

ZONING DISTRICT: SUBURBAN

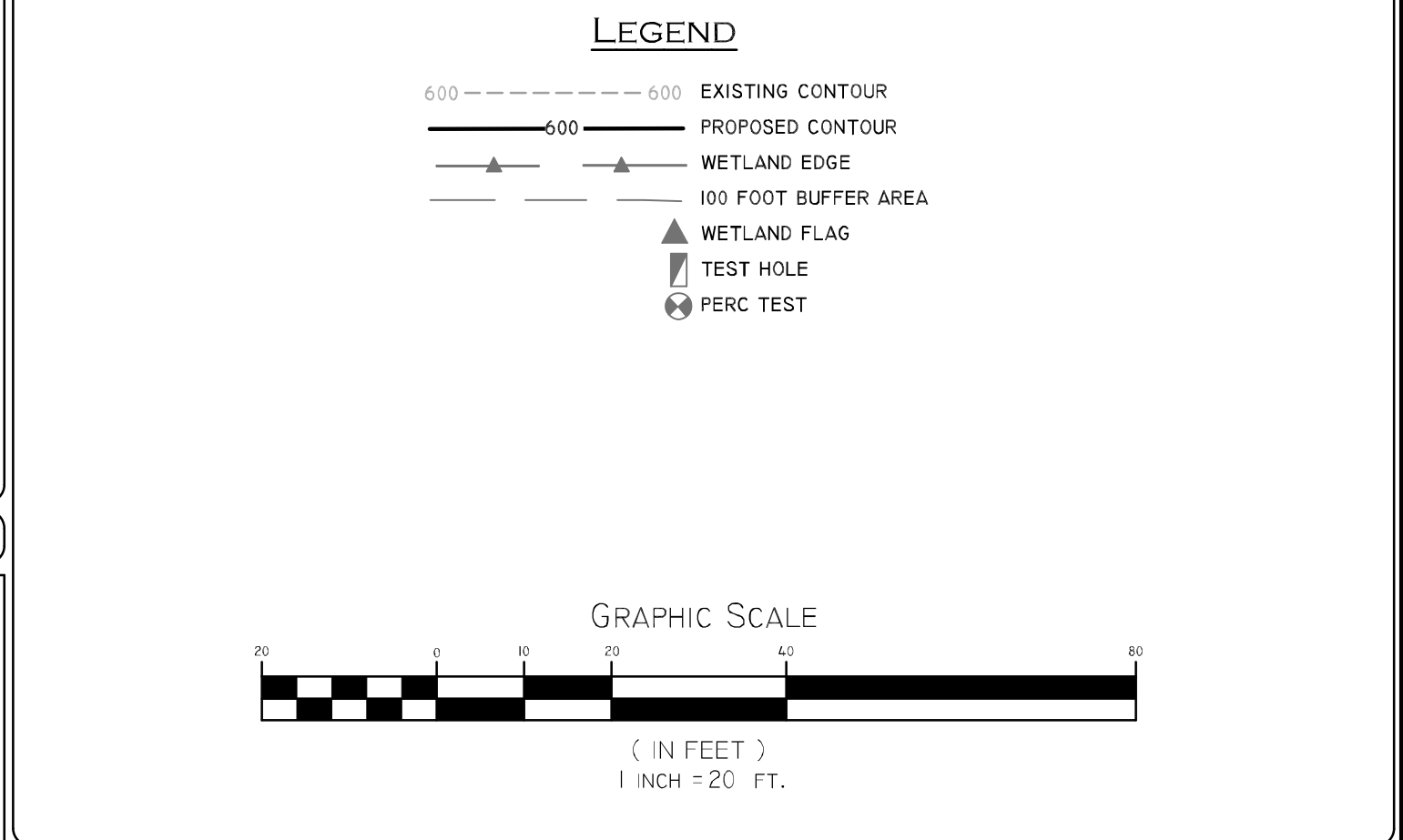
MINIMUM LOT AREA: 80,000 SQ. FT. (TWO-FAMILY DWELLING) / 40,000 SQ. FT. (OTHER USES)
MINIMUM LOT FRONTAGE: 150 FT.
MAXIMUM BUILDING HEIGHT: 35 FT.
MINIMUM SETBACKS: FRONT - 30 FT. (A,D)
SIDE - 15 FT.
REAR - 20 FT.

