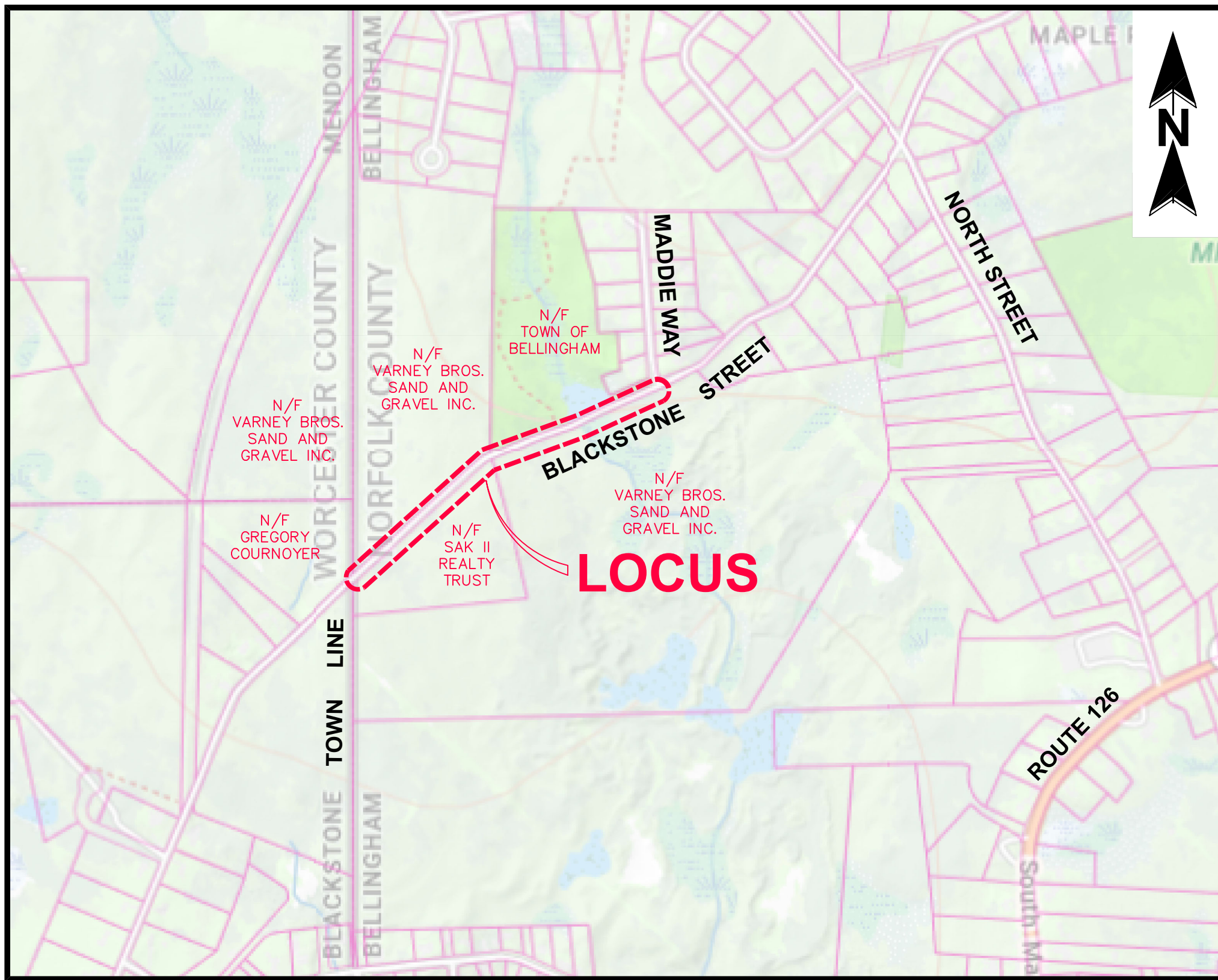


Blackstone Street Improvements

in

Bellingham, Massachusetts

PLAN INDEX	
TITLE	SHEET
COVER SHEET	C-1
SITE INDEX PLAN (1"=100')	C-2
EXISTING CONDITIONS PLANS (1"=40')	C-3-C4
PLAN AND PROFILES (1"=30')	C5-C7
STORMWATER BASINS (1=40')	C8-C9
CONSTRUCTION DETAILS	C10-C11
WETLAND RELICATION PLAN	C12
EROSION AND SEDIMENT CONTROL PLANS	C13-C14



LOCUS MAP
1"=800'

PREPARED BY:



**ALLEN ENGINEERING
& ASSOCIATES, INC.**

Civil Engineers • Surveyors
Land Development Consultants

140 Hartford Avenue East
Hopedale, Ma 01747
(508) 381-3212 • www.allen-ea.com

February 14, 2025

Revisions			
NO.	DATE	DESCRIPTION	BY
1	6-20-25	ROADWAY AND DRAINAGE	MJD
2	10-31-25	PER PEER REVIEW	MJD

Owners:

Varney Bros Sand
and Gravel, Inc.

79 Hartford Street
Bellingham, MA 02019
(Map 62, Parcels 1 and 5)

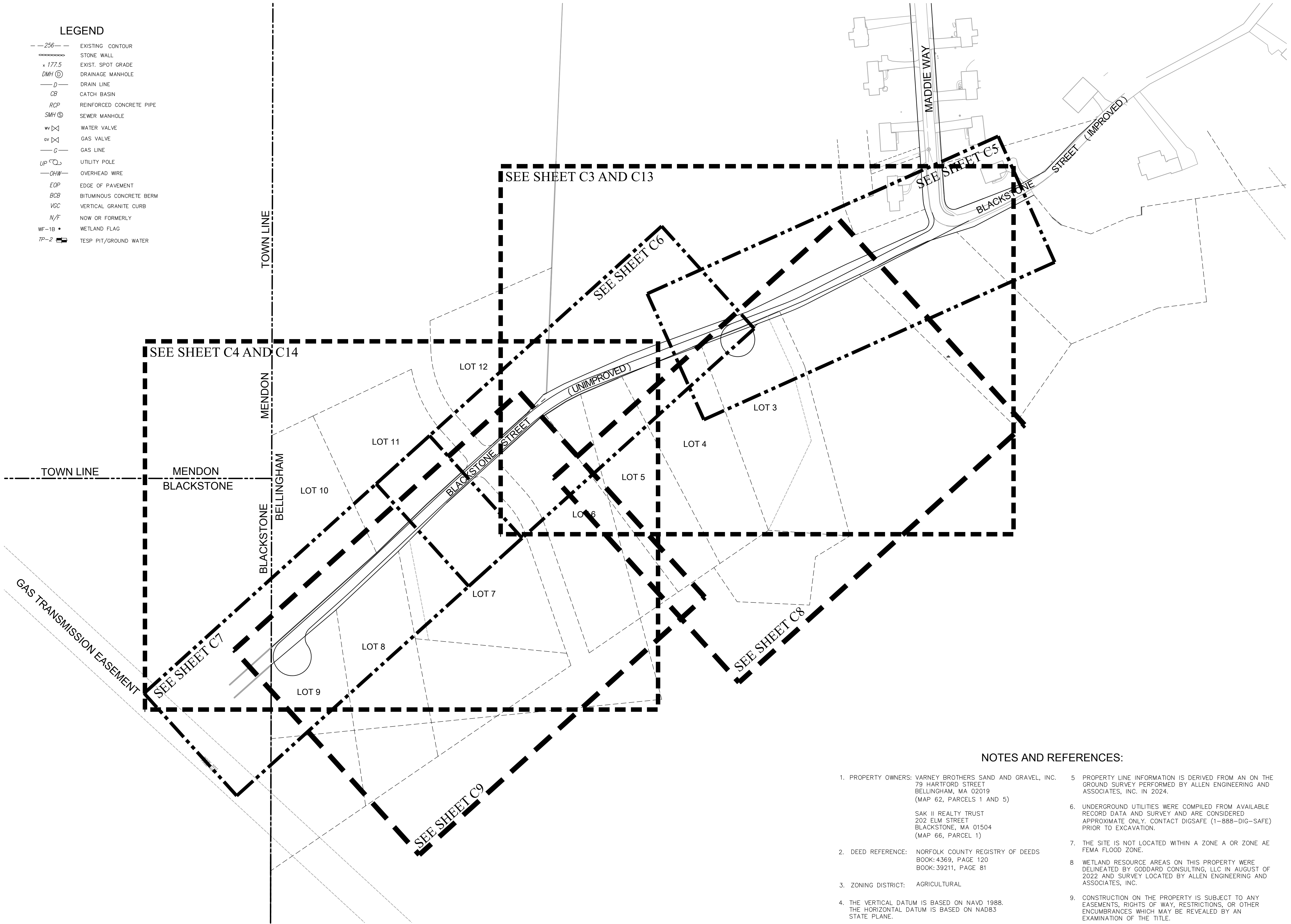
SAK II Realty Trust
202 Elm Street
Blackstone, MA 01504
(Map 66, Parcel 1)

Proponent:

Wall Street
Development Corp.
P.O. Box 272
Westwood, MA 02090

LEGEND

- 256— EXISTING CONTOUR
STONE WALL
x 177.5 EXIST. SPOT GRADE
DMH (D) DRAINAGE MANHOLE
—D— DRAIN LINE
CB CATCH BASIN
RCP REINFORCED CONCRETE PIPE
SMH (S) SEWER MANHOLE
wv (X) WATER VALVE
gv (X) GAS VALVE
—G— GAS LINE
UP (O) UTILITY POLE
—OHW— OVERHEAD WIRE
EOP EDGE OF PAVEMENT
BCB BITUMINOUS CONCRETE BERM
VGC VERTICAL GRANITE CURB
N/F NOW OR FORMERLY
WF-1B (•) WETLAND FLAG
TP-2 (■) TESP PIT/GROUND WATER



NOTES AND REFERENCES:

- PROPERTY OWNERS: VARNEY BROTHERS SAND AND GRAVEL, INC.
79 HARTFORD STREET
BELLINGHAM, MA 02019
(MAP 62, PARCELS 1 AND 5)

SAK II REALTY TRUST
202 ELM STREET
BLACKSTONE, MA 01504
(MAP 66, PARCEL 1)
- DEED REFERENCE: NORFOLK COUNTY REGISTRY OF DEEDS
BOOK: 4369, PAGE 120
BOOK: 39211, PAGE 81
- ZONING DISTRICT: AGRICULTURAL
- THE VERTICAL DATUM IS BASED ON NAVD 1988.
THE HORIZONTAL DATUM IS BASED ON NAD83
STATE PLANE.
- PROPERTY LINE INFORMATION IS DERIVED FROM AN ON THE
GROUND SURVEY PERFORMED BY ALLEN ENGINEERING AND
ASSOCIATES, INC. IN 2024.
- UNDERGROUND UTILITIES WERE COMPILED FROM AVAILABLE
RECORD DATA AND SURVEY AND ARE CONSIDERED
APPROXIMATE ONLY. CONTACT DIGSAFE (1-888-DIG-SAFE)
PRIOR TO EXCAVATION.
- THE SITE IS NOT LOCATED WITHIN A ZONE A OR ZONE AE
FEMA FLOOD ZONE.
- WETLAND RESOURCE AREAS ON THIS PROPERTY WERE
DELINEATED BY GODDARD CONSULTING, LLC IN AUGUST OF
2022 AND SURVEY LOCATED BY ALLEN ENGINEERING AND
ASSOCIATES, INC.
- CONSTRUCTION ON THE PROPERTY IS SUBJECT TO ANY
EASEMENTS, RIGHTS OF WAY, RESTRICTIONS, OR OTHER
ENCUMBRANCES WHICH MAY BE REVEALED BY AN
EXAMINATION OF THE TITLE.



OWNERS:

Varney Bros Sand and
Gravel, Inc.
79 Hartford Street
Bellingham, MA 02019

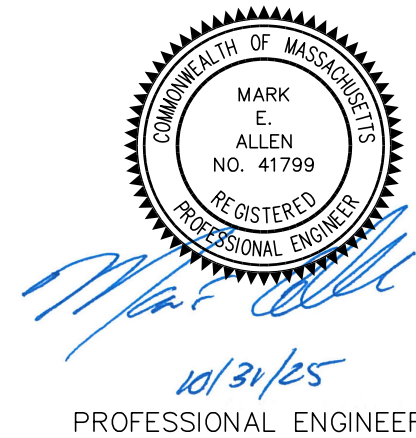
SAK II Realty Trust
202 Elm Street
Blackstone, MA 01504

APPLICANT:

Wall Street
Development Corp.
P.O. Box 272
Westwood, MA 02090

TITLE:

SITE
INDEX MAP
for
Blackstone Street
Improvements
Bellingham, MA



PREPARED BY:



ALLEN ENGINEERING
& ASSOCIATES

Civil Engineers • Surveyors
Land Development Consultants

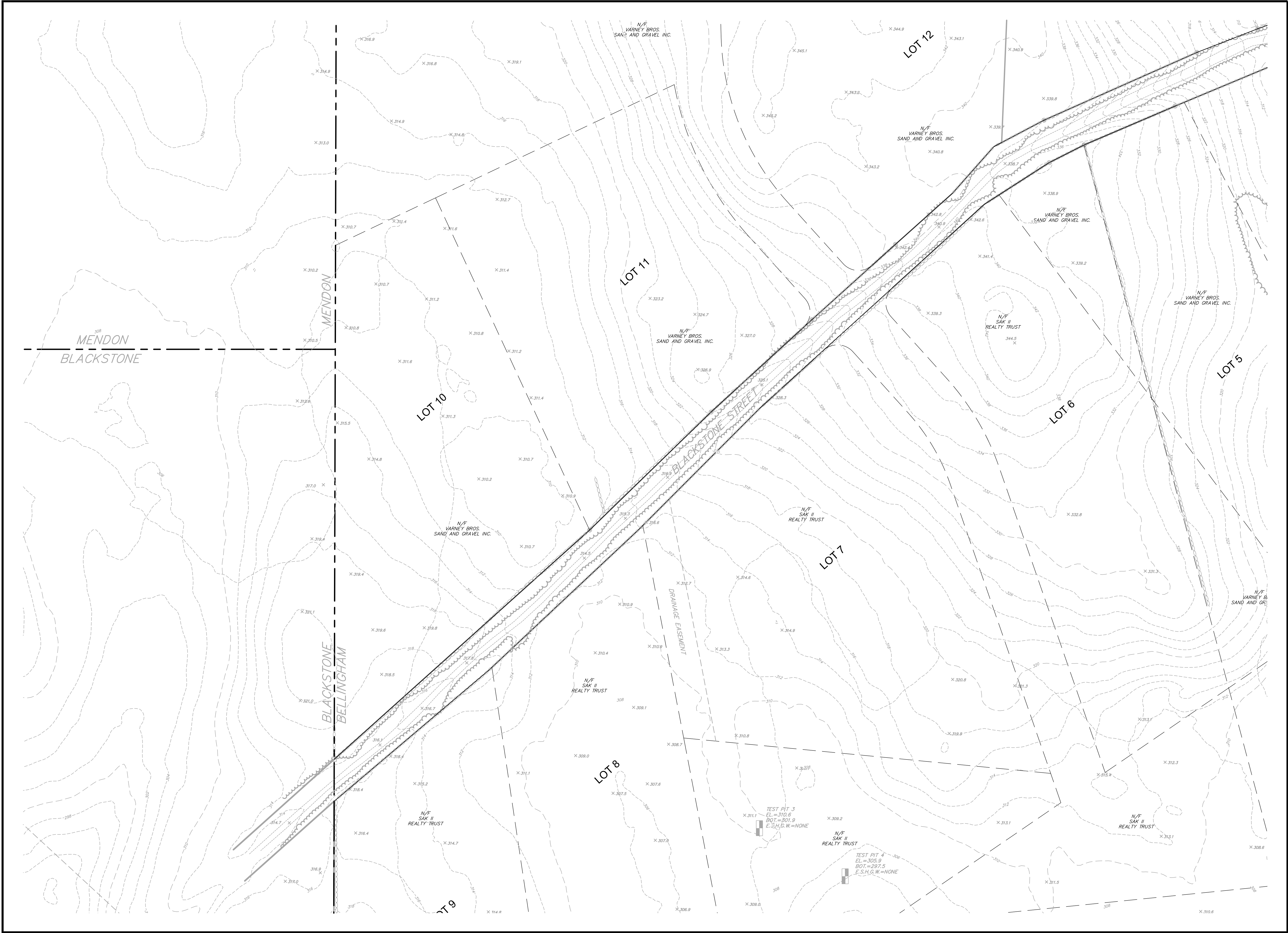
140 Hartford Avenue East
Hopedale, Ma 01747
(508) 381-3212 • www.allen-ea.com

