

ZONING DISTRICT: SUBURBAN

NOTE (A): NO BUILDING OTHER THAN A MULTIFAMILY DWELLING NEED PROVIDE A FRONT YARD GREATER THAN THE AVERAGE OF ADJOINING FRONT YARDS. FOR MULTIFAMILY DWELLINGS, THE FRONT YARD IS TO BE NOT LESS THAN TWICE BUILDING HEIGHT, AND TO CONTAIN NO PARKING. CORNER AND THROUGH LOTS SHALL MAINTAIN FRONT YARD REQUIREMENTS FOR BOTH FRONTRAGES.

NOTE (D): NO OBSTRUCTION TO VISION BETWEEN THREE AND EIGHT FEET ABOVE THE PLANE THROUGH THE CURB GRADES SHALL BE PERMITTED WITHIN THE AREA FORMED BY THE LIENS INTERSECTING STREETS AND A LINE JOINING POINTS 20 FEET FORM THE POINT OF INTERSECTION OF STREET LINES OR STREET LINES EXTENDED.

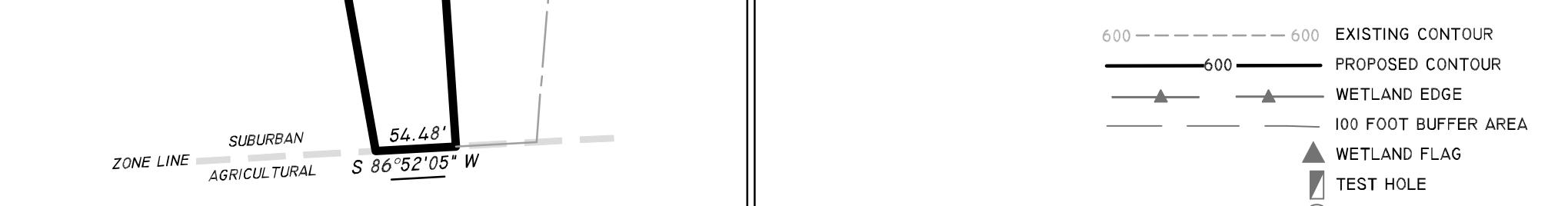
PLAN REFERENCES:

- I. PLAN OF LAND LOCATED ON WRENTHAM ROAD IN BELLINGHAM, MASSACHUSETTS (NORFOLK COUNTY) PREPARED FOR LAURENT & RONALD DALPE, 621 WRENTHAM ROAD, BELLINGHAM, MA 01604; DATED: MARCH 5, 2007; PREPARED BY: ODONE SURVEY & MAPPING; PLAN BOOK 566 PG 42.
2. SUBDIVISION FOR VIATEUR AND IRENE DALPE, BELLINGHAM, MASS.; DATED: MARCH, 1965; PREPARED BY: G. BERTRAND BIBEAULT; PLAN BOOK 4266 PG 496.
3. PLAN OF LAND IN WOONSOCKET, R.I. AND BELLINGHAM, MASS. OF BLACKSTONE VALLEY PARTNERS; DATED: FEB. 12, 1987; PREPARED BY: G. R. BRISDON; PLAN BOOK 351 PG 301.

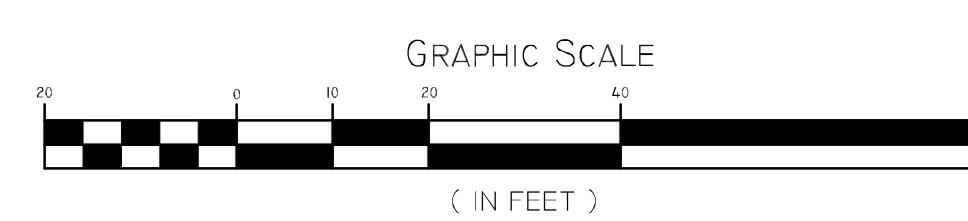
NOTE:

THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO THE FINDINGS SUCH A REPORT MIGHT DISCLOSE. PROPERTY LINES SHOWN ON THIS SURVEY/PLAT REPRESENT CURRENT PHYSICAL FIELD CONDITIONS AND EVIDENCE OF APPARENT POSSIBLE POSSESSION, ANY REFERENCES TO PUBLIC RECORDS HEREON REFLECTS TO THOSE RECORDS NECESSARY TO ESTABLISH THE BOUNDARIES SHOWN HEREON AND REFERENCE TO THE SAME DOES NOT, AND IS NOT INTENDED TO CONSTITUTE A TITLE SEARCH OR TITLE OPINION.