NOTE (A): NO BUILDING OTHER THAN A MULTIFAMILY DWELLING NEED PROVIDE A FRONT YARD GREATER THAN THE AVERAGE OF ADJOINING FRONT YARDS. FOR MULTIFAMILY DWELLINGS, THE FRONT YARD IS TO BE NOT LESS THAN TWICE BUILDING HEIGHT, AND TO CONTAIN NO PARKING. CORNER AND THROUGH LOTS SHALL MAINTAIN FRONT YARD REQUIREMENTS FOR BOTH FRONTAGES.
NOTE (D): NO OBSTRUCTION TO VISION BETWEEN THREE AND EIGHT FEET ABOVE THE PLANE THROUGH THE CURB GRADES SHALL BE PERMITTED WITHIN THE AREA FORMED BY THE LINES INTERSECTING STREETS AND A LINE JOINING POINTS 20 FEET FORM THE POINT OF INTERSECTION OF STREET LINES OR STREET LINES EXTENDED.

- PLAN REFERENCES:**
1. PLAN OF LAND LOCATED ON WRENTHAM ROAD IN BELLINGHAM, MASSACHUSETTS (NORFOLK COUNTY) PREPARED FOR LAURENT & RONALD DALPE, 621 WRENTHAM ROAD, BELLINGHAM, MA 01604; DATED: MARCH 5, 2007; PREPARED BY: ODONE SURVEY & MAPPING; PLAN BOOK 566 PG 42.
 2. SUBDIVISION FOR VIATEUR AND IRENE DALPE, BELLINGHAM, MASS., DATED: MARCH, 1965; PREPARED BY: G. BERTRAND BIBEULT; PLAN BOOK 4266 PG 496.
 3. PLAN OF LAND IN WOONSOCKET, R.I. AND BELLINGHAM, MASS. OF BLACKSTONE VALLEY PARTNERS; DATED: FEB. 12, 1987; PREPARED BY: G. R. BRISSON; PLAN BOOK 351 PG 301.

NOTE:

THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO THE FINDINGS SUCH A REPORT MIGHT DISCLOSE. PROPERTY LINES SHOWN ON THIS SURVEY/PLAT REPRESENT CURRENT PHYSICAL FIELD CONDITIONS AND EVIDENCE OF APPARENT POSSIBLE POSSESSION. ANY REFERENCES TO PUBLIC RECORDS HEREON REFLECTS TO THOSE RECORDS NECESSARY TO ESTABLISH THE BOUNDARIES SHOWN HEREON AND REFERENCE TO THE SAME DOES NOT, AND IS NOT INTENDED TO CONSTITUTE A TITLE SEARCH OR TITLE OPINION.



SITE PLAN

ASSESSOR'S MAP 97 LOT 16
621 WRENTHAM ROAD
BELLINGHAM, MASSACHUSETTS

OWNER: APPLICANT: DOIRE PROPERTIES
1394 HARKNEY HILL ROAD, COVENTRY, RI 02816

JOB # 24-015 SCALE: 1"= 20' DRAWN BY: LMB DATE: DECEMBER 6, 2024
REVISED: 2/12/25

INSITE Engineering Services, LLC
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Precision. Clarity. Certainty.

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SHEET 1 OF 2

THE TIMING OF THE CONSTRUCTION OF THE WETLAND REPLICATION AREA WILL BE COORDINATED WITH THE CONSERVATION COMMISSION, DUE TO THE SEASONALITY OF WETLAND REPLICATION CONSTRUCTION AND PLANTING. CONTACT INFORMATION FOR CONTRACTORS AND WETLAND CONSULTANTS WILL BE SUBMITTED TO THE CONSERVATION COMMISSION PRIOR TO THE START OF WORK.