SCALE: 1"=100 FEET
0 100 200 300

DATE: February 14, 2025

REVISIONS			
#	DATE	DESCRIPTION	INIT
1	6-20-25	ROADWAY AND DRAINAGE	MJD
2	10-31-25	PER PEER REVIEW	MJD

JOB NO: 00454
SHEET: C-2



OWNERS:

Varney Bros Sand and Gravel, Inc.
79 Hartford Street
Bellingham, MA 02019

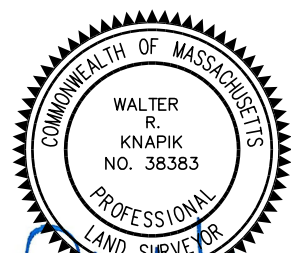
SAK II Realty Trust
202 Elm Street
Blackstone, MA 01504

APPLICANT:

Wall Street Development Corp.
P.O. Box 272
Westwood, MA 02090

TITLE:

EXISTING
CONDITIONS
PLAN
for
Blackstone Street
Improvements
Bellingham, MA



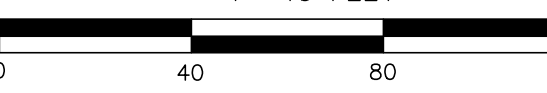
W. Knapik
10.31.2025

PROFESSIONAL LAND SURVEYOR

PREPARED BY:


**ALLEN ENGINEERING
& ASSOCIATES**
Civil Engineers · Surveyors
Land Development Consultants
140 Hartford Avenue East
Hopdale, Ma 01747
(508) 381-3212 · www.allen-ea.com

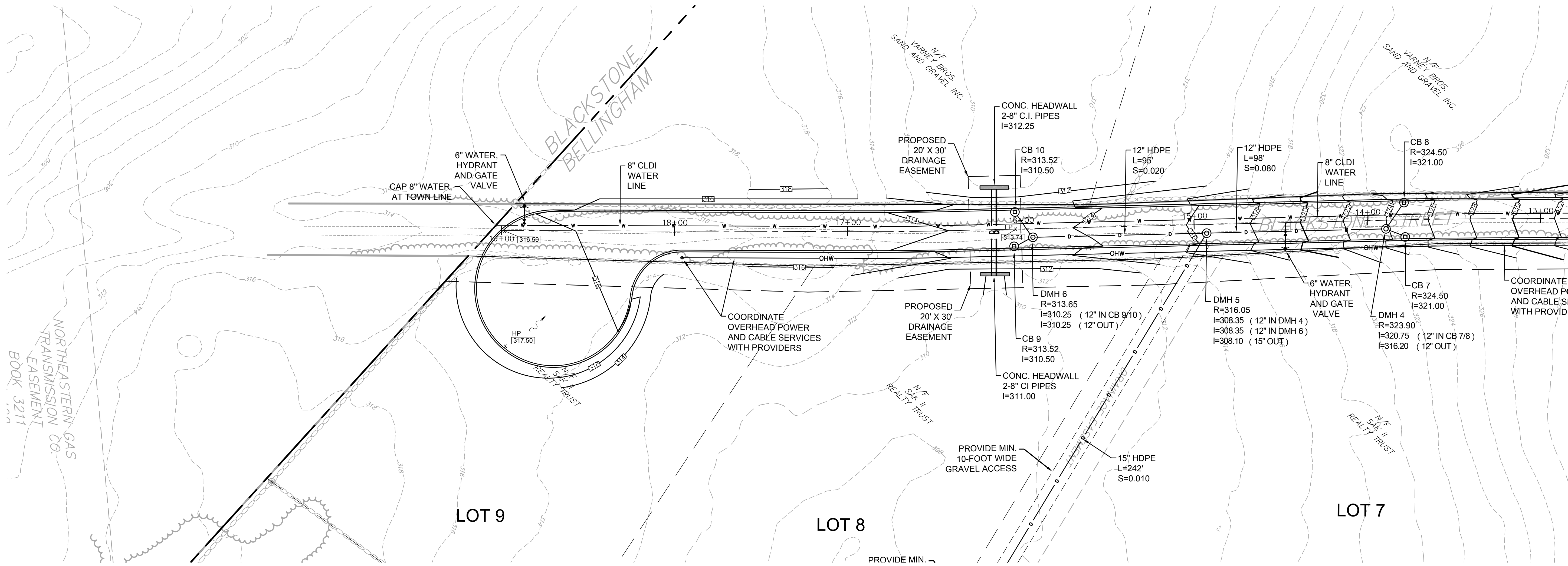
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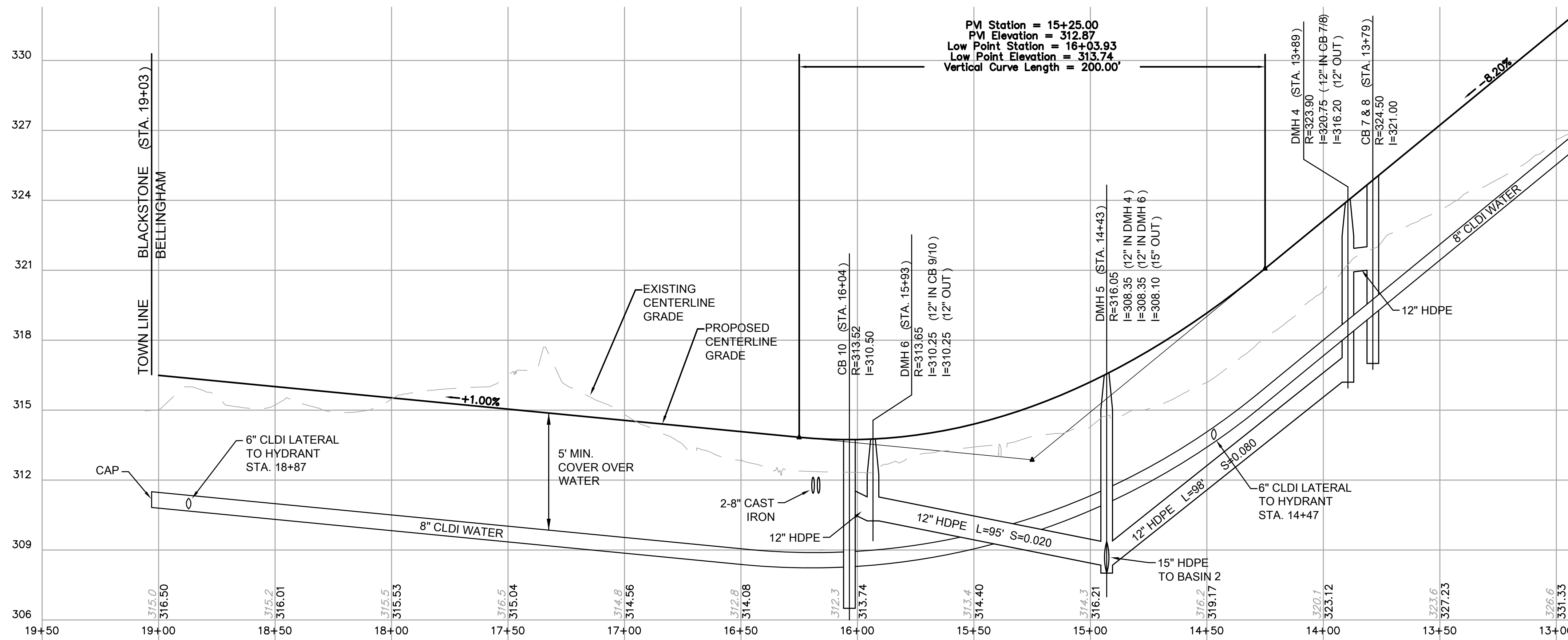
DATE: February 14, 2025

REVISIONS			
#	DATE	DESCRIPTION	INIT
1	6-20-25	ROADWAY AND DRAINAGE	MJD
2	10-31-25	PER PEER REVIEW	MJD

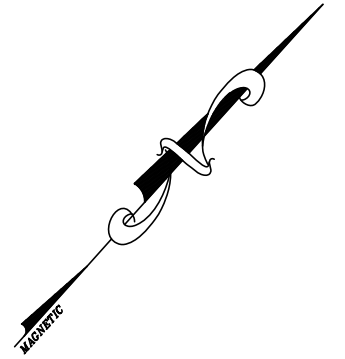
JOB NO: 00454 SHEET: C-4



PLAN VIEW
1" = 30'



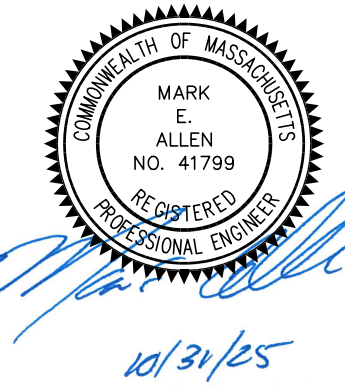
PROFILE VIEW
1" = 30' (HORZ.) 1" = 3' (VERT.)



OWNERS:
Varney Bros Sand and Gravel, Inc.
79 Hartford Street
Bellingham, MA 02019
SAK II Realty Trust
202 Elm Street
Blackstone, MA 01504

APPLICANT:
Wall Street Development Corp.
P.O. Box 272
Westwood, MA 02090

TITLE:
PLAN AND PROFILE
for
Blackstone Street Improvements
Bellingham, MA



PROFESSIONAL ENGINEER
PREPARED BY:



ALLEN ENGINEERING & ASSOCIATES
Civil Engineers • Surveyors
Land Development Consultants
140 Hartford Avenue East
Hopedale, Ma 01747
(508) 381-3212 • www.allen-ea.com

SCALE: 1" = 30' FEET
0 30 60 90

DATE: **February 14, 2025**

REVISIONS			
#	DATE	DESCRIPTION	INIT
1	6-20-25	ROADWAY AND DRAINAGE	MJD
2	10-31-25	PER PEER REVIEW	MJD

JOB NO: 00454 SHEET: **C-7**

ELEV. (FT)		DEPTH (IN)
TOP=289.6		0"
	Ap TOP SOIL	0-8"
	Bw SUBSOIL	8-31"
	C LOAMY SAND	
BOT= 279.7		31-120"

ELEV. (FT) TOP=283.8		DEPTH (IN) 0"
	Ap TOP SOIL	0-8"
	Bw SUBSOIL	8-24"
	C LOAMY SAND	24-119"
BOT= 273.8		

ELEV. (FT) TOP=281.6	Ap TOP SOIL	DEPTH (IN) 0"
	Bw SUBSOIL	0-9"
SHGW=274.9	 C LOAMY SAND	9-29"
BOT= 271.5		29-121"

REFUSAL = NONE

SOIL LOG (TP-2A)