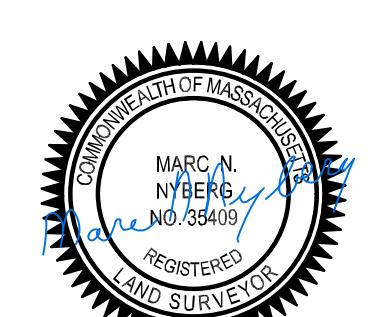
LEGEND



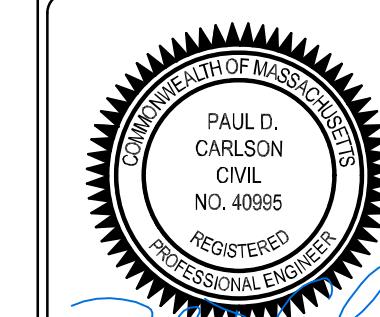
LOCUS MAP (SCALE: 1" = 100')



SITE PLAN



PROFESSIONAL SEAL



PROFESSIONAL SEA

ASSESSOR'S MAP 97 LOT 16
621 WRENTHAM ROAD
BELLEVILLE, MASSACHUSETTS

OWNER: APPLICANT: DOIRE PROPERTIES
HARKNEY HILL ROAD, COVENTRY, RI 02816

15 SCALE: 1"= 20' DRAWN BY: LMB DATE: DECEMBER 6, 2024

SHEET
1
OF 2

CONSTRUCTION METHODS AND SEQUENCE

THE TIMING OF THE CONSTRUCTION OF THE WETLAND REPPLICATION AREA WILL BE COORDINATED WITH THE CONSERVATION COMMISSION, DUE TO THE SEASONALITY OF WETLAND REPPLICATION CONSTRUCTION AND PLANTING. CONTACT INFORMATION FOR CONTRACTORS AND WETLAND CONSULTANTS WILL BE SUBMITTED TO THE CONSERVATION COMMISSION PRIOR TO THE START OF WORK.

1. EROSION CONTROL TO BE STAKED BY SURVEYOR FOR THE PROJECT INCLUDING DRIVEWAY CROSSING, SITE DEVELOPMENT, AND REPPLICATION AREA.
2. INSTALLATION OF EROSION CONTROL (MULCH SOCK AND SILT FENCE) BE PERFORMED AND INSPECTED BY DESIGN ENGINEER.
3. AREA TO BE CLEARED OF OUT OF BRUSH AND TREES.
4. DRIVEWAY AREA TO HAVE ALL UPLAND AND WETLAND SOILS STOCKPILED ONSITE SO SOIL MAY BE USED IN REPPLICATION AREA.
5. PROPOSED DRAINPIPES SHALL BE PLACED AT LOW POINTS THROUGHOUT THE CROSSING.
6. ASPHALT TO BE PLACED ON DRIVEWAY ONCE CROSSING HAS BEEN CONSTRUCTED TO PROPOSED GRADES AS SHOWN IN SITE PLAN.
7. REPPLICATION AREA TO BE CLEARED OF ALL VEGETATION AND HAULED OFF SITE.
8. THE AREA WILL BE EXCAVATED 6 IN BELOW TARGET GRADE. 2:1 OR SHALLOWER SLOPE AT THE LANDWARD EDGE OF THE AREA WILL BE CONSTRUCTED.
9. THE AREA WILL BE SPREAD WITH 6-12 INCHES OF ORGANIC TOPSOIL, FREE OF INVASIVE SEEDS.
10. TREES WILL BE PLANTED AT 15-20FT O.C., AND SHRUBS WILL BE PLANTED 10FT O.C.
- II. AFTER THE INSTALLATION OF WOODY PLANTINGS, THE AREA WILL BE SPREAD WITH NEW ENGLAND WETLAND SEED MIX, AT A RATE OF 1 LB./2500 SQ. FT.
12. IF ANY OF THE PROPOSED VEGETATION IS NOT AVAILABLE, SUBSTITUTIONS WILL BE RECOMMENDED AND PROVIDED BY CONSERVATION AGENT PRIOR TO PLANTING APPROVAL.
13. WETLAND PLANTS WILL BE MONITORED AFTER PLANTING, REFER TO ORDER OF CONDITIONS FOR FURTHER DETAIL...