1. EROSION CONTROL TO BE STAKED BY SURVEYOR FOR THE PROJECT INCLUDING DRIVEWAY CROSSING, SITE DEVELOPMENT, AND REPLICATION AREA.
2. INSTALLATION OF EROSION CONTROL (MULCH SOIL AND SILT FENCE) BE PERFORMED AND INSPECTED BY DESIGN ENGINEER.
3. AREA TO BE CLEARED OF OUT OF BRUSH AND TREES.
4. DRIVEWAY AREA TO HAVE ALL UPLAND AND WETLAND SOILS STOCKPILED ONSITE SO SOIL MAY BE USED IN REPLICATION AREA.
5. PROPOSED DRAINPIPES SHALL BE PLACED AT LOW POINTS THROUGHOUT THE CROSSING.
6. ASPHALT TO BE PLACED ON DRIVEWAY ONCE CROSSING HAS BEEN CONSTRUCTED TO PROPOSED GRADES AS SHOWN IN SITE PLAN.
7. REPLICATION AREA TO BE CLEARED OF ALL VEGETATION AND HAULED OFF SITE.
8. THE AREA WILL BE EXCAVATED 6 IN BELOW TARGET GRADE. 2:1 OR SHALLOWER SLOPE AT THE LANDWARD EDGE OF THE AREA WILL BE CONSTRUCTED.
9. THE AREA WILL BE SPREAD WITH 6-12 INCHES OF ORGANIC TOPSOIL, FREE OF INVASIVE SEEDS.
10. TREES WILL BE PLANTED AT 15-20FT O.C., AND SHRUBS WILL BE PLANTED 10FT O.C.
11. AFTER THE INSTALLATION OF WOODY PLANTINGS, THE AREA WILL BE SPREAD WITH NEW ENGLAND WETLAND SEED MIX, AT A RATE OF 1 LB./2500 SQ. FT.
12. IF ANY OF THE PROPOSED VEGETATION IS NOT AVAILABLE, SUBSTITUTIONS WILL BE RECOMMENDED AND PROVIDED BY CONSERVATION AGENT PRIOR TO PLANTING APPROVAL.
13. WETLAND PLANTS WILL BE MONITORED AFTER PLANTING, REFER TO ORDER OF CONDITIONS FOR FURTHER DETAIL..

AFTER THE REPLICATION AREA IS COMPLETE, THE APPLICANT SHALL SUBMIT A YEARLY REPORT TO THE CONSERVATION COMMISSION INDICATING THE STATUS OF THE REPLICATION AREA. THESE REPORTS WILL INCLUDE COLORED PHOTOGRAPHS FROM ESTABLISHED REFERENCE PLOTS, THE PERCENT COVER AND SPECIES TYPE PLANTED, AND THE PERCENT SURVIVAL FOR PLANTED TREES AND SHRUBS. WETLAND HYDROLOGY SHALL BE OBSERVED DURING THE SPRING AND FALL FOR THE FIRST TWO (2) YEARS AND REPRESENTATIVE PHOTOS TAKEN AT THESE TIMES.