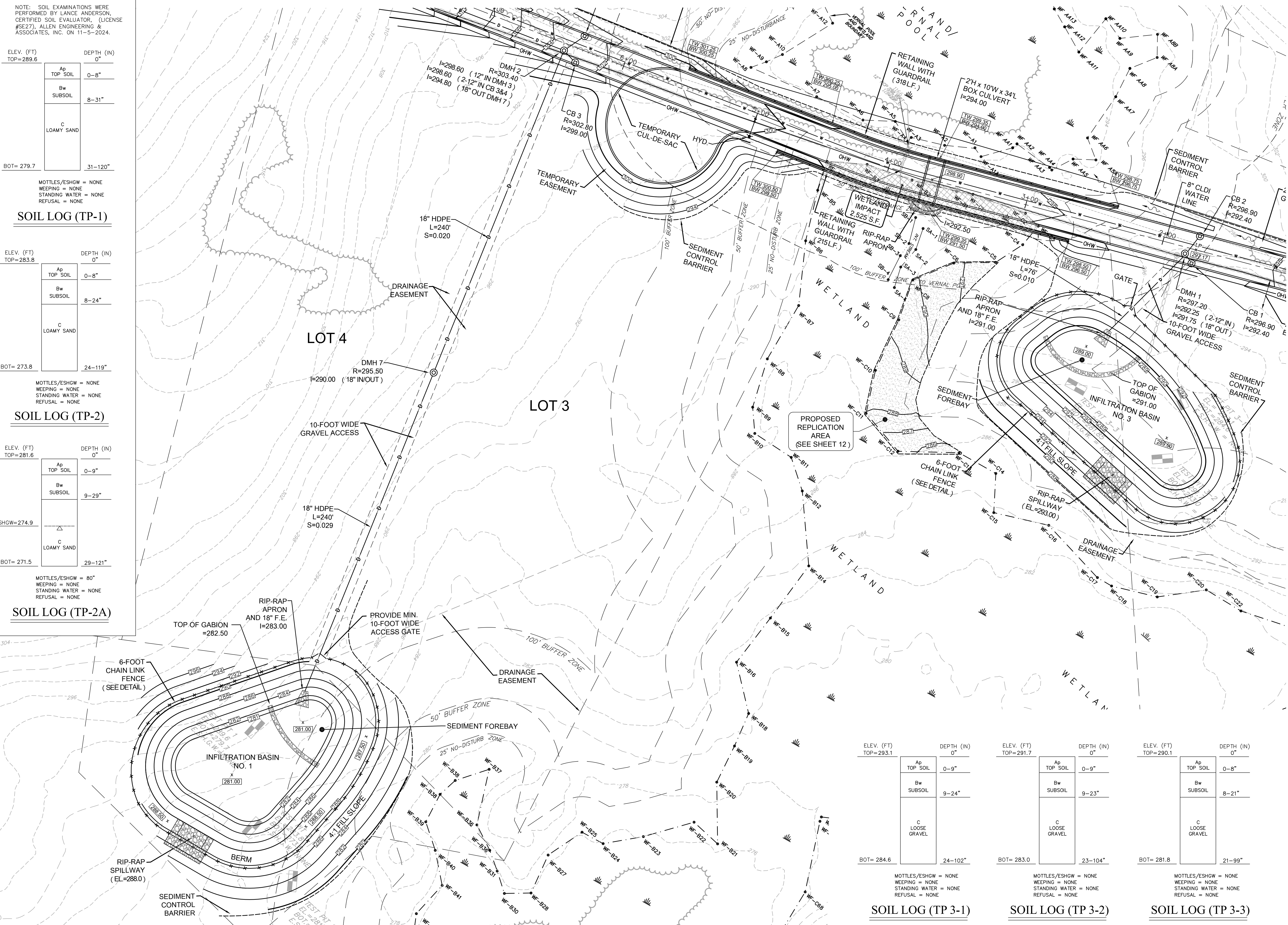
304-

CH

(SE

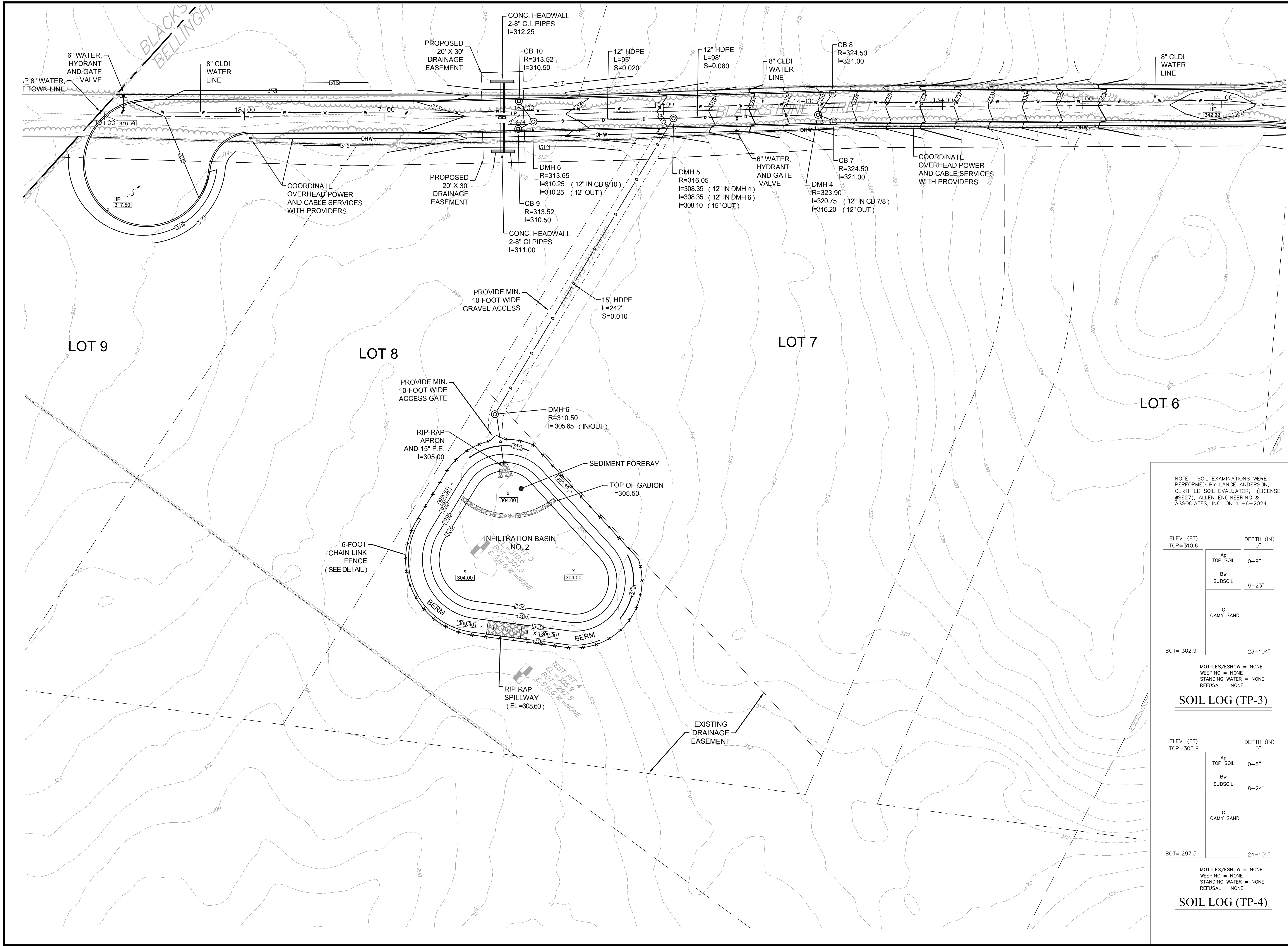
296-

S



SOIL LOG (TP 3-3)

SHEET: C-8



NOTE: SOIL EXAMINATIONS WERE PERFORMED BY LANCE ANDERSON, CERTIFIED SOIL EVALUATOR, (LICENSE #5E27), ALLEN ENGINEERING & ASSOCIATES, INC. ON 11-6-2024.

ELEV. (FT)	DEPTH (IN)
TOP=310.6	0"
Ap TOP SOIL	0-9"
Bw SUBSOIL	9-23"
C LOAMY SAND	23-104"
BOT= 302.9	

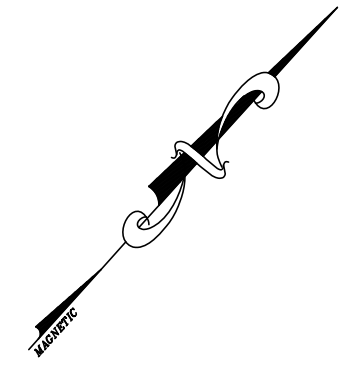
MOTTLES/ESHW = NONE
WEEDING = NONE
STANDING WATER = NONE
REFUSAL = NONE

SOIL LOG (TP-3)

ELEV. (FT)	DEPTH (IN)
TOP=305.9	0"
Ap TOP SOIL	0-8"
Bw SUBSOIL	8-24"
C LOAMY SAND	24-101"
BOT= 297.5	

MOTTLES/ESHW = NONE
WEEDING = NONE
STANDING WATER = NONE
REFUSAL = NONE

SOIL LOG (TP-4)



OWNERS:
Varney Bros Sand and Gravel, Inc.
79 Hartford Street
Bellingham, MA 02019
SAK II Realty Trust
202 Elm Street
Blackstone, MA 01504

APPLICANT:
Wall Street Development Corp.
P.O. Box 272
Westwood, MA 02090

TITLE:
STORMWATER BASIN NUMBER 2
for
Blackstone Street Improvements
Bellingham, MA



PREPARED BY:

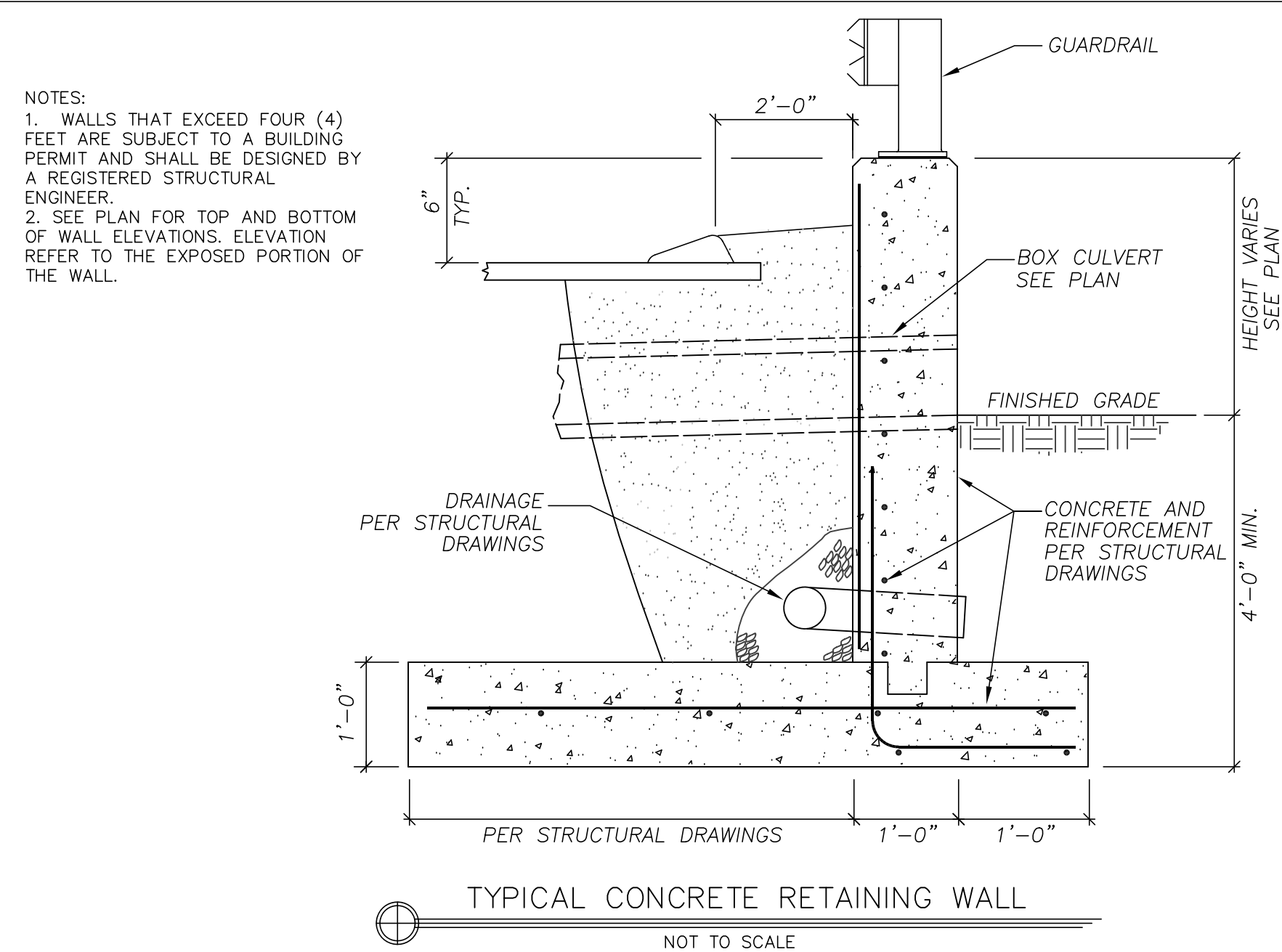
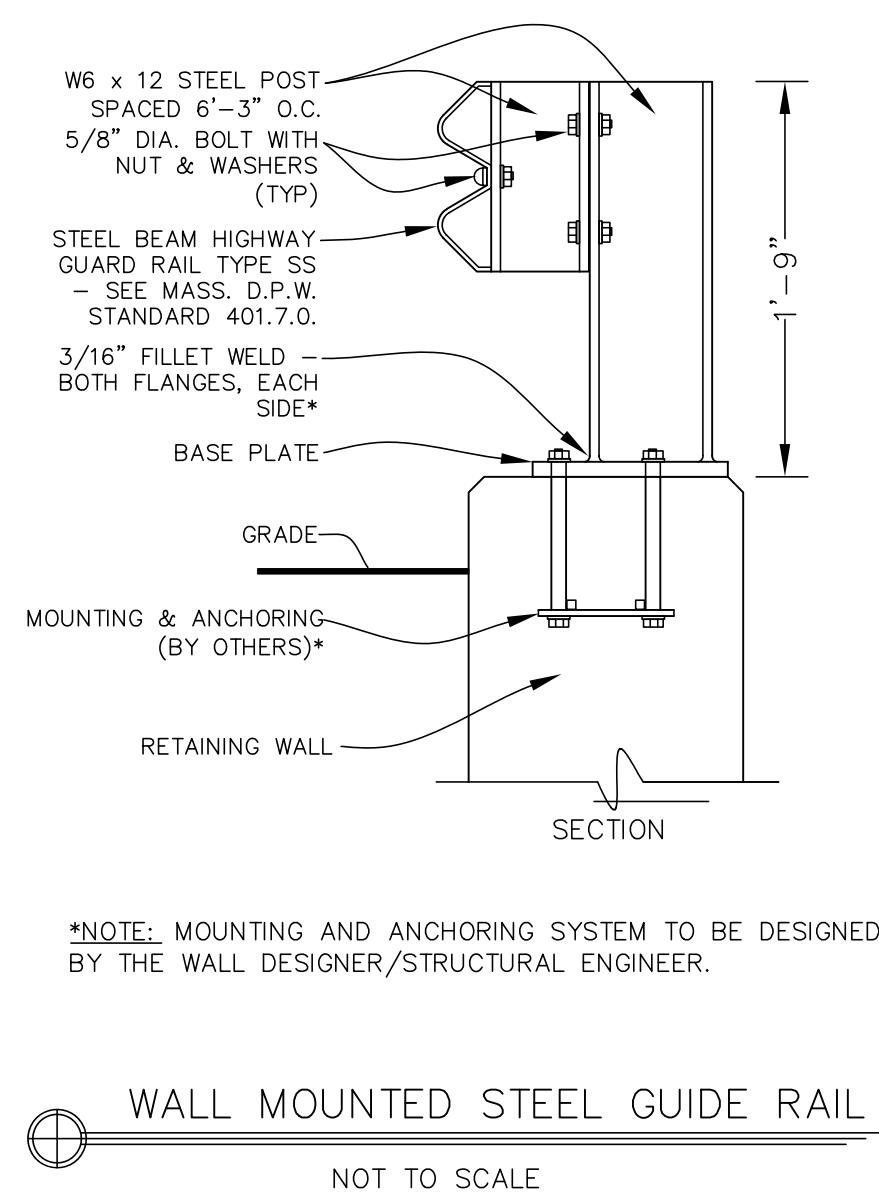
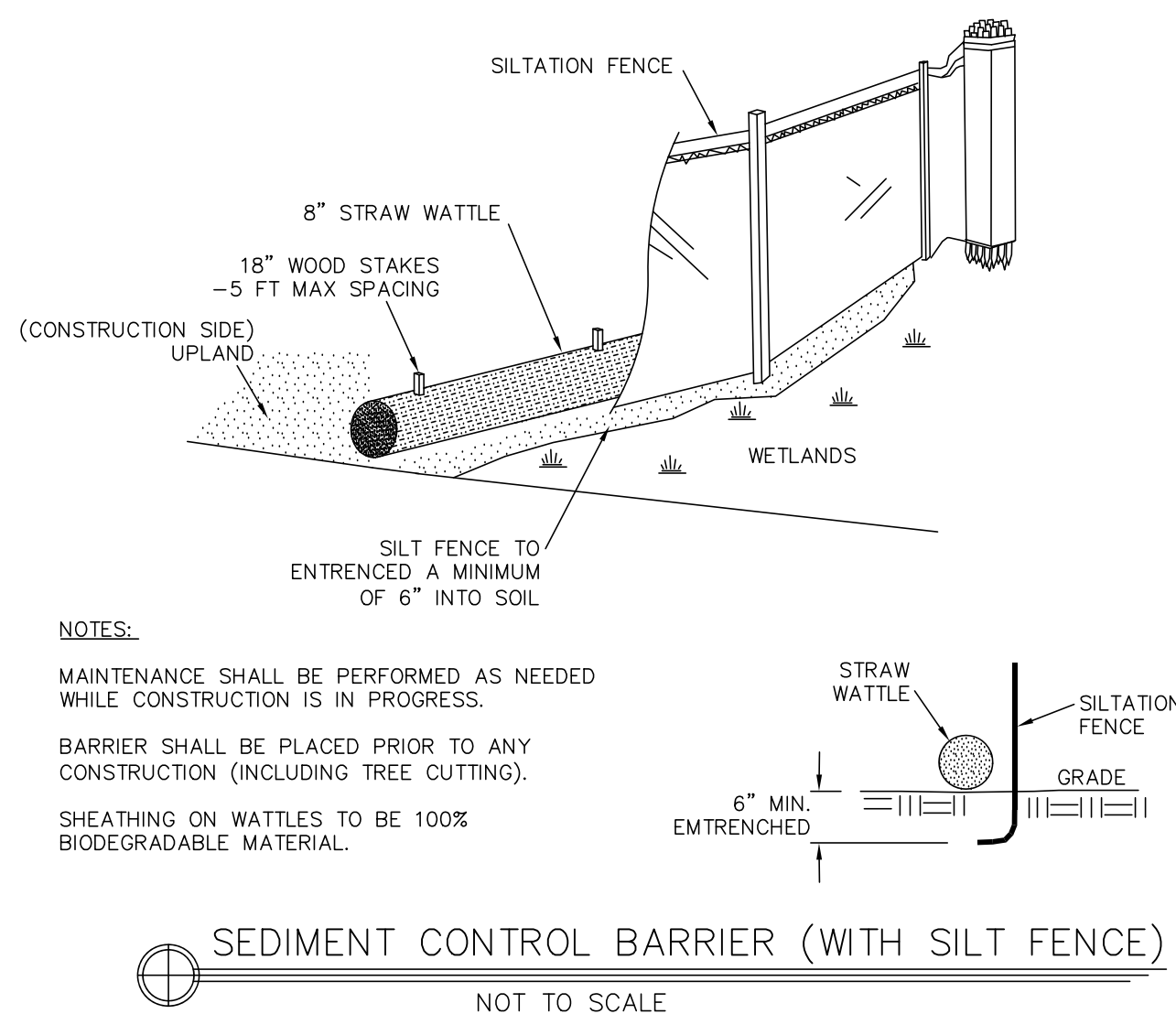
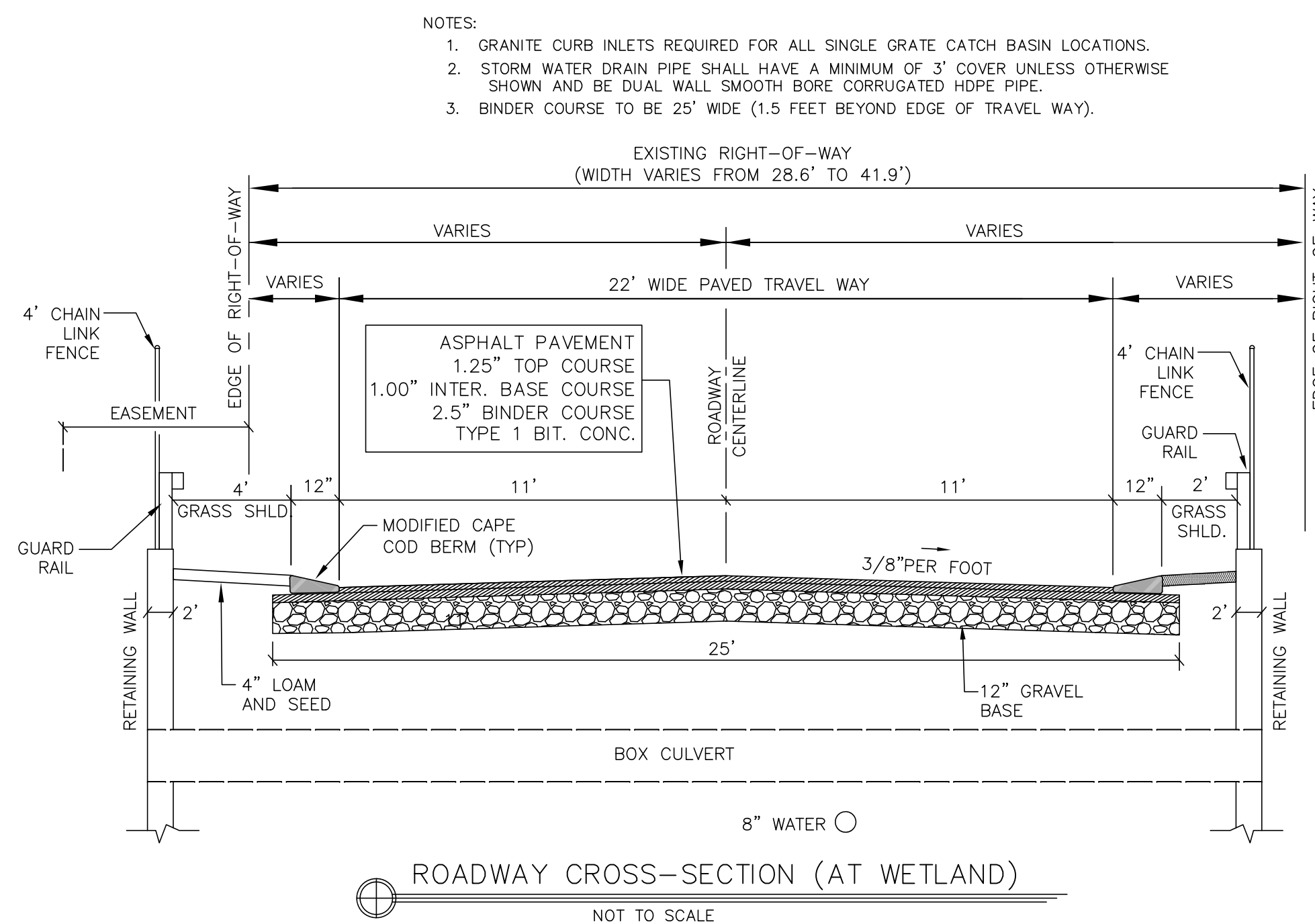
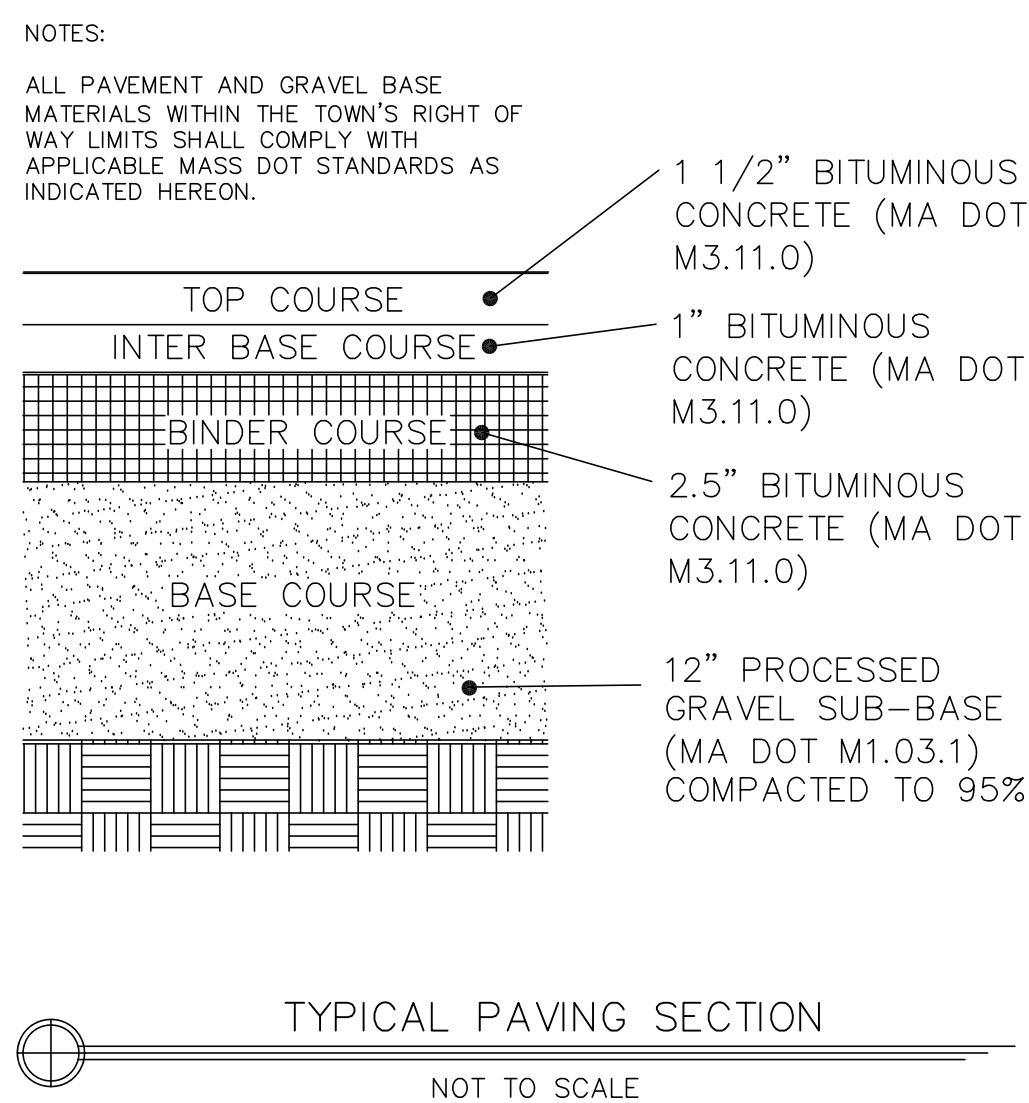
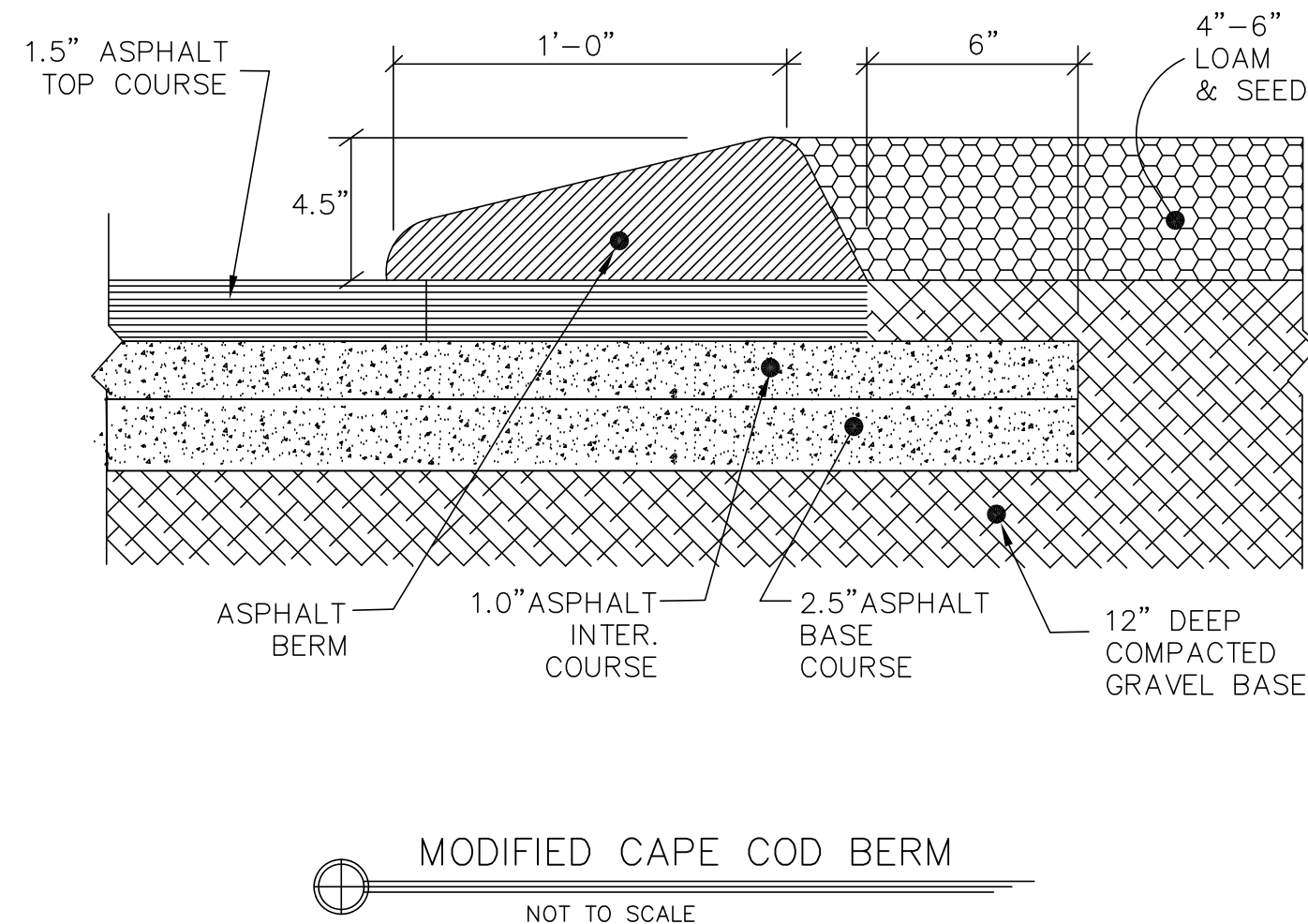
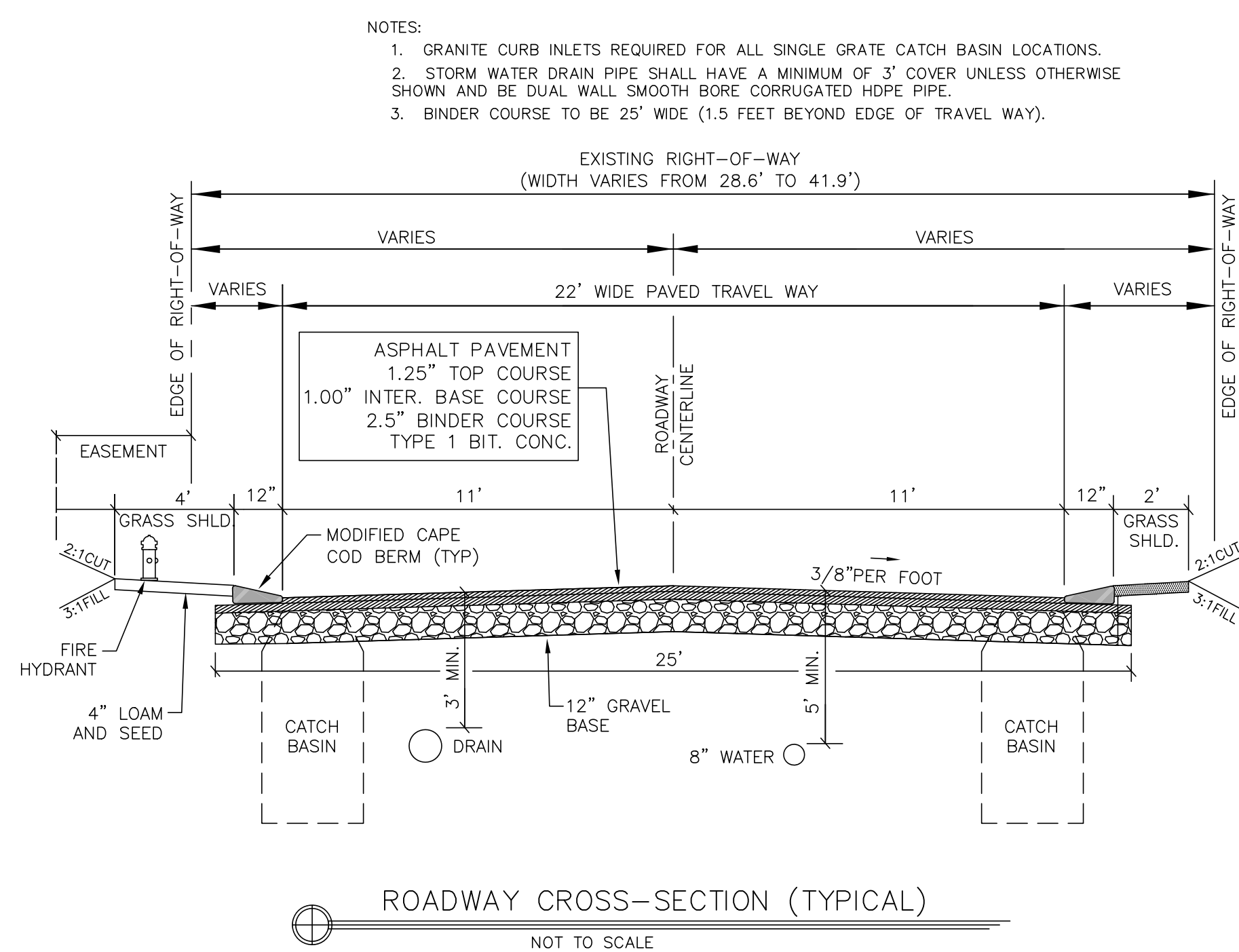
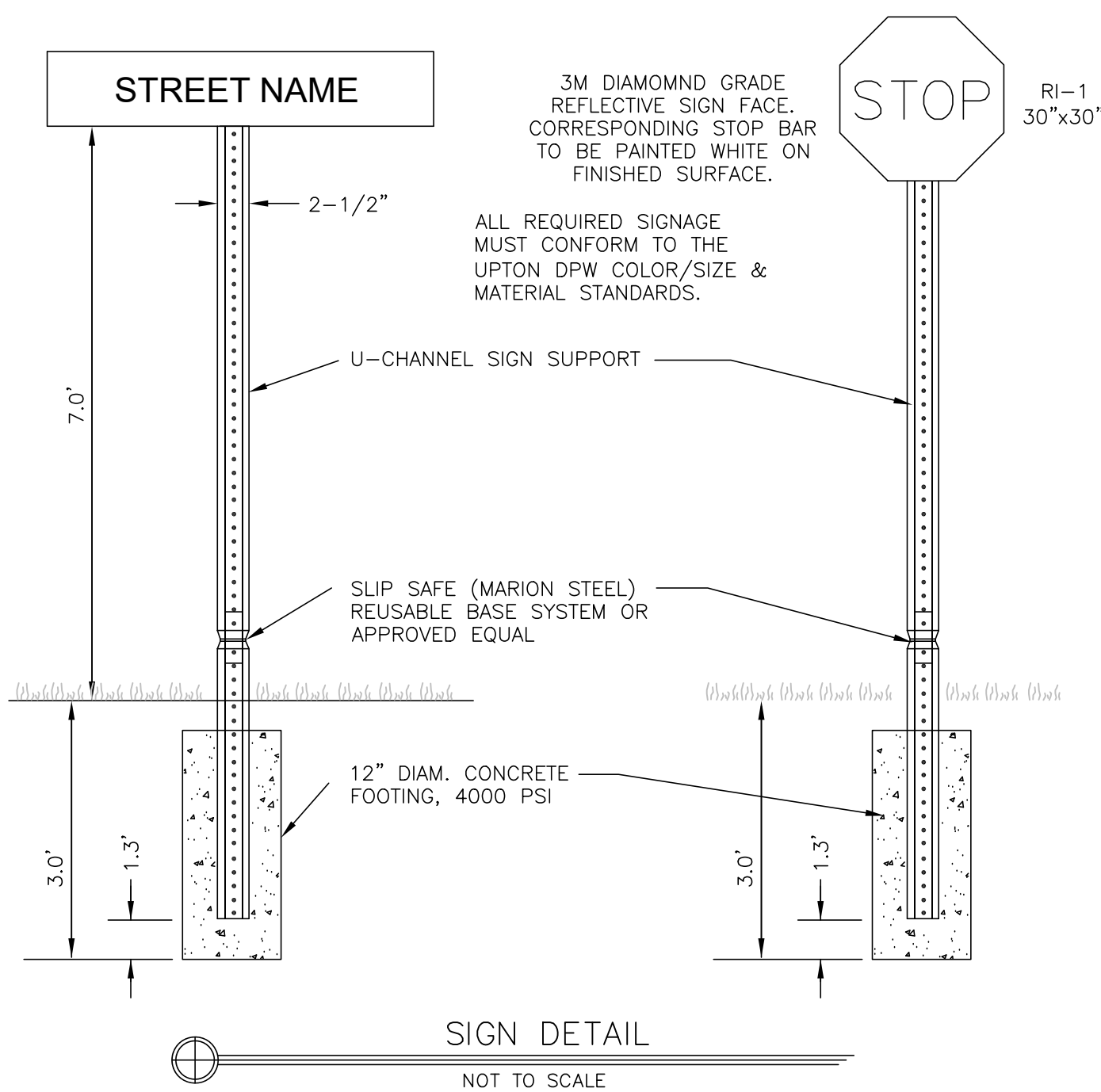
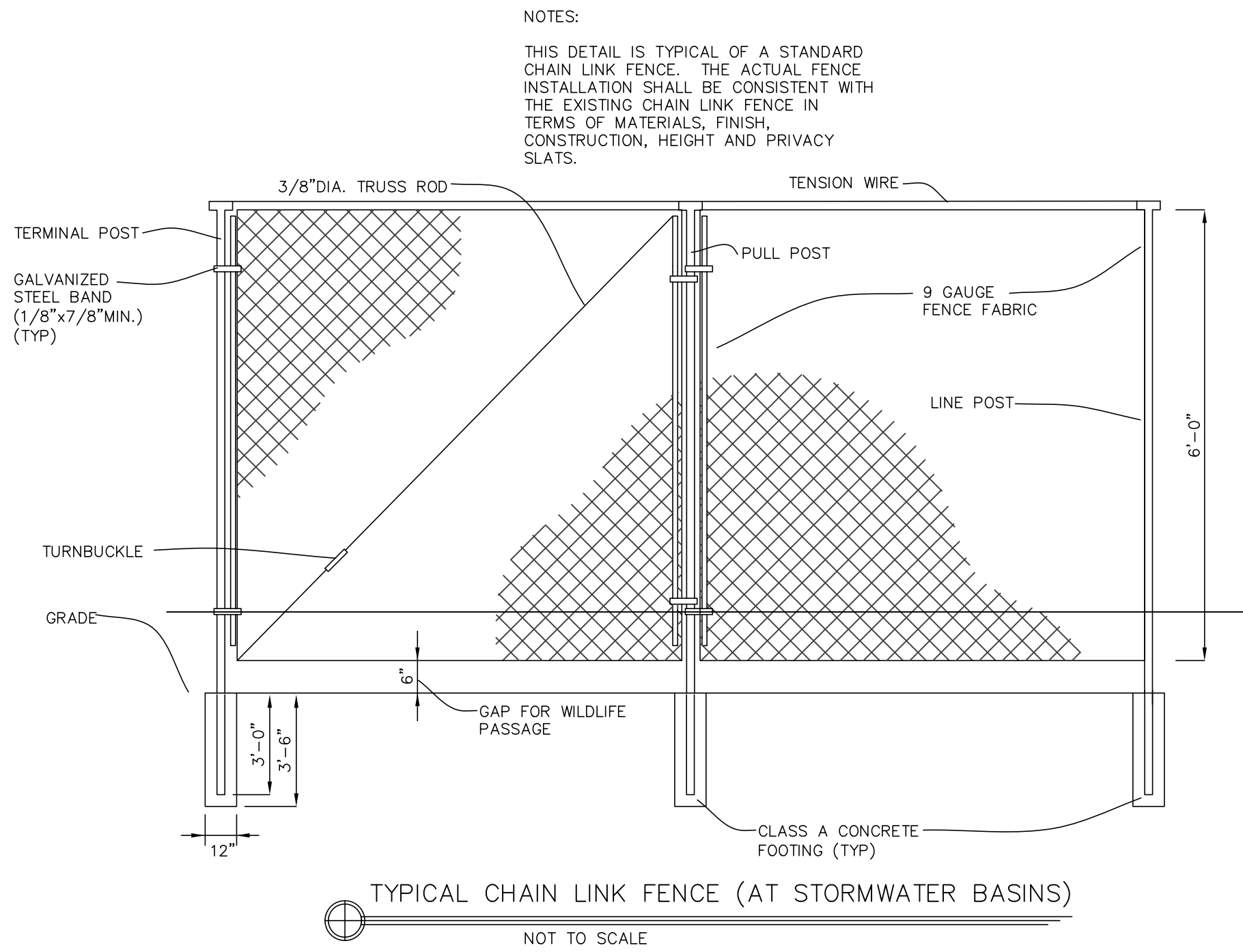
ALLEN ENGINEERING & ASSOCIATES
Civil Engineers · Surveyors
Land Development Consultants
140 Hartford Avenue East
Hopedale, Ma 01747
(508) 381-3212 · www.allen-ea.com