REPLICATION AREA PLANTING PLAN

RED MAPLE (ACER RUBRUM)
3" CALIPER SIZE
20' ON CENTER

TUSSOCK SEDGE (CAREX STRICTO)
1" PLUG
5' ON CENTER

FRINGED SEDGE (CAREX CRINTA)
1" PLUG
5' ON CENTER

CINNAMON FERN

Highbush Blueberry (VACCINIUM CORYMBOSUM)
3 GALLON
10' ON CENTER

NEW ENGLAND WETMIX
1 LB/2,500 SF

SOIL EVALUATION DATA

DATE: 9-25-24
PERFORMED BY: MICHAEL FARIA - SE708
WITNESSED BY: STEVE DONATELLI

TH 1
0"-6" AO, GSL, 10 YR 3/3
6"-30" BW, GSL, 10 YR 4/6
30"-120" C, GSL, 10 YR 6/1
WATER AT 48"
NO LEDGE AT 120"

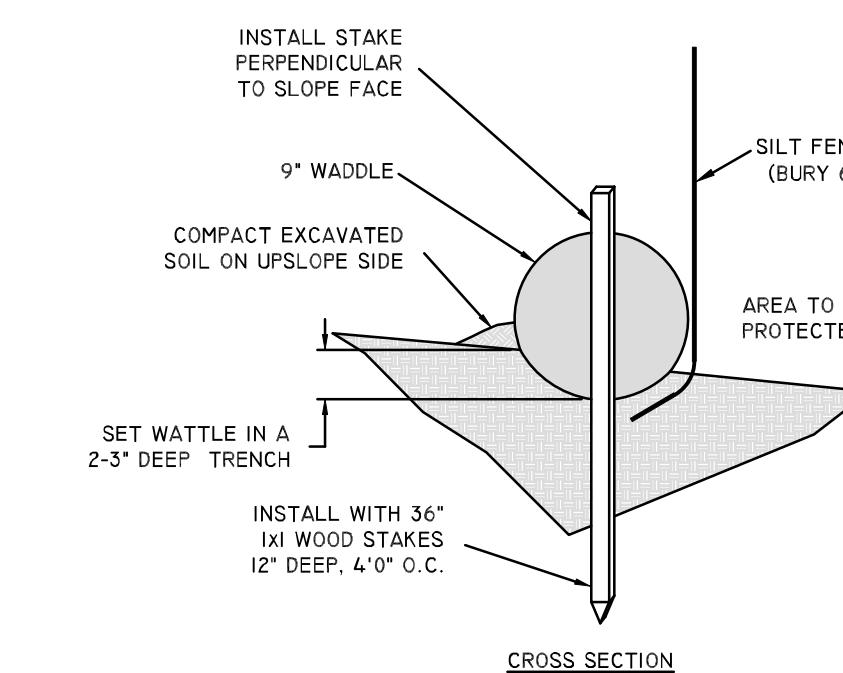
TH 2
0"-6" AO, GSL, 10 YR 3/3
6"-30" BW, GSL, 10 YR 4/6
30"-120" C, GSL, 10 YR 6/1
WATER AT 48"
NO LEDGE AT 120"

TH 3
0"-6" AO, GSL, 10 YR 3/3
6"-30" BW, GSL, 10 YR 4/6
30"-120" C, GSL, 10 YR 6/1
WATER AT 48"
NO LEDGE AT 120"