1. THE REPLICATION AREA SHALL BE MONITORED BY A QUALIFIED WETLAND SCIENTIST FOR TWO (2) FULL GROWING SEASONS TO ESTABLISH THE EFFECTIVENESS OF THE REPLICATION.
2. WETLAND HYDROLOGY SHALL BE OBSERVED DURING FALL FOR THE FIRST TWO (2) YEARS AND REPRESENTATIVE PHOTOS TAKEN AT THESE TIMES.
3. THE PERCENTAGE COVER AND SPECIES TYPE SHALL BE RECORDED.
4. THE PERCENTAGE SURVIVAL FOR PLANTED TREES AND SHRUBS SHALL BE CALCULATED.
5. THE APPLICANT SHALL MONITOR, AND AS WARRANTED, MANAGE INVASIVE SPECIES IN THE REPLICATION AREA.
6. THE APPLICANT SHALL CUT HERBACEOUS VEGETATION IMMEDIATELY AROUND SHRUBS THAT MAY BE SHADING THEM IN AN EXCESSIVE MANNER, INHIBITING THEIR GROWTH, OR EVEN ENDANGERING THE PLANT'S SURVIVAL.
7. MONITORING REPORTS SHALL BE SUBMITTED AT THE END OF THE FIRST TWO (2) GROWING SEASONS, TYPICALLY IN OCTOBER OR NOVEMBER.
8. IF THE REPLICATION AREA DOES NOT MEET THE PERFORMANCE STANDARDS STATED IN 310 CMR 10.55(4)(b), THEN ANOTHER YEAR OF MONITORING SHALL BE REQUIRED, AND CONDITIONS ASSESSED AGAIN AT THAT TIME. THIS SHALL CONTINUE UNTIL THE REPLICATION COMPLIES WITH THE PERFORMANCE STANDARDS STATED IN 310 CMR 10.55(4).
9. UPON THE COMPLETION OF THE PROJECT AND WHEN ALL EXPOSED SOILS ARE STABLE AND WELL-VEGETATED, EROSION CONTROL DEVICES SHALL BE REMOVED AND DISPOSED OF OFFSITE IN AN APPROPRIATE MANNER.

- OWNER: DOIRE PROPERTIES LLC. - 1394 HARKNEY HILL ROAD, COVENTRY, RI 02816.
- WETLAND DELINEATION BY ECOSYSTEM SOLUTIONS INC. ON 5-31-24.
- SITE IS NOT WITHIN A FLOOD HAZARD ZONE AS SHOWN ON FIRM MAP 2502IC03I&E.
- SUITABLE ORGANIC SOILS SALVAGED FROM THE IMPACTED AREA AND/OR SALVAGE AND/OR A 1:1 MIX OF LOAM AND COMPOST MULCH ARE TO BE USED TO BRING THE GRADE. SOILS ARE TO BE APPROVED BY THE WETLAND SCIENTIST PRIOR TO PLACING THE REPLICATION AREA. THE WETLAND SCIENTIST SHALL DETERMINE AN APPROPRIATE AREA BASED ON OBSERVED GROUNDWATER CONDITIONS WITHIN WETLAND AREAS AND REPLICATION AREA. THE REFERENCE ELEVATION SHALL BE MARKED IN THE FIELD OF THE REPLICATION AREA. SOIL STOCKPILES WILL BE RINGED WITH SILT FENCE AND TO PREVENT DRYING OUT.
- EROSION CONTROL WILL BE INSTALLED AS SHOWN ON THE PLAN. EROSION CONTROL AFTER SIGNIFICANT RAINFALL, AND REPAIRED OR REPLACED AS NECESSARY. REMAIN IN PLACE UNTIL ALL EXPOSED SOIL WITHIN AND ADJACENT TO THE REPLICATION AREA CONSTRUCTION IS COMPLETE AND ALL AREAS INCLUDING REPLICATION AREA ARE UNDER THE SUPERVISION OF THE WETLAND SCIENTIST. THE EROSION CONTROL WILL BE REMOVED AND REPAIRED AS NECESSARY.
- AREA OF DISTURBANCE WITHIN THE WETLAND: 588 SF.
AREA OF PROPOSED DISTURBANCE WITHIN 100 FOOT BUFFER ZONE: 9,374 SF.
AREA OF REPLICATION: 1,200 SF.
- OWNER OR CONTRACTOR TO CONTACT DIGSAFE AT 1-888-344-7233 PRIOR TO START OF CONSTRUCTION.