SCALE: 1" = 30 FEET
0 30 60 90

DATE: **February 14, 2025**

REVISIONS			
#	DATE	DESCRIPTION	INIT
1	6-20-25	ROADWAY AND DRAINAGE	MJD
2	10-31-25	PER PEER REVIEW	MJD

JOB NO: 00454
SHEET: **C-9**



OWNERS:

Varney Bros Sand and Gravel, Inc.
79 Hartford Street
Bellingham, MA 02019

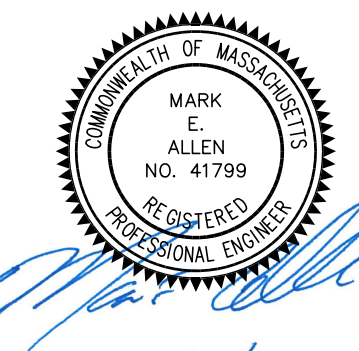
SAK II Realty Trust
202 Elm Street
Blackstone, MA 01504

APPLICANT:

Wall Street Development Corp.
P.O. Box 272
Westwood, MA 02090

TITLE:

CONSTRUCTION DETAILS
for
Blackstone Street Improvements
Bellingham, MA



10/31/25
PROFESSIONAL ENGINEER

PREPARED BY:



ALLEN ENGINEERING & ASSOCIATES

Civil Engineers • Surveyors
Land Development Consultants
140 Hartford Avenue East
Hopedale, Ma 01747
(508) 381-3212 • www.allen-ea.com

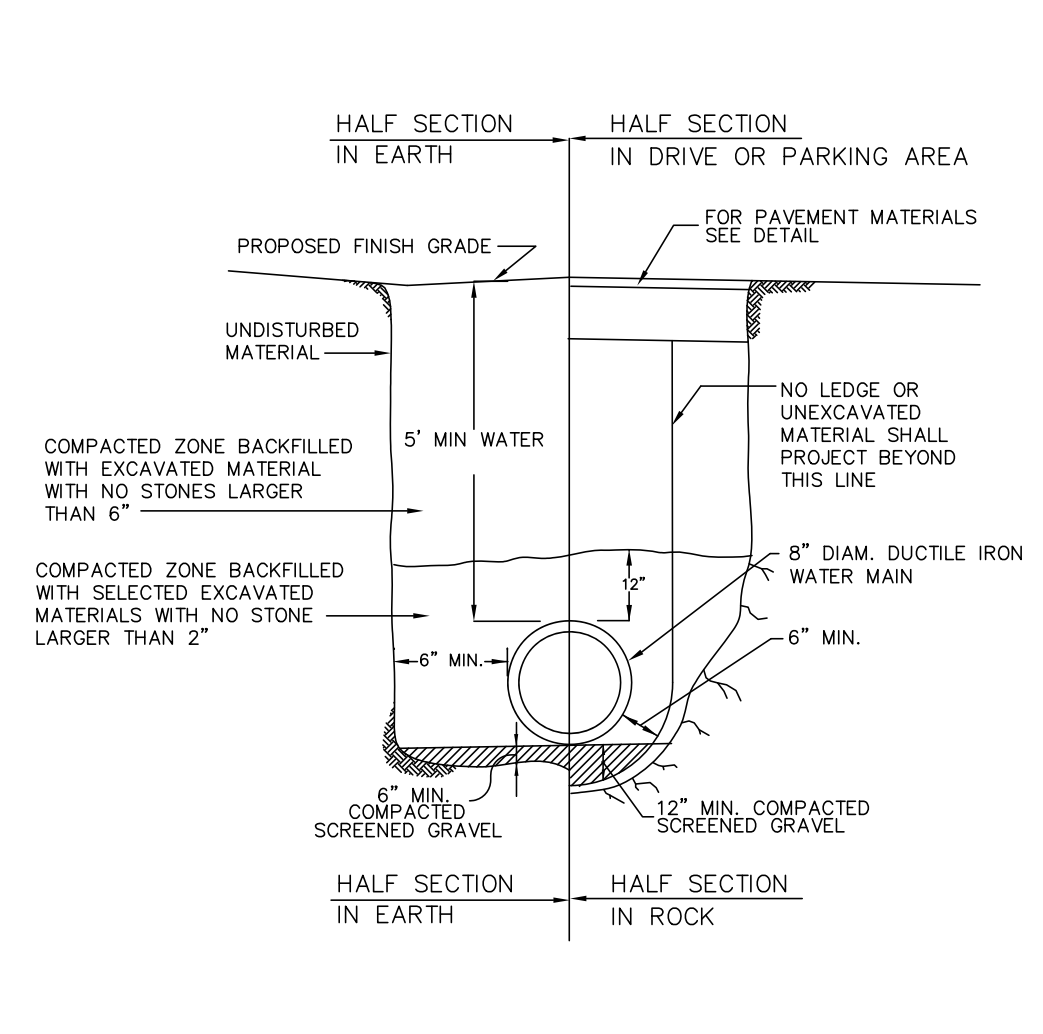
SCALE:

DATE: February 14, 2025

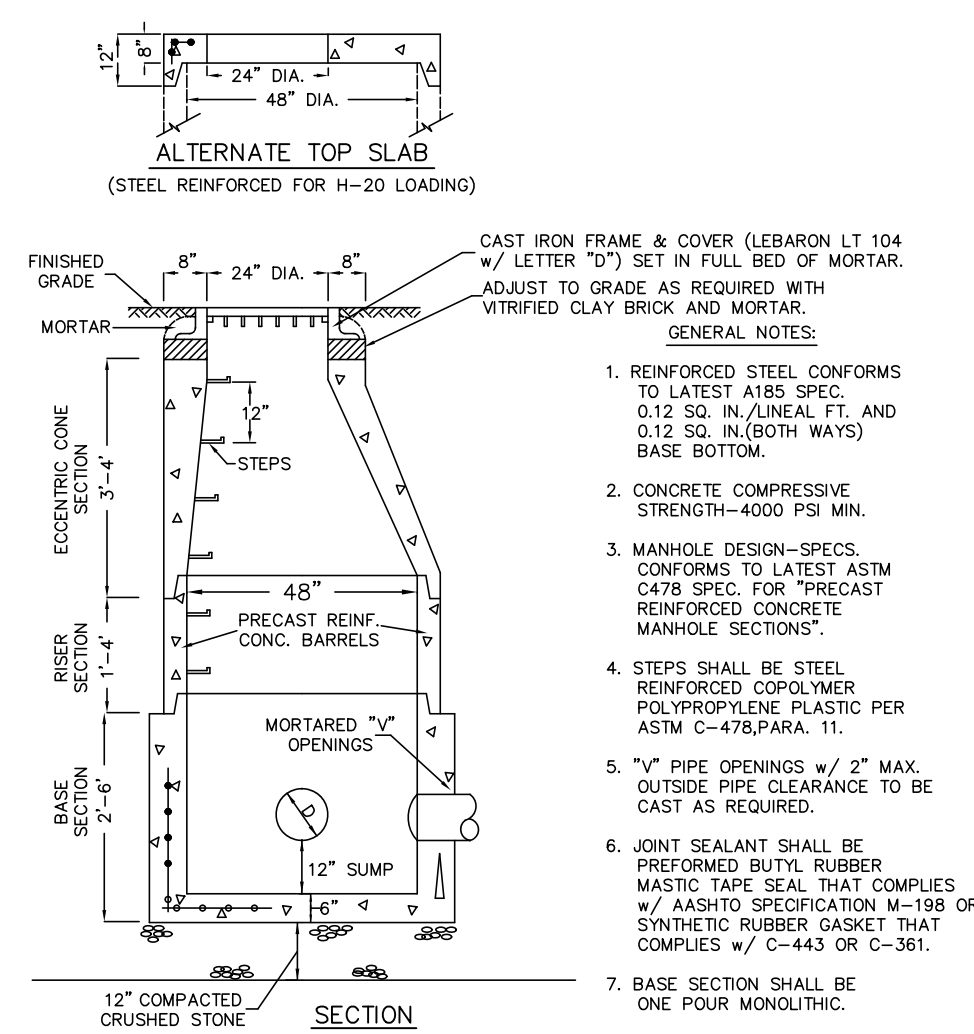
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#	DATE	DESCRIPTION	INIT
1	6-20-25	ROADWAY AND DRAINAGE	MJD
2	10-31-25	PER PEER REVIEW	MJD