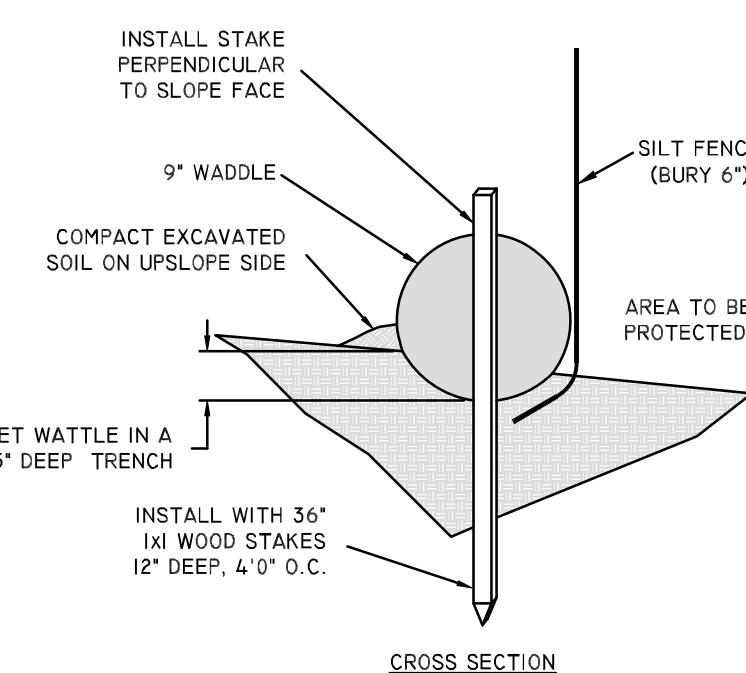
TH 4
0"-6" AO, GSL, 10 YR 3/3
6"-30" BW, GSL, 10 YR 4/6
30"-120" C, GSL, 10 YR 6/1
WATER AT 48"
NO LEDGE AT 120"

PERC I: 54" 8 MPI
PERC 2: 42" 17 MPI

STRAW WATTLE (OR SILT SOCK) DETAIL NOT TO SCALE



REPLICATION AREA STRAW WATTLE (OR SILT SOCK) WITH SILT FENCE DETAIL NOT TO SCALE



MONITORING PLAN

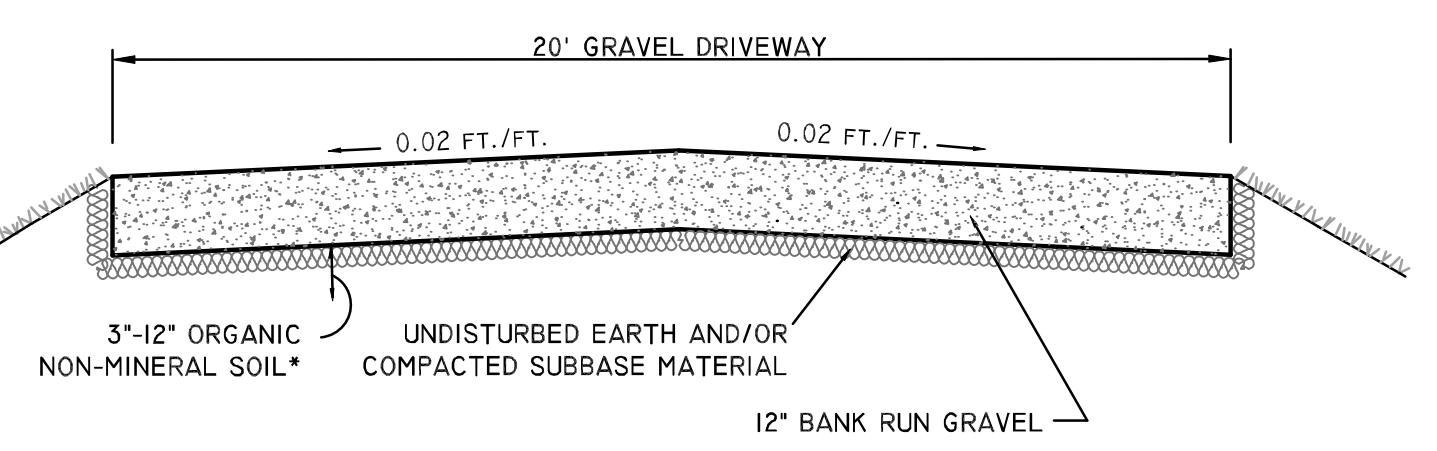
AFTER THE REPPLICATION AREA IS COMPLETE, THE APPLICANT SHALL SUBMIT A YEARLY REPORT TO THE CONSERVATION COMMISSION INDICATING THE STATUS OF THE REPPLICATION AREA. THESE REPORTS WILL INCLUDE COLORED PHOTOGRAPHS FROM ESTABLISHED REFERENCE POINTS, THE PERCENT COVER AND SPECIES TYPE PLANTED, AND THE PERCENT SURVIVAL FOR PLANTED TREES AND SHRUBS. WETLAND HYDROLOGY SHALL BE OBSERVED DURING THE SPRING AND FALL FOR THE FIRST TWO (2) YEARS AND REPRESENTATIVE PHOTOS TAKEN AT THESE TIMES.