RED MAPLE (ACER RUBRUM)
3" CALIPER SIZE
20" ON CENTER

TUSsock SEDGE (CAREX STRICTO)
1" PLUG
5" ON CENTER

FRINGED SEDGE (CAREX CRINTA)
1" PLUG
5" ON CENTER

CINNAMON FERN

HIGHBUSH BLUEBERRY (VACCINIUM CORYMBOSUM)
3 GALLON
10" ON CENTER

NEW ENGLAND WETMIX
1 LB/2.500 SF

DATE: 9-25-24
PERFORMED BY: MICHAEL FARIA - SE708
WITNESSED BY: STEVE DONATELLI

TH I
0"-6" AO, GSL, 10 YR 3/3
6"-30" BW, GSL, 10 YR 4/6
30"-120" C, GSL, 10 YR 6/1
WATER AT 48"
NO LEDGE AT 120"

TH 2
0"-6" AO, GSL, 10 YR 3/3
6"-30" BW, GSL, 10 YR 4/6
30"-120" C, GSL, 10 YR 6/1
WATER AT 48"
NO LEDGE AT 120"

TH 3
0"-6" AO, GSL, 10 YR 3/3
6"-30" BW, GSL, 10 YR 4/6
30"-120" C, GSL, 10 YR 6/1
WATER AT 48"
NO LEDGE AT 120"

TH 4
0"-6" AO, GSL, 10 YR 3/3
6"-30" BW, GSL, 10 YR 4/6
30"-120 C, GSL, 10 YR 6/1
WATER AT 48"
NO LEDGE AT 120"

PERC 1: 54" 8 MPI
PERC 2: 42" 17 MPI

20' GRAVEL DRIVEWAY

0.02 FT./FT.

0.02 FT./FT.

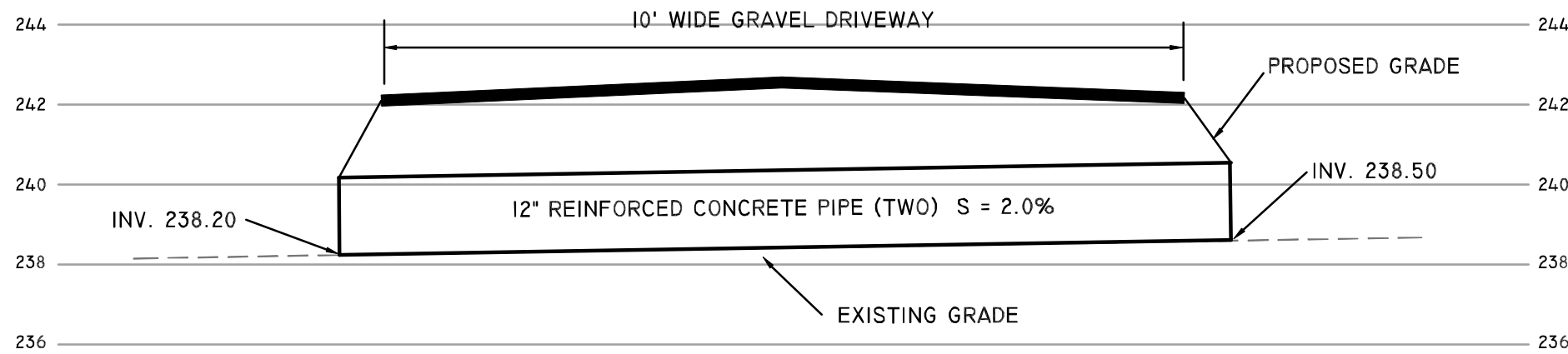
3'-12" ORGANIC NON-MINERAL SOIL*

UNDISTURBED EARTH AND/OR COMPACTED SUBBASE MATERIAL

12" BANK RUN GRAVEL

*ORGANIC NON-MINERAL SOIL TO BE REMOVED WITHIN DRIVEWAY LIMITS AND REPLACED WITH A COMPACTED SUBBASE MATERIAL.

