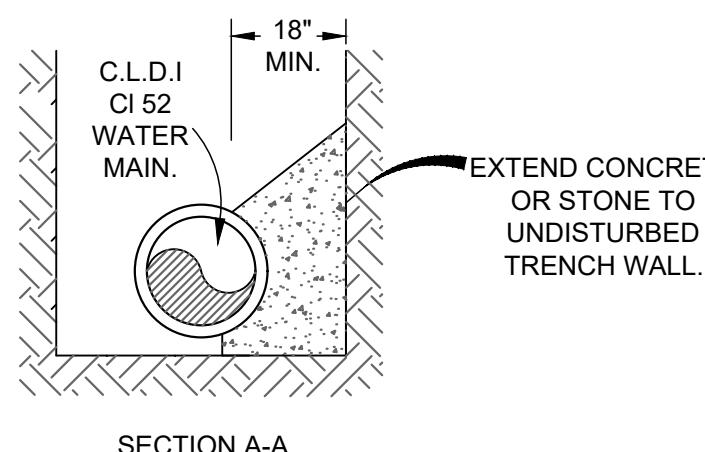


UTILITY TRENCH DETAIL
NOT TO SCALE

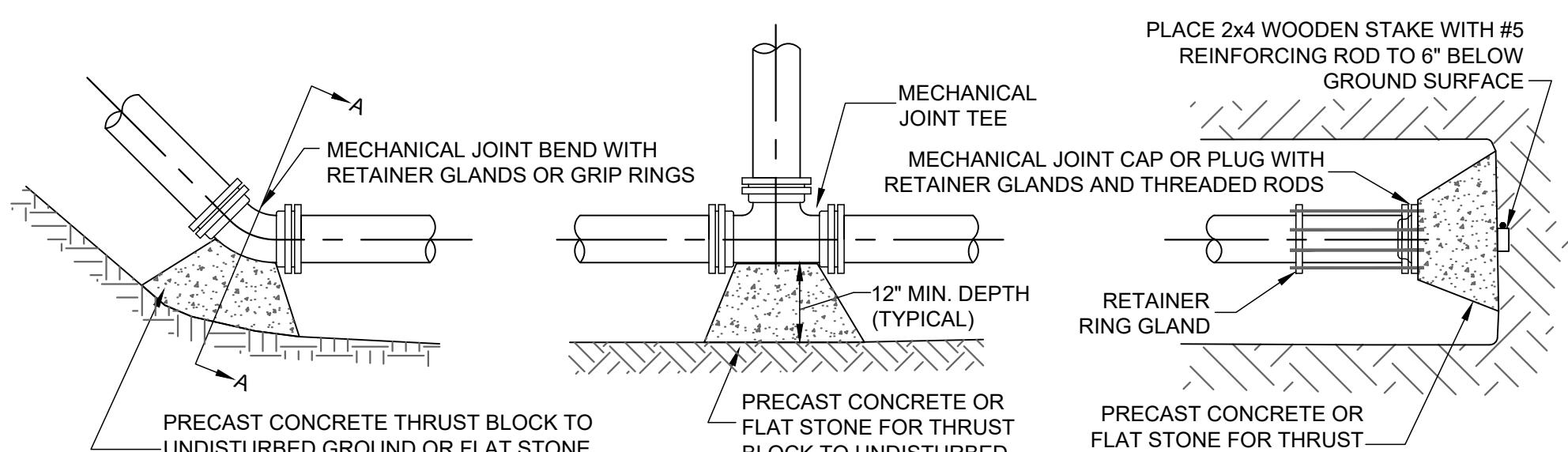


TRENCH RESURFACING IN STATE HIGHWAY & MAIN ROADS

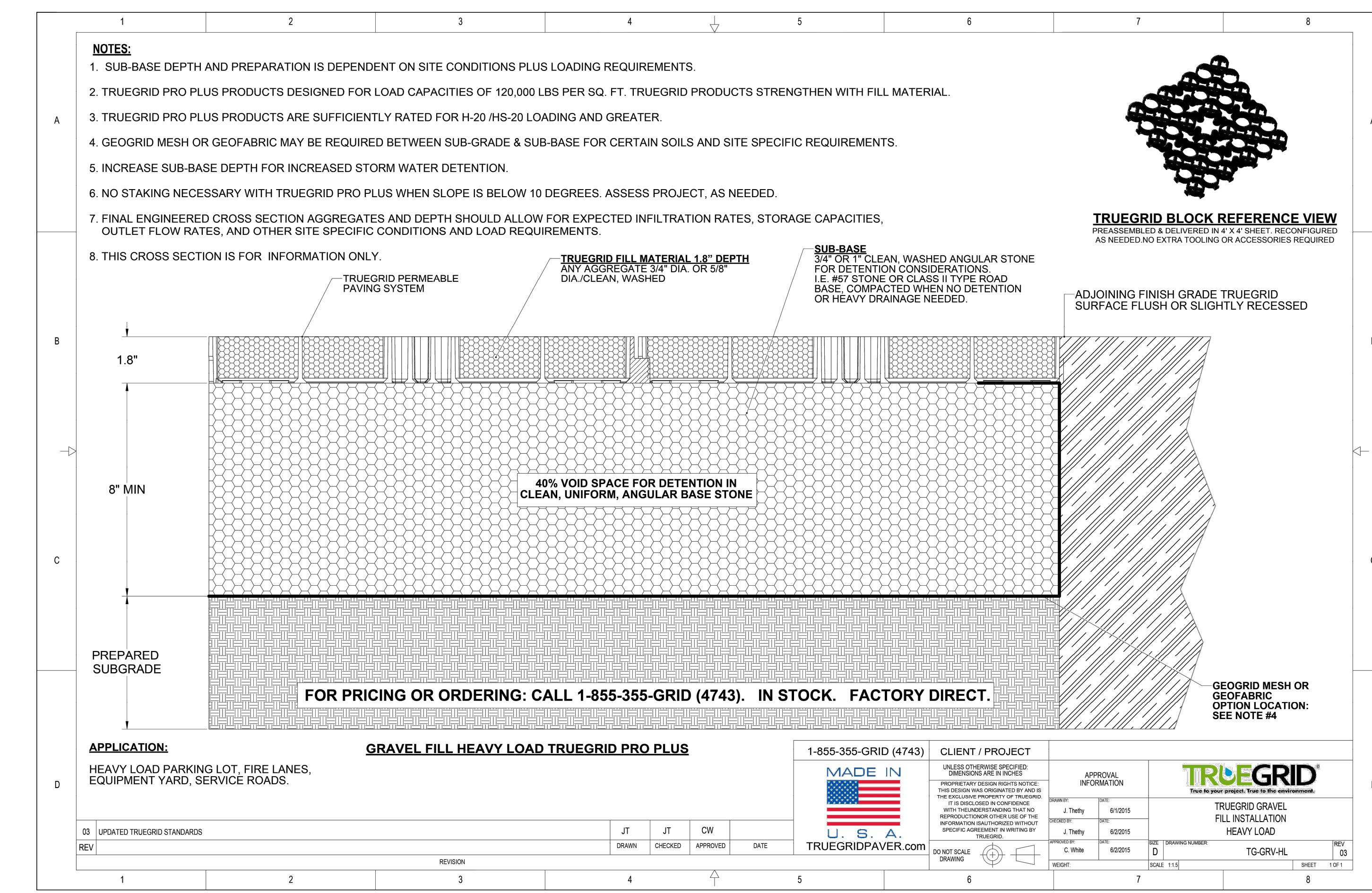
NOT TO SCALE



SECTION A
NOT TO SCALE



TYPICAL THRUST BLOCK DETAILS
NOT TO SCALE



SITE DEVELOPMENT PLAN

Site Plan Details

Located at
123 Mendon Street
Bellingham, MA

Owner/ Applicant
D & C Pavone Enterprises, LLC
45 Comstock Drive
Wrentham, MA 02093

LOCUS REFERENCES

Assessors Parcel ID: 0043-0018-0000

<u>ZONING DISTRICT: INDUSTRIAL (I)</u>	
	<u>REQUIRED</u>
AREA:	60,000 S.F.
FRONTAGE:	200 FT.
FRONT YARD:	20 FT.
SIDE YARD:	10 FT.
REAR YARD:	20 FT.
BLDG HEIGHT MAX.	45 FT.

ZONING DISTRICT: BUSINESS 1 (B-1)	
	<u>REQUIRED</u>
AREA:	40,000 S.F.
FRONTAGE:	150 FT.
FRONT YARD:	20 FT.
SIDE YARD:	10 FT.
REAR YARD:	20 FT.
BLDG HEIGHT MAX.	35 FT.

A circular registration stamp with a serrated outer edge. The text "COMMONWEALTH OF MASSACHUSETTS" is at the top, and "REGISTERED PROFESSIONAL ENGINEER" is at the bottom. The center contains "NORMAN G. HILL" on top, "CIVIL" in the middle, and "No. 31887" at the bottom.

Norma J. Hill, P.C.
Date: 11-22-2024

REVISIONS		
Date	Description	
Field By:	BH/DL	7/2024
Designed By:	SB	11/2024
Drawn By:	SB	11/2024
Checked By:	NGH	11/2024

Land Planning, Inc.

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Date	Nov. 12, 2024	Sheet No.
Job No.	B2850	C-11

C-11