1. THE REPPLICATION AREA SHALL BE MONITORED BY A QUALIFIED WETLAND SCIENTIST FOR TWO (2) FULL GROWING SEASONS TO ESTABLISH THE EFFECTIVENESS OF THE REPPLICATION.
2. WETLAND HYDROLOGY SHALL BE OBSERVED DURING FALL FOR THE FIRST TWO (2) YEARS AND REPRESENTATIVE PHOTOS TAKEN AT THESE TIMES.
3. THE PERCENTAGE COVER AND SPECIES TYPE SHALL BE RECORDED.
4. THE PERCENTAGE SURVIVAL FOR PLANTED TREES AND SHRUBS SHALL BE CALCULATED.
5. THE APPLICANT SHALL MONITOR, AND AS WARRANTED, MANAGE INVASIVE SPECIES IN THE REPPLICATION AREA.
6. THE APPLICANT SHALL CUT HERBACEOUS VEGETATION IMMEDIATELY AROUND SHRUBS THAT MAY BE SHADING THEM IN AN EXCESSIVE MANNER, INHIBITING THEIR GROWTH, OR EVEN ENDANGERING THE PLANT'S SURVIVAL.
7. MONITORING REPORTS SHALL BE SUBMITTED AT THE END OF THE FIRST TWO (2) GROWING SEASONS, TYPICALLY IN OCTOBER OR NOVEMBER.
8. IF THE REPPLICATION AREA DOES NOT MEET THE PERFORMANCE STANDARDS STATED IN 310 CMR 10.55(4)(B), THEN ANOTHER YEAR OF MONITORING SHALL BE REQUIRED, AND CONDITIONS ASSESSED AGAIN AT THAT TIME. THIS SHALL CONTINUE UNTIL THE REPPLICATION COMPLIES WITH THE PERFORMANCE STANDARDS STATED IN 310 CMR 10.55(4).
9. UPON THE COMPLETION OF THE PROJECT AND WHEN ALL EXPOSED SOILS ARE STABLE AND WELL-VEGETATED, EROSION CONTROL DEVICES SHALL BE REMOVED AND DISPOSED OF OFFSITE IN AN APPROPRIATE MANNER.