SCALE: HORIZONTAL: - 1" = 2'
VERTICAL - 1" = 1'



EDGE OF EXISTING WETLAND

PROPOSED REPLICATION AREA

UPLAND

SILT FENCE

EXISTING GRADE

3:1 SLOPE (LOAM AND SEED)

2'±

EXCAVATE TO 12"-18" BELOW ELEVATION OF ADJACENT WETLAND OR SEASONAL HIGH WATER TABLE

REPLACE WITH 6"-12" OF TOPSOIL STOCKPILED FROM LOST WETLAND AREAS SUPPLEMENTED 1:1 WITH MIXTURE OF HIGH QUALITY, LOAMY TOPSOIL AND LEAF MULCH COMPOST.

SEE PLANTING SCHEDULE FOR PROPOSED WETLAND SPECIES.
SEE CONSTRUCTION METHODS FOR HABITAT REPLACEMENT REQUIREMENTS.

INSTALL STAKE PERPENDICULAR TO SLOPE FACE

9" WATTLE

COMPACT EXCAVATED SOIL ON UPSLOPE SIDE

SET WATTLE IN A 2-3" DEEP TRENCH

INSTALL WITH 36" WIDE WOOD STAKES 12" DEEP, 4" O.C.

SILT FENCE (BURY 6")

AREA TO BE PROTECTED

CROSS SECTION

INSTALL STAKE PERPENDICULAR TO SLOPE FACE

9" WADDOLE

COMPACT EXCAVATED SOIL ON UPSLOPE SIDE

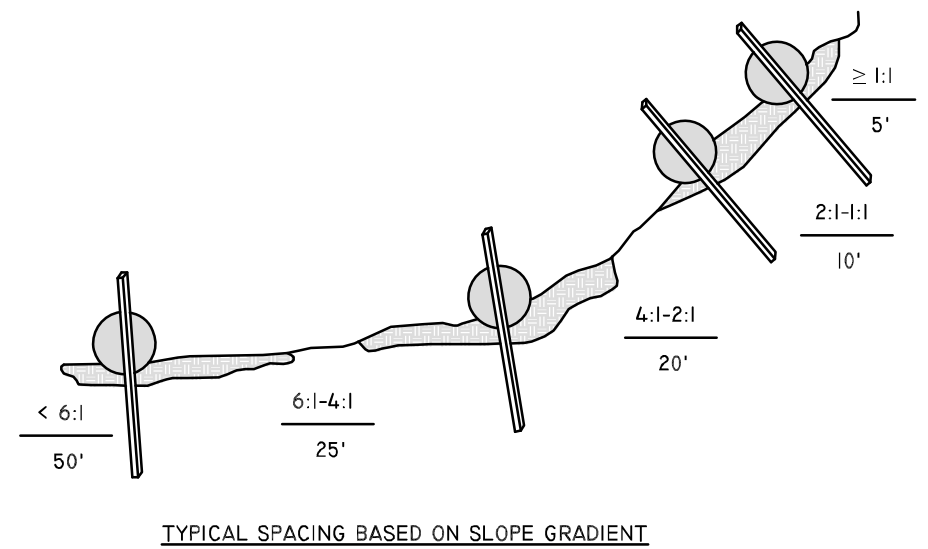
SET WATTLE IN A 2-3" DEEP TRENCH

INSTALL WITH 36" X1 WOOD STAKES 12" DEEP, 4'0" O.C.

SILT FENCE (BURY 6")