JOB NO:
00454

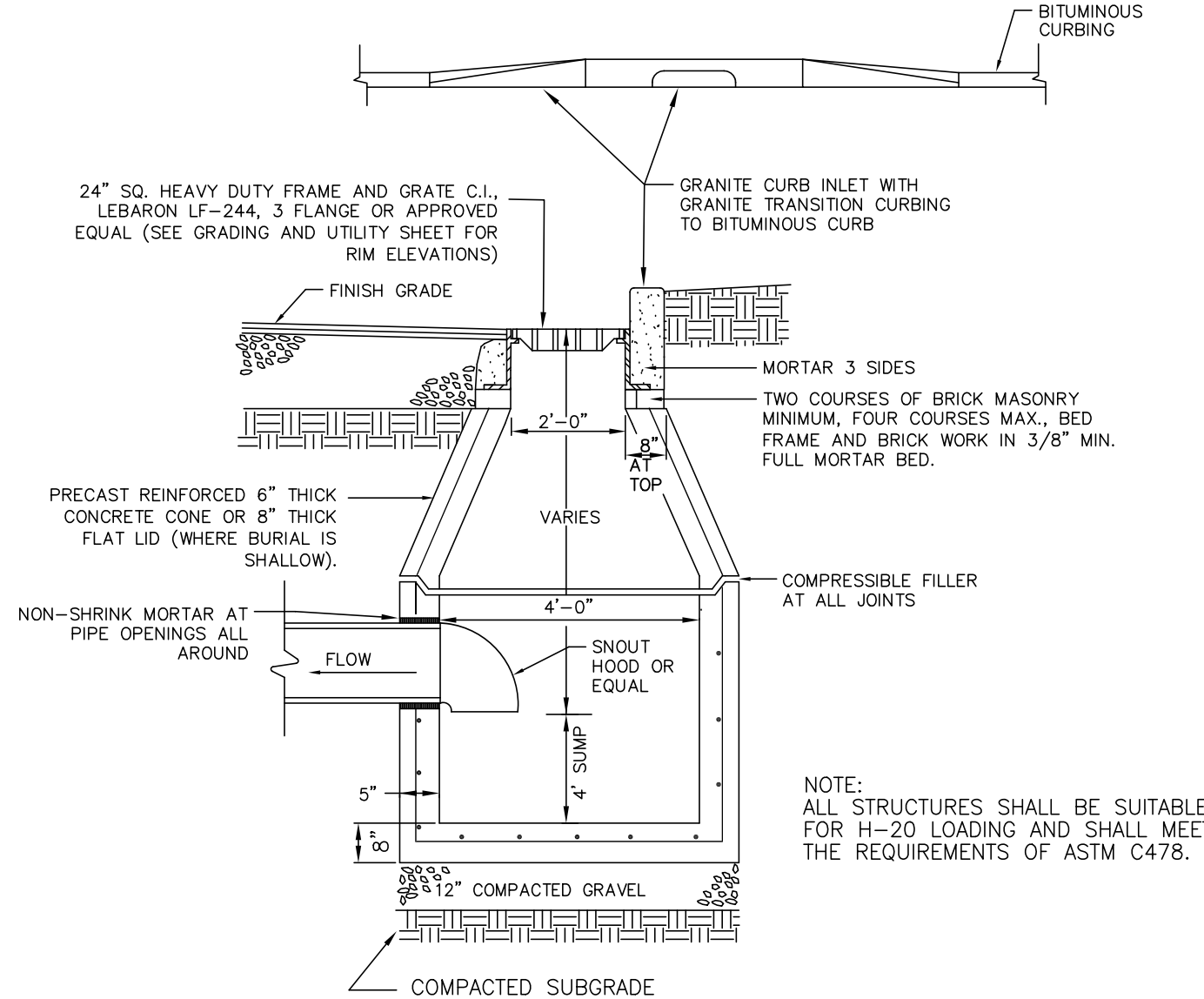
SHEET:
C-10



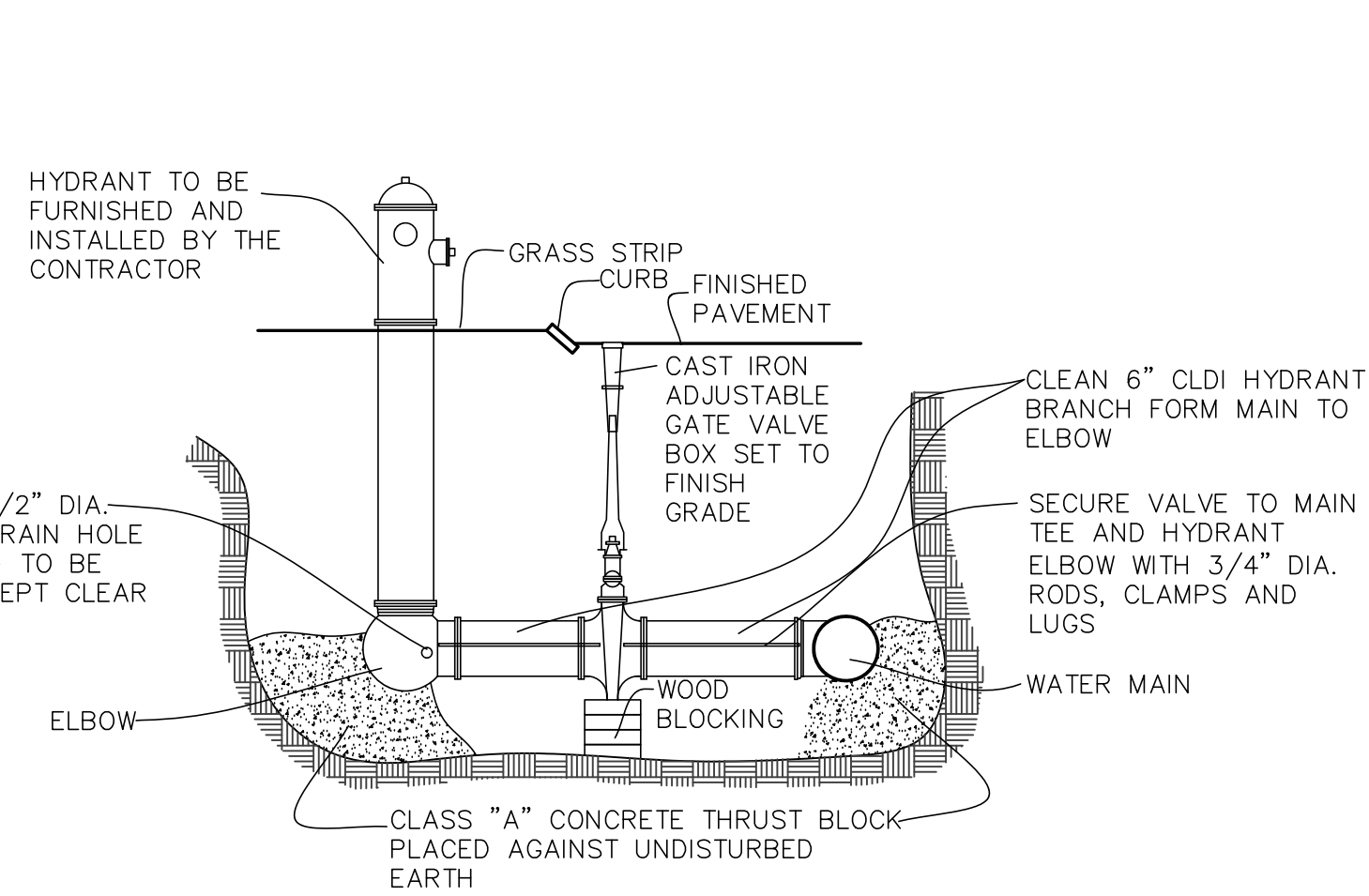
TYPICAL TRENCH DETAIL FOR WATER PIPE
NOT TO SCALE



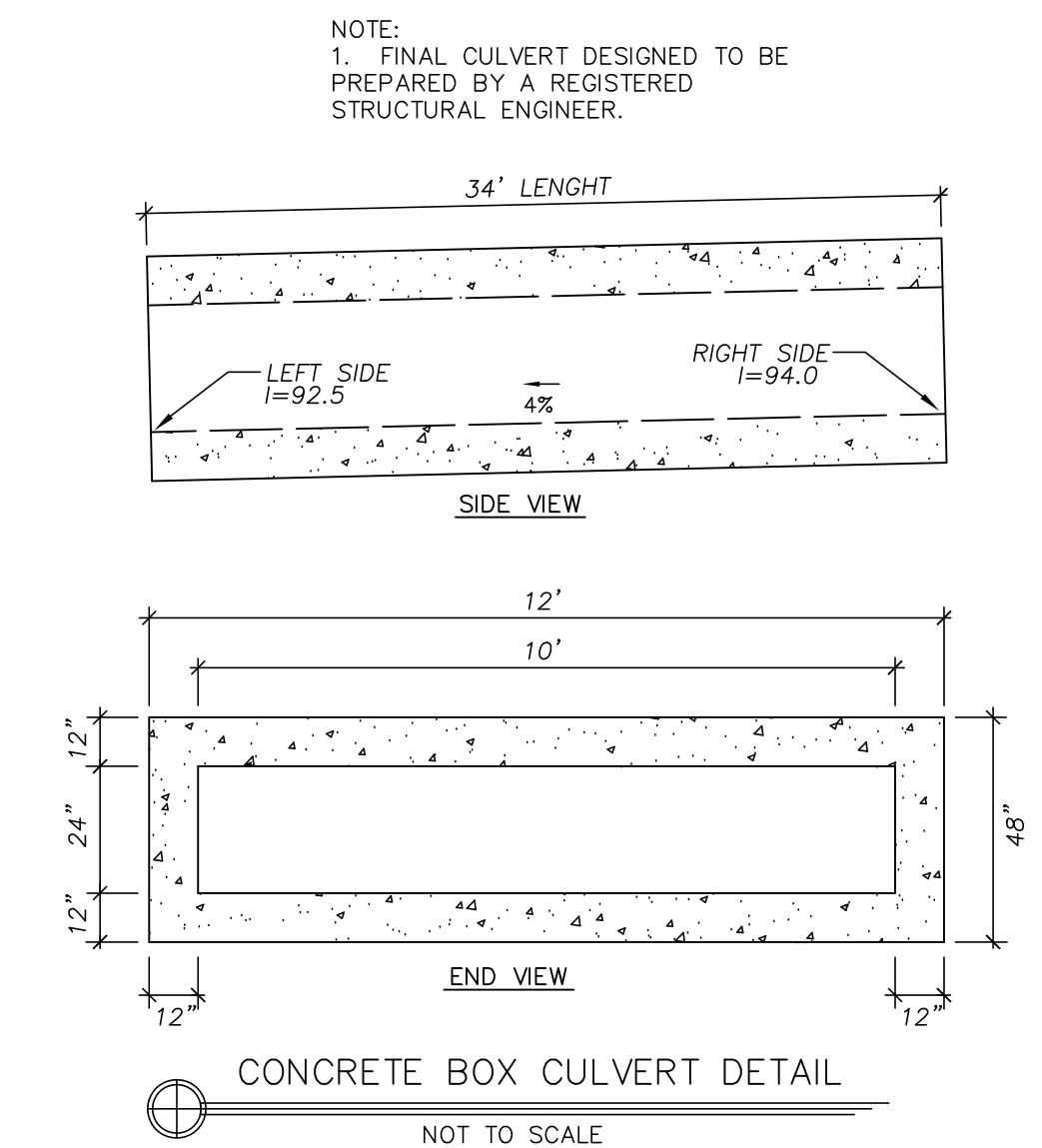
48" DIAMETER PRECAST DRAIN MANHOLE
FOR PIPE DIAMETERS UP TO 24"
NOT TO SCALE



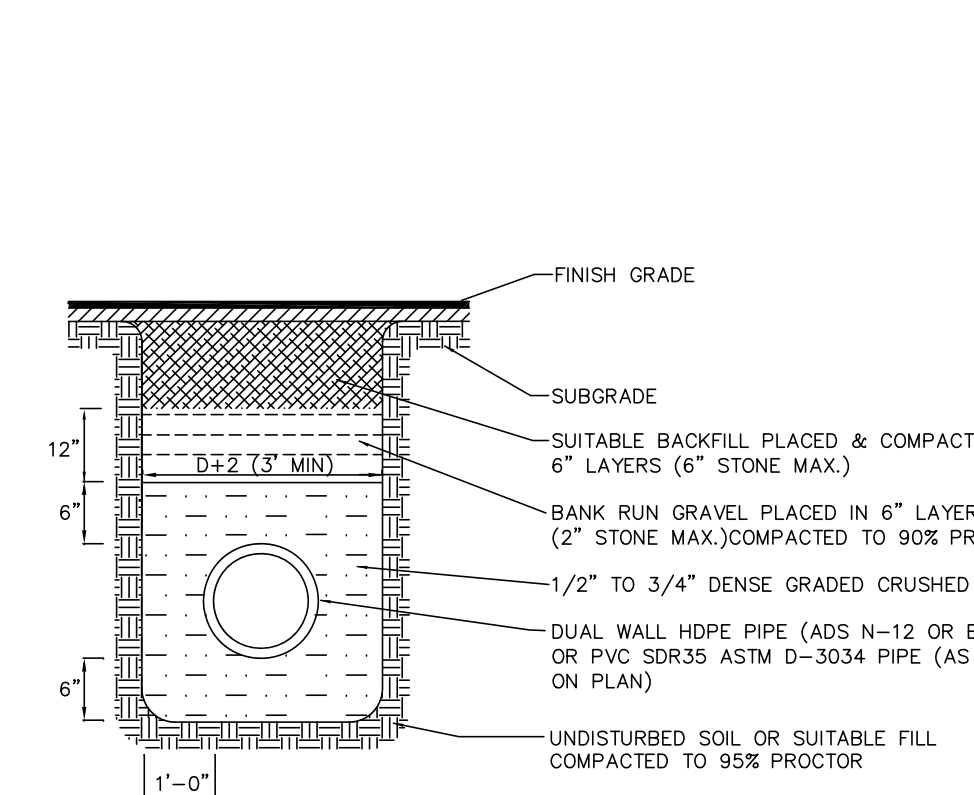
TYPICAL PRECAST CONCRETE CATCH BASIN
NOT TO SCALE



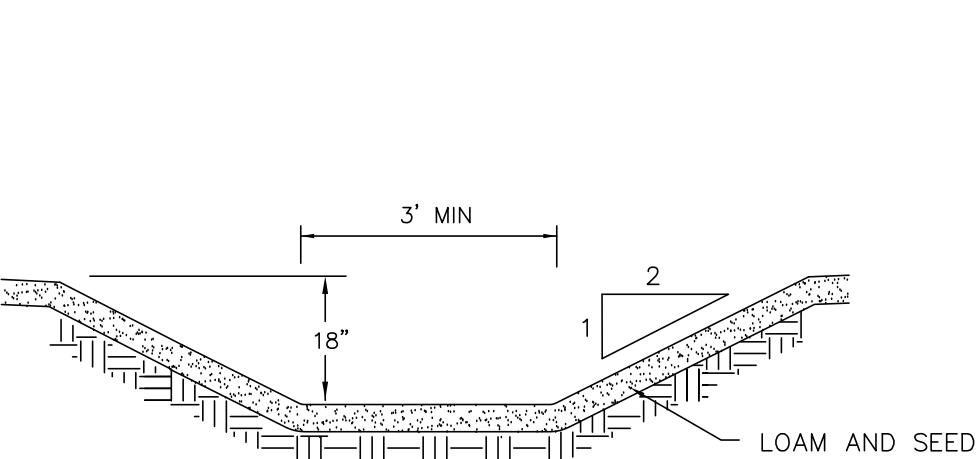
TYPICAL HYDRANT
NOT TO SCALE



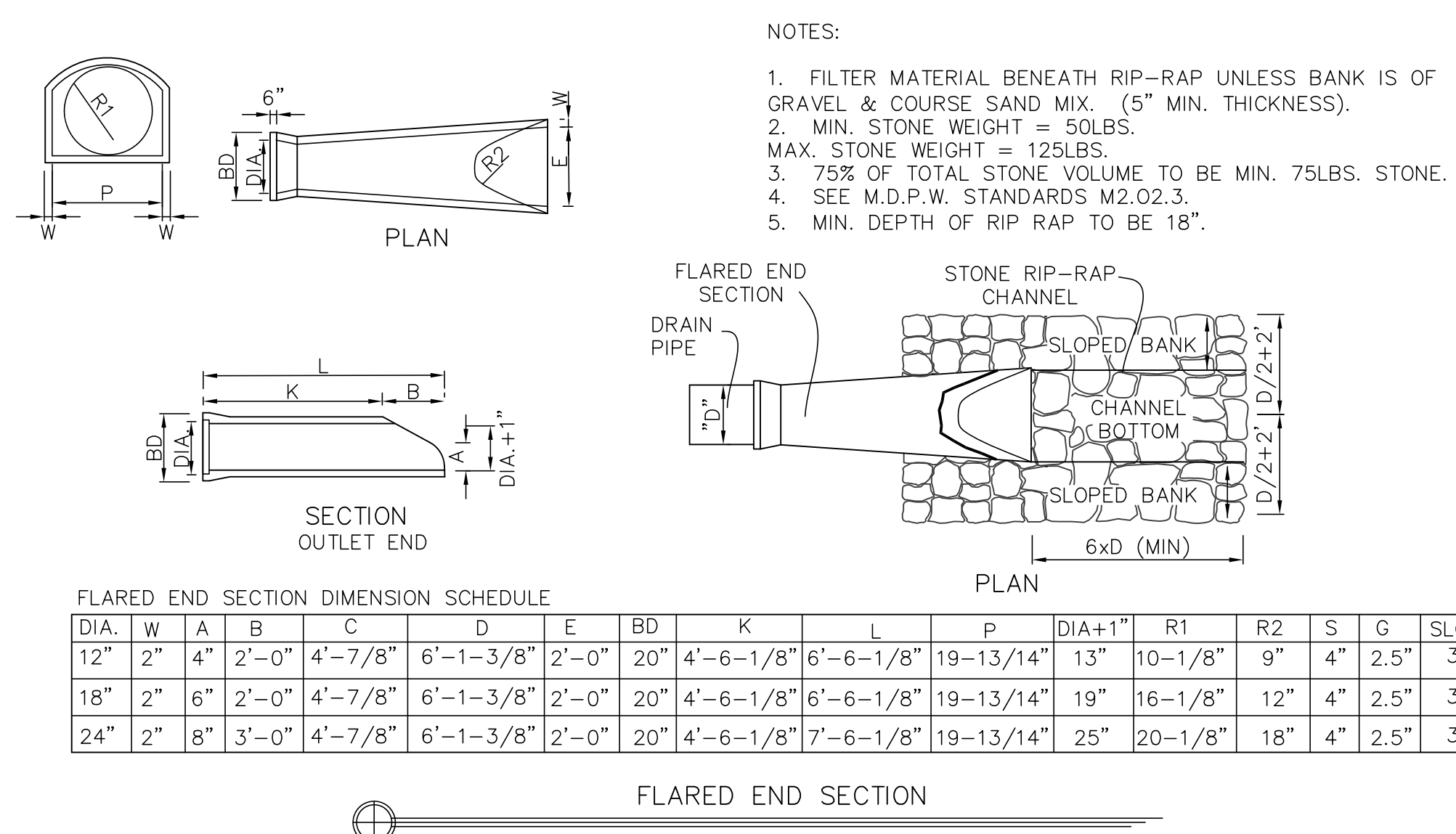
CONCRETE BOX CULVERT DETAIL
NOT TO SCALE



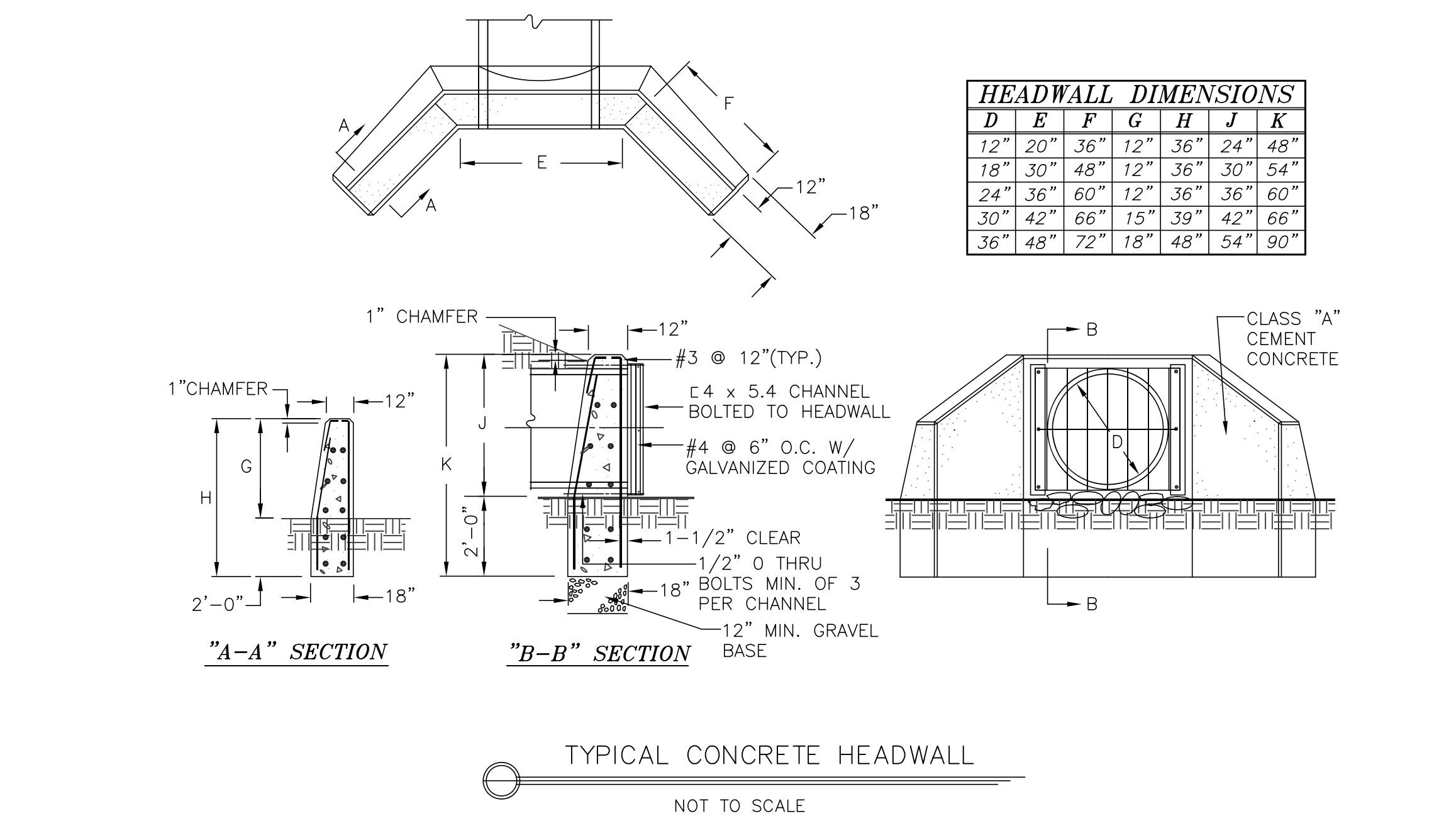
PVC/HDPE PIPE TRENCH
NOT TO SCALE



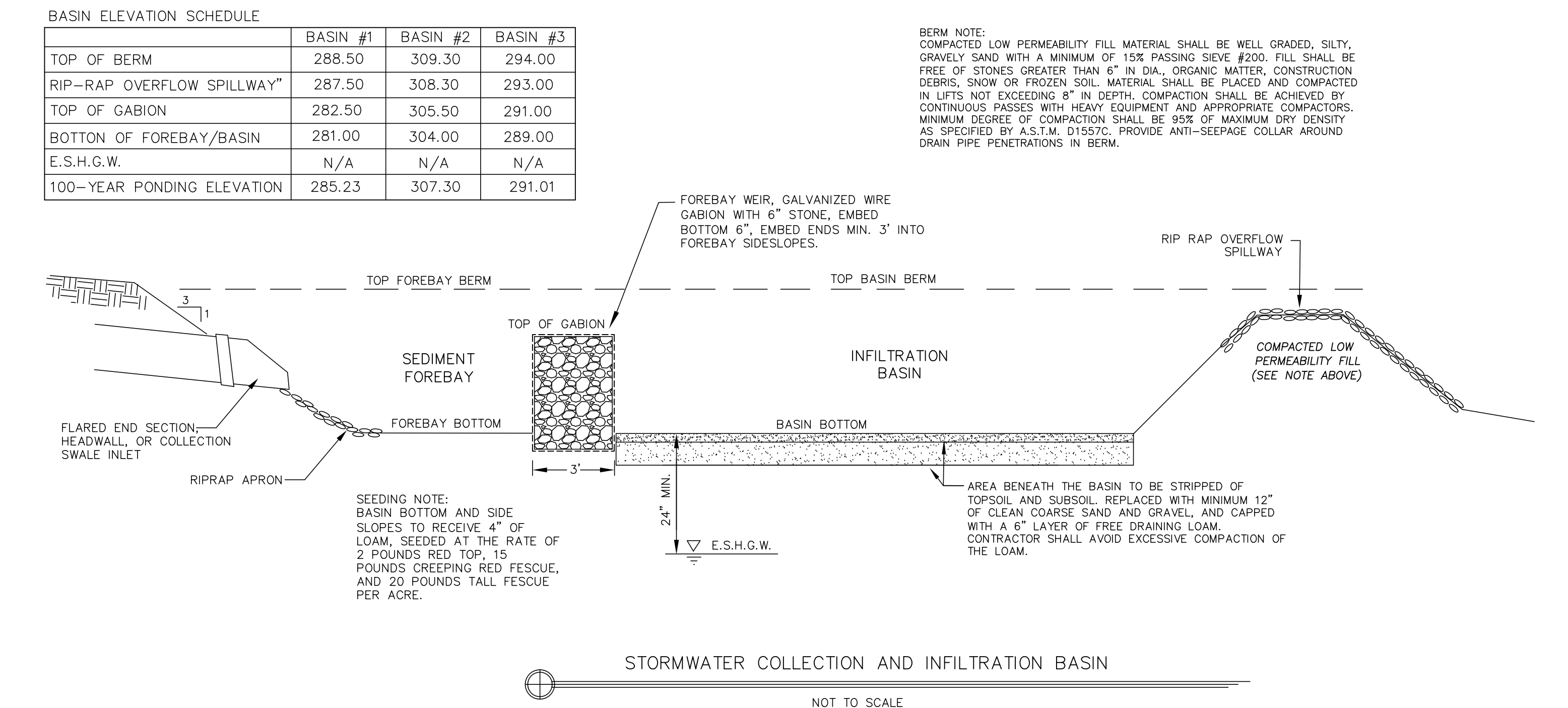
GRASS SWALE - CROSS SECTION
AT STATION 0+50 TO 2+50 (RIGHT)
NOT TO SCALE



FLARED END SECTION
NOT TO SCALE



TYPICAL CONCRETE HEADWALL
NOT TO SCALE



STORMWATER COLLECTION AND INFILTRATION BASIN
NOT TO SCALE

OWNERS:
Varney Bros Sand and Gravel, Inc.
79 Hartford Street
Bellingham, MA 02019
SAK II Realty Trust
202 Elm Street
Blackstone, MA 01504

APPLICANT:
Wall Street Development Corp.
P.O. Box 272
Westwood, MA 02090

TITLE:
CONSTRUCTION DETAILS
for
Blackstone Street Improvements
Bellingham, MA

PROFESSIONAL ENGINEER

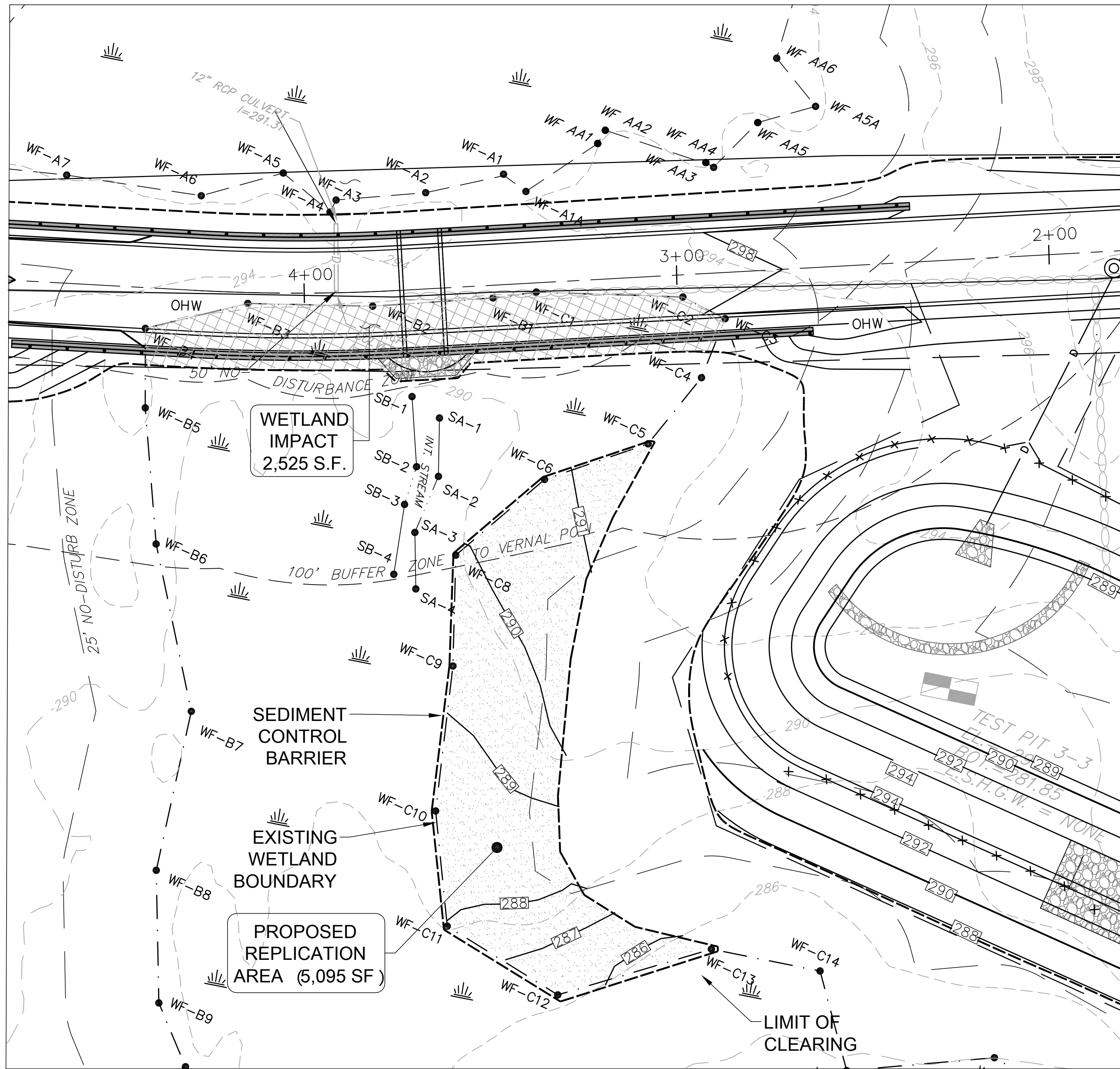
PREPARED BY:

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Civil Engineers · Surveyors
Land Development Consultants
140 Hartford Avenue East
Hopedale, Ma 01747
(508) 381-3212 · www.allen-ea.com

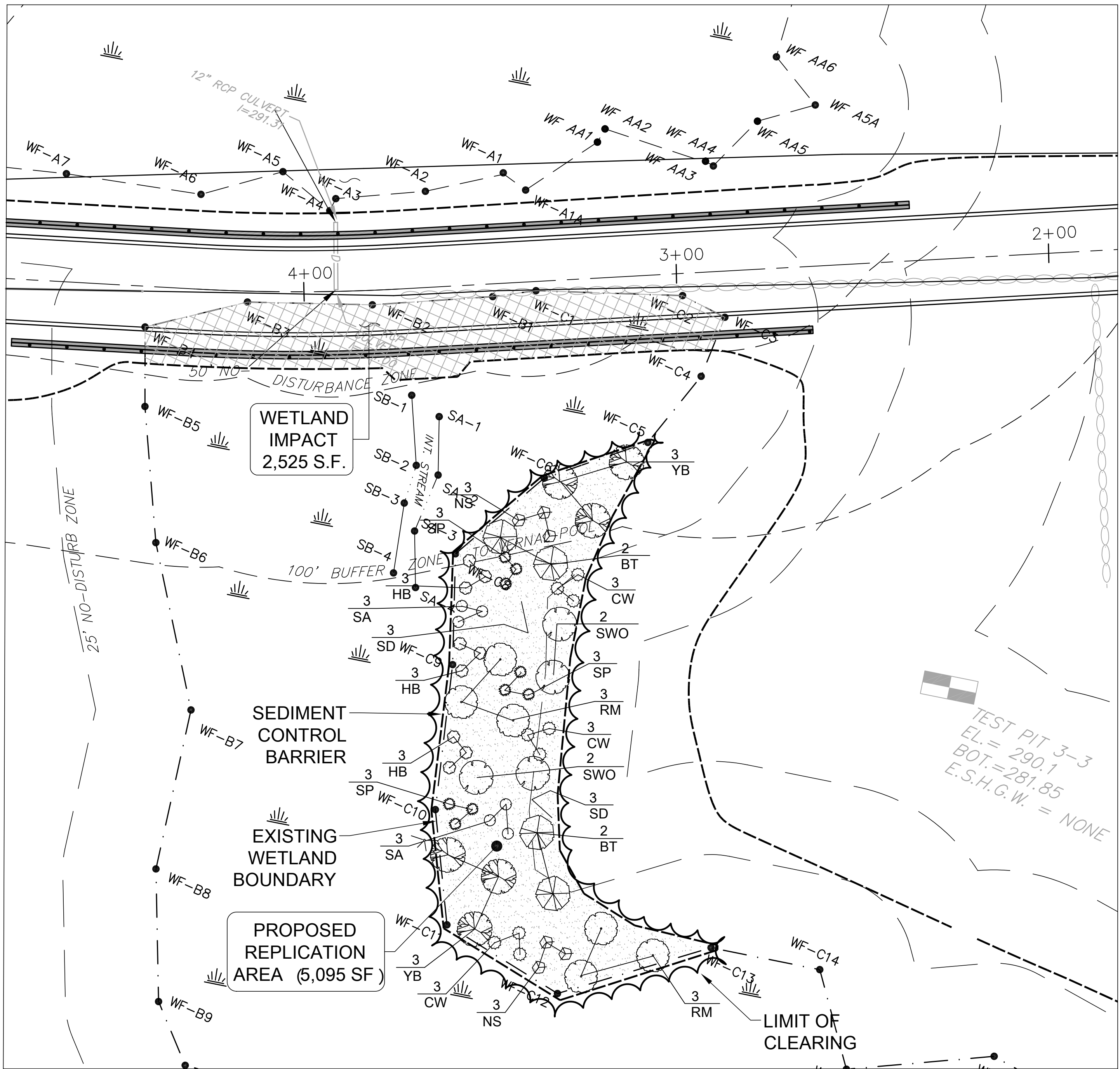
SCALE:
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DATE: **February 14, 2025**
REVISIONS

#	DATE	DESCRIPTION	INIT
1	6-20-25	ROADWAY AND DRAINAGE	MJD
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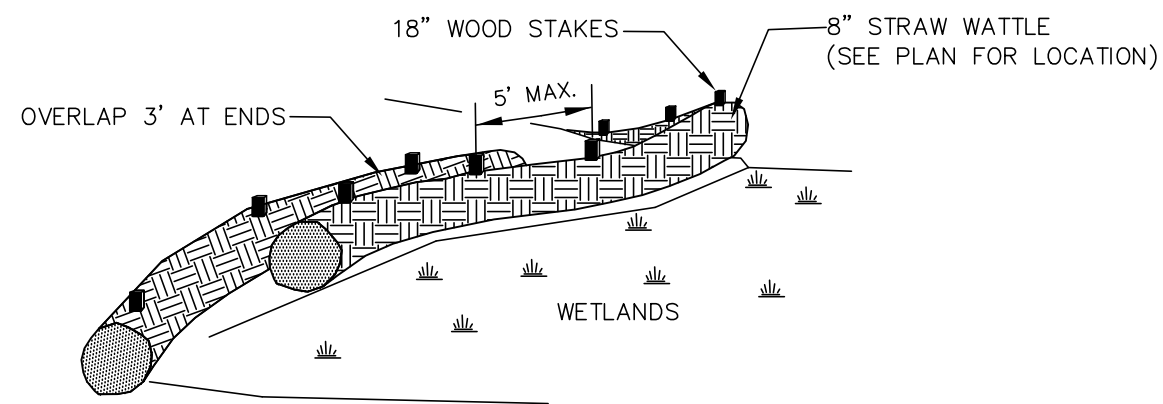
JOB NO: 00454
SHEET: **C-11**



PROPOSED REPLICATION
AREA GRADING
1"=30'

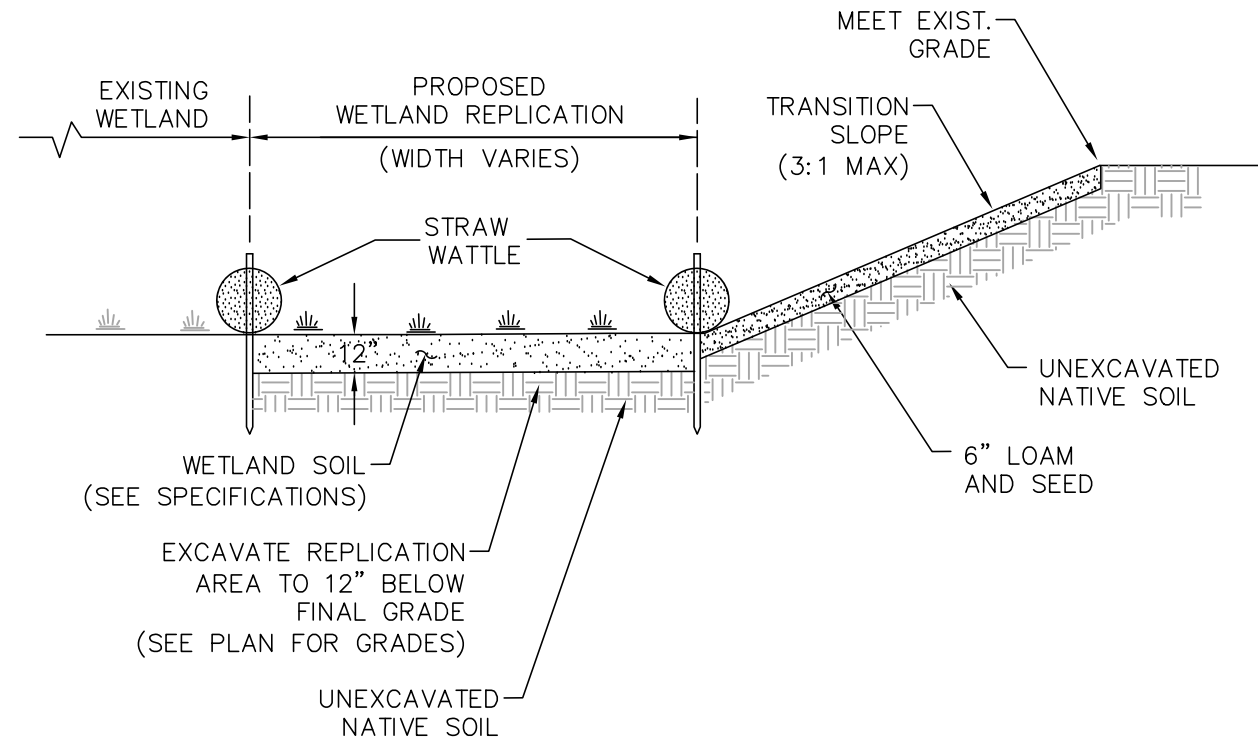


PROPOSED REPLICATION
AREA PLANTING
1"=30'



NOTE:
1. MAINTENANCE SHALL BE PERFORMED AS NEEDED THROUGHOUT CONSTRUCTION PERIOD.
2. BARRIER LOCATION SHALL BE MARKED UNDER THE DIRECTION OF A REGISTERED LAND SURVEYOR AND INSTALLED PRIOR TO ANY CONSTRUCTION, INCLUDING TREE CUTTING.

REPLICATION AREA
SEDIMENT CONTROL BARRIER
NOT TO SCALE



WETLAND REPLICATION AREA
SECTION A-A
NOT TO SCALE

REPLICATION AREA PLANTING SCHEDULE

ABR.	COMMON NAME	LATIN NAME	SIZE	QUANTITY
NATIVE TREES:				
BT	BLACK TUPELO	NYSSA SYLVATICA	1.5"-2" CAL.	4
RM	RED MAPLE	ACER RUBRUM	1.5"-2" CAL.	6
SWO	SWAMP WHITE OAK	QUERCUS BICOLOR	1.5"-2" CAL.	4
YB	YELLOW BIRCH	BETULA ALLEGHANIENSIS	1.5"-2" CAL.	6
NATIVE SHRUBS:				
NS	NORTHERN SPICEBUSH	LINDERA BENZOIN	2'-4' HT.	6
HB	HIGHBUSH BLUEBERRY	VACCINIUM CORYMBOSUM	2'-4' HT.	9
CW	COMMON WINTERBERRY	IILEX VERTICILLATA	2'-4' HT.	9
SD	SILKY DOGWOOD	CORNUS AMOMUM	2'-4' HT.	6
SA	SPECKLED ALDER	ALNUS REGOSA	2'-4' HT.	6
SP	SWEET PEPPERBUSH	CLETHRA ALNIFOLIA	2'-4' HT.	9

OWNERS:

Varney Bros Sand and
Gravel, Inc.
79 Hartford Street
Bellingham, MA 02019

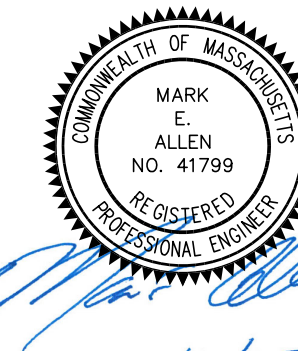
SAK II Realty Trust
202 Elm Street
Blackstone, MA 01504

APPLICANT:

Wall Street
Development Corp.
P.O. Box 272
Westwood, MA 02090

TITLE:

WETLAND
REPLICATION
AREA
for
Blackstone Street
Improvements
Bellingham, MA



10/31/25
PROFESSIONAL ENGINEER

PREPARED BY:



**ALLEN ENGINEERING
& ASSOCIATES**

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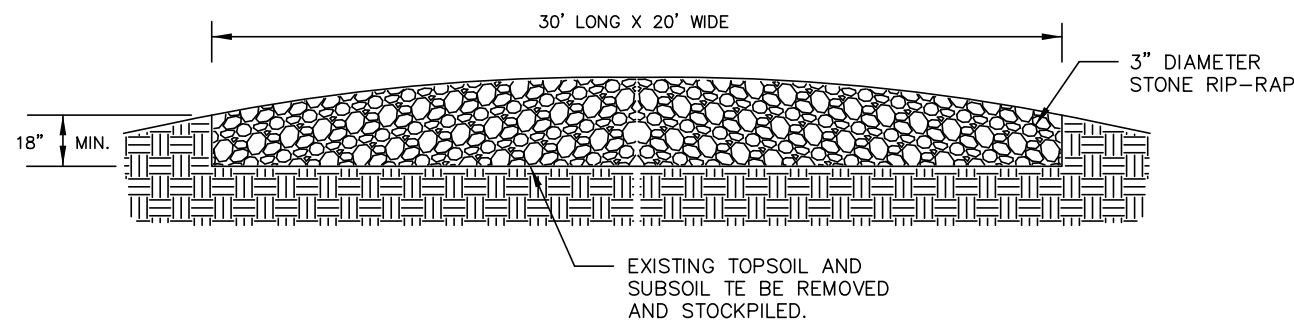
SCALE: 1"=20' FEET

DATE: February 14, 2025

REVISIONS			
#	DATE	DESCRIPTION	INIT
1	6-20-25	ROADWAY AND DRAINAGE	MJD
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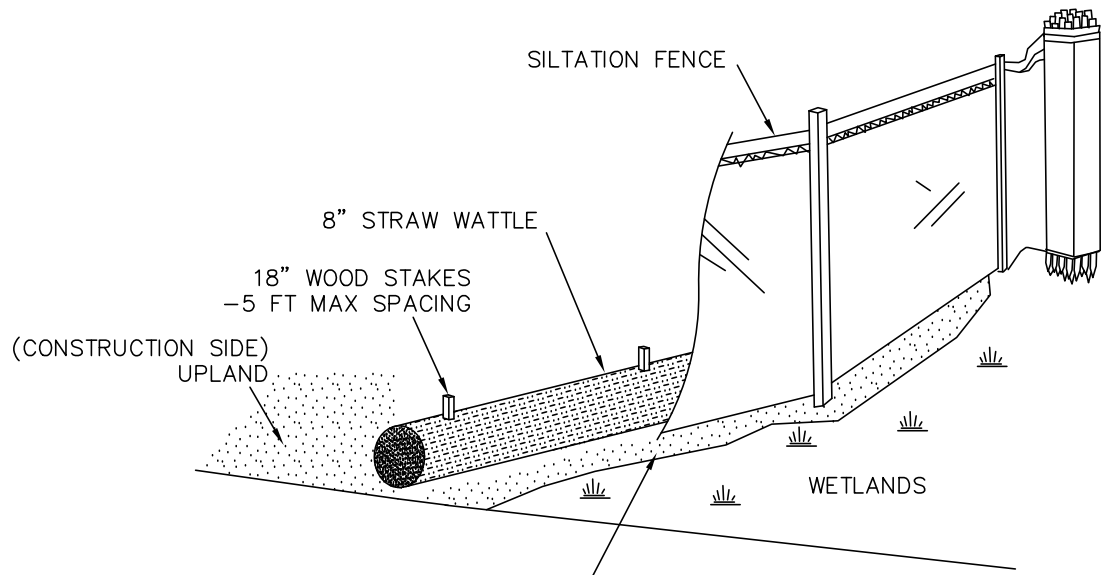
JOB NO:
00454

SHEET:
C-12

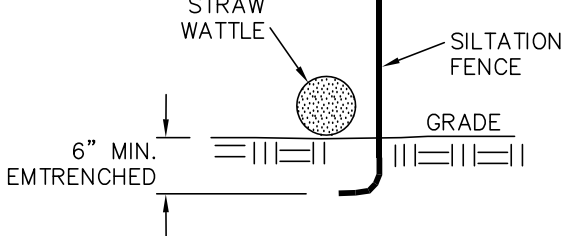


- NOTES:
1. MINIMUM DEPTH OF RIP-RAP TO BE 18".
 2. RIP-RAP TO BE SHARP ANGULAR ROCK APPROXIMATELY 3" IN DIAMETER.
 3. SIZE OF ENTRANCE TO BE A MINIMUM OF 30 FEET LONG AND 20 FEET WIDE.
 4. ENTRANCE IS TO BE CLEARED OF SILT AND DEBRIS AFTER EACH MAJOR STORM EVENT.
 5. RIP-RAP IS TO BE REMOVED PRIOR TO ACTUAL ROADWAY CONSTRUCTION. THE INTENT OF THIS RIP-RAP ENTRANCE IS TO KEEP EXISTING PUBLIC STREETS FREE OF SILT DURING THE BEGINNING OF CONSTRUCTION.

RIP-RAP CONSTRUCTION ENTRANCE
NOT TO SCALE



- NOTES:
- MAINTENANCE SHALL BE PERFORMED AS NEEDED WHILE CONSTRUCTION IS IN PROGRESS.
- BARRIER SHALL BE PLACED PRIOR TO ANY CONSTRUCTION (INCLUDING TREE CUTTING).
- SHEATHING ON WATTLES TO BE 100% BIODEGRADABLE MATERIAL.



SEDIMENT CONTROL BARRIER (WITH SILT FENCE)
NOT TO SCALE

CONSTRUCTION SEQUENCING

THE FOLLOWING IS A TYPICAL CONSTRUCTION SEQUENCING PLAN. THE SEQUENCING MAY BE ADJUSTED BASED UPON SPECIFIC FIELD CONDITIONS ENCOUNTERED.

- ESTABLISH THE LIMIT OF WORK VIA SURVEY AND INSTALL EROSION CONTROLS PER THE PLANS.
- SATISFY ALL PRE-CONSTRUCTION CONDITIONS INCLUDING NOTIFICATION TO TOWN OFFICIALS PRIOR TO THE START OF WORK.
- OBTAIN NOTICE OF INTENT PERMIT COVERAGE UNDER THE USA EPA CONSTRUCTION GENERAL PERMIT, INCLUDING A STORMWATER POLLUTION PREVENTION PLAN.
- CUT TREES AND REMOVE STUMPS WITHIN THE ESTABLISHED WORK LIMITS. STRIP TOP AND SUBSOIL WHERE APPLICABLE.
- ESTABLISH STORMWATER BASINS AND OUTLET CONTROLS.
- INSTALL UNDERGROUND UTILITIES AND DRAINAGE SYSTEM.
- COMPLETE EARTHWORK ACTIVITIES AND PLACEMENT OF IMPORTED BASE MATERIALS FOR THE ROADWAY.
- INSTALL CURBING AND BINDER COURSE PAVEMENT. COMPLETE.
- STABILIZE OFF-GRADING AREAS, GRASS STRIP AND BASINS WITH LOAM AND SEED WHERE NOTED ON THE PLANS.
- CONDUCT SITE WORK AND HOME CONSTRUCTION.
- INSTALL FINAL WEARING COURSE PAVEMENT

CONSTRUCTION MAINTENANCE AND INSPECTION

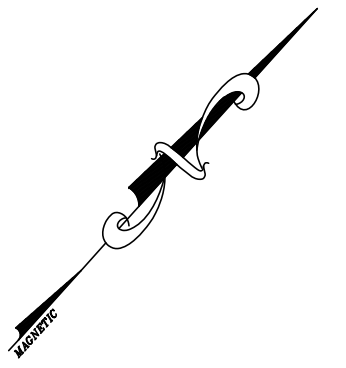