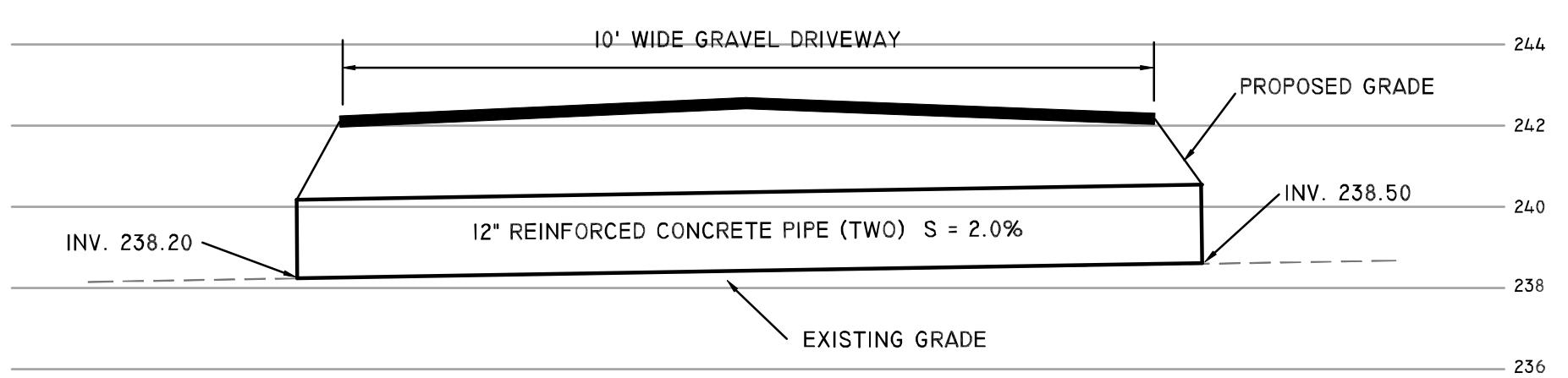
GENERAL NOTES

1. OWNER: DOIRE PROPERTIES LLC. - 1394 HARKNEY HILL ROAD, COVENTRY, RI 02816.
2. WETLAND DELINEATION BY ECOSYSTEM SOLUTIONS INC. ON 5-31-24.
3. SITE IS NOT WITHIN A FLOOD HAZARD ZONE AS SHOWN ON FIRM MAP 2502IC0314E, DATED 7/17/22.
4. SUITABLE ORGANIC SOILS SALVAGED FROM THE IMPACTED AREA AND/OR SALVAGED A HORIZON FROM UPLAND SOILS AND/OR A 1:1 MIX OF LOAM AND COMPOST MULCH ARE TO BE USED TO BRING THE CREATED WETLAND TO FINISHED GRADE. SOILS ARE TO BE APPROVED BY THE WETLAND SCIENTIST PRIOR TO PLACEMENT. PRIOR TO EXCAVATION OF THE REPPLICATION AREA, THE WETLAND SCIENTIST SHALL DETERMINE AN APPROPRIATE FINAL ELEVATION FOR THE AREA BASED ON OBSERVED GROUNDWATER CONDITIONS WITHIN WETLAND AREAS ADJACENT TO THE PROPOSED REPPLICATION AREA. THE REFERENCE ELEVATION SHALL BE MARKED IN THE FIELD TO AID IN THE CONSTRUCTION OF THE REPPLICATION AREA. SOIL STOCKPILES WILL BE RINGED WITH SILT FENCE AND COVERED OR WATERED REGULARLY TO PREVENT DRYING OUT.
5. EROSION CONTROL WILL BE INSTALLED AS SHOWN ON THE PLAN. EROSION CONTROL TO BE INSPECTED PERIODICALLY OR AFTER SIGNIFICANT RAINFALL, AND REPAIRED OR REPLACED AS NECESSARY. THIS EROSION CONTROL SHALL REMAIN IN PLACE UNTIL ALL EXPOSED SOIL WITHIN AND ADJACENT TO THE REPPLICATION AREA HAS BEEN STABILIZED. ONCE CONSTRUCTION IS COMPLETE AND ALL AREAS INCLUDING REPPLICATION AREA IS STABILIZED, AND APPROVED BY THE CONSERVATION COMMISSION, THE EROSION CONTROL WILL BE REMOVED AND PROPERLY DISPOSED OF.
6. AREA OF DISTURBANCE WITHIN THE WETLAND: 588 SF.
7. OWNER OR CONTRACTOR TO CONTACT DIGSAFE AT 1-888-344-7233 PRIOR TO START OF CONSTRUCTION.