AREA TO BE PROTECTED

CROSS SECTION



1. BEGIN AT THE LOCATION WHERE WATTLE IS TO BE INSTALLED BY EXCAVATING 2-3" DEED x 9" WIDE TRENCH ALONG THE CONTOUR OF THE SLOPE. EXCAVATED SOIL SHOULD BE PLACED UP SLOPE FROM THE ANCHOR TRENCH.
2. PLACE THE WATTLE IN THE TRENCH SO THAT IT CONTOURS TO THE SOIL SURFACE. COMPACT SOIL FROM THE EXCAVATED TRENCH AGAINST THE WATTLE ON THE UPHILL SIDE. ADJACENT WATTLES SHOULD TIGHTLY ABUT.
3. SECURE THE WATTLE WITH 18-24" STAKES EVERY 3-4' AND WITH A STAKE ON EACH END. STAKES SHOULD BE DRIVEN THROUGH THE MIDDLE OF THE OF THE WATTLE LEAVING AT LEAST 2-3" OF STAKE EXTENDING ABOVE THE WATTLE. STAKES SHOULD BE DRIVEN PERPENDICULAR TO SLOPE FACE.
4. CONTRACTOR IS RESPONSIBLE TO MAINTAIN INTEGRITY OF STRAW WATTLE FOR DURATION OF CONSTRUCTION.
5. LOOSE HAY TO BE SPREAD ON AREAS OF EXPOSED LOAM & SEED UNTIL GERMINATION AND STABILIZATION OCCURS.

3. OWNER: DOIRE PROPERTIES LLC. - 1394 HARKNEY HILL ROAD, COVENTRY, RI 02816.
2. WETLAND DELINEATION BY ECOSYSTEM SOLUTIONS INC. ON 5-31-24.
3. SITE IS NOT WITHIN A FLOOD HAZARD ZONE AS SHOWN ON FIRM MAP 2502IC034IE, DATED 7/17/12.
4. SUITABLE ORGANIC SOILS SALVAGED FROM THE IMPACTED AREA AND/OR SALVAGED A HORIZON FROM UPLAND SOILS AND/OR A 1:1 MIX OF LOAM AND COMPOST MULCH ARE TO BE USED TO BRING THE CREATED WETLAND TO FINISHED GRADE. SOILS ARE TO BE APPROVED BY THE WETLAND SCIENTIST PRIOR TO PLACEMENT. PRIOR TO EXCAVATION OF THE REPLICATION AREA, THE WETLAND SCIENTIST SHALL DETERMINE AN APPROPRIATE FINAL ELEVATION FOR THE AREA BASED ON OBSERVED GROUNDWATER CONDITIONS WITHIN WETLAND AREAS ADJACENT TO THE PROPOSED REPLICATION AREA. THE REFERENCE ELEVATION SHALL BE MARKED IN THE FIELD TO AID IN THE CONSTRUCTION OF THE REPLICATION AREA. SOIL STOCKPILES WILL BE RINGED WITH SILT FENCE AND COVERED OR WATERED REGULARLY TO PREVENT DRYING OUT.
2. EROSION CONTROL WILL BE INSTALLED AS SHOWN ON THE PLAN. EROSION CONTROL TO BE INSPECTED PERIODICALLY OR AFTER SIGNIFICANT RAINFALL, AND REPAIRED OR REPLACED AS NECESSARY. THIS EROSION CONTROL SHALL REMAIN IN PLACE UNTIL ALL EXPOSED SOIL WITHIN AND ADJACENT TO THE REPLICATION AREA HAS BEEN STABILIZED. ONCE CONSTRUCTION IS COMPLETE AND ALL AREAS INCLUDING REPLICATION AREA IS STABILIZED, AND APPROVED BY THE CONSERVATION COMMISSION, THE EROSION CONTROL WILL BE REMOVED AND PROPERLY DISPOSED OF.
6. AREA OF DISTURBANCE WITHIN THE WETLAND: 568 SF.
AREA OF PROPOSED DISTURBANCE WITHIN 100 FOOT BUFFER ZONE: 9,374 SF.
AREA OF REPLICATION: 1,200 SF.
7. OWNER OR CONTRACTOR TO CONTACT DIGSAFE AT 1-888-344-7233 PRIOR TO START OF CONSTRUCTION.

ASSESSOR'S MAP 97 LOT 16
621 WRENTHAM ROAD
BELLINGHAM, MASSACHUSETTS

OWNER: APPLICANT: DOIRE PROPERTIES
1394 HARKNEY HILL ROAD, COVENTRY, RI 02816

JOB #
24-015

SCALE:
N/A

DRAWN BY:
LMB

DATE:
ECEMBER 6, 2024

REVISÉ: 2/12/25

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SHEET
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