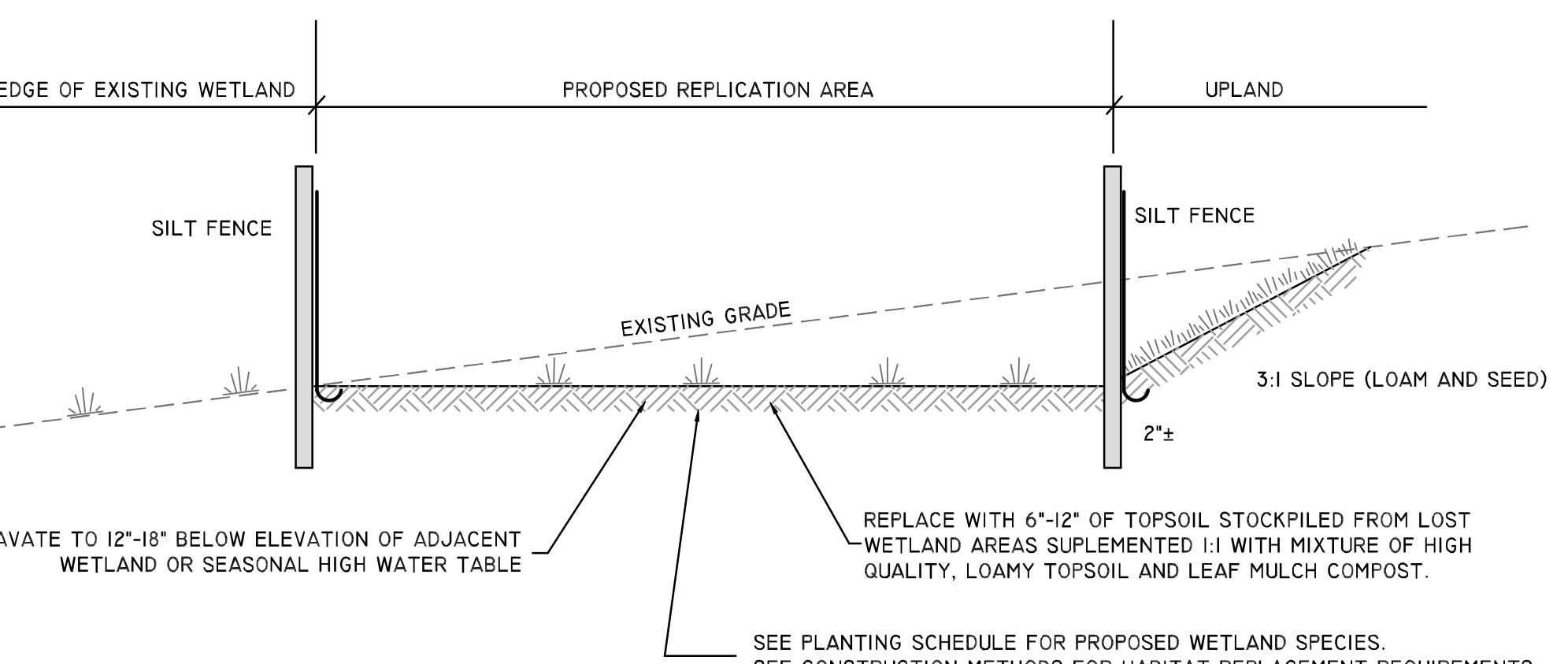
DRIVEWAY DETAIL NOT TO SCALE



DRIVEWAY CROSS-SECTION NOT TO SCALE



WETLAND REPPLICATION DETAIL NOT TO SCALE



STRAW WATTLE NOTES

1. BEGIN AT THE LOCATION WHERE WATTLE IS TO BE INSTALLED BY EXCAVATING 2-3" DEED x 9" WIDE TRENCH ALONG THE CONTOUR OF THE SLOPE. EXCAVATED SOIL SHOULD BE PLACED UP SLOPE FROM THE ANCHOR TRENCH.
2. PLACE THE WATTLE IN THE TRENCH SO THAT IT CONTOURS TO THE SOIL SURFACE. COMPACT SOIL FROM THE EXCAVATED TRENCH AGAINST THE WATTLE ON THE UPHILL SIDE. ADJACENT WATTERLS SHOULD TIGHTLY ABUT.
3. SECURE THE WATTLE WITH 18-24" STAKES EVERY 3-4' AND WITH A STAKE ON EACH END. STAKES SHOULD BE DRIVEN THROUGH THE MIDDLE OF THE WATTLE LEAVING AT LEAST 2-3" OF STAKE EXTENDING ABOVE THE WATTLE. STAKES SHOULD BE DRIVEN PERPENDICULAR TO SLOPE FACE.
4. CONTRACTOR IS RESPONSIBLE TO MAINTAIN INTEGRITY OF STRAW WATTLE FOR DURATION OF CONSTRUCTION.
5. LOOSE HAY TO BE SPREAD ON AREAS OF EXPOSED LOAM & SEED UNTIL GERMINATION AND STABILIZATION OCCURS.

		DETAIL SHEET		
		ASSESSOR'S MAP 97 LOT 16 621 WRENTHAM ROAD BELLINGHAM, MASSACHUSETTS OWNER: APPLICANT: DOIRE PROPERTIES 1394 HARKNEY HILL ROAD, COVENTRY, RI 02816 Job # 24-015 Scale: N/A Drawn By: LMB Date: DECEMBER 6, 2024 Revised: 2/12/25		
		InSite Professional Services, LLC 1539 Fall River Avenue, Seekonk, MA 02771 Phone: (508) 336-4500 Fax: (508) 336-4558 501 Great Road, Unit 104 North Smithfield, RI 02896 Web Address: InSiteEngineers.com		
		SHEET 2 OF 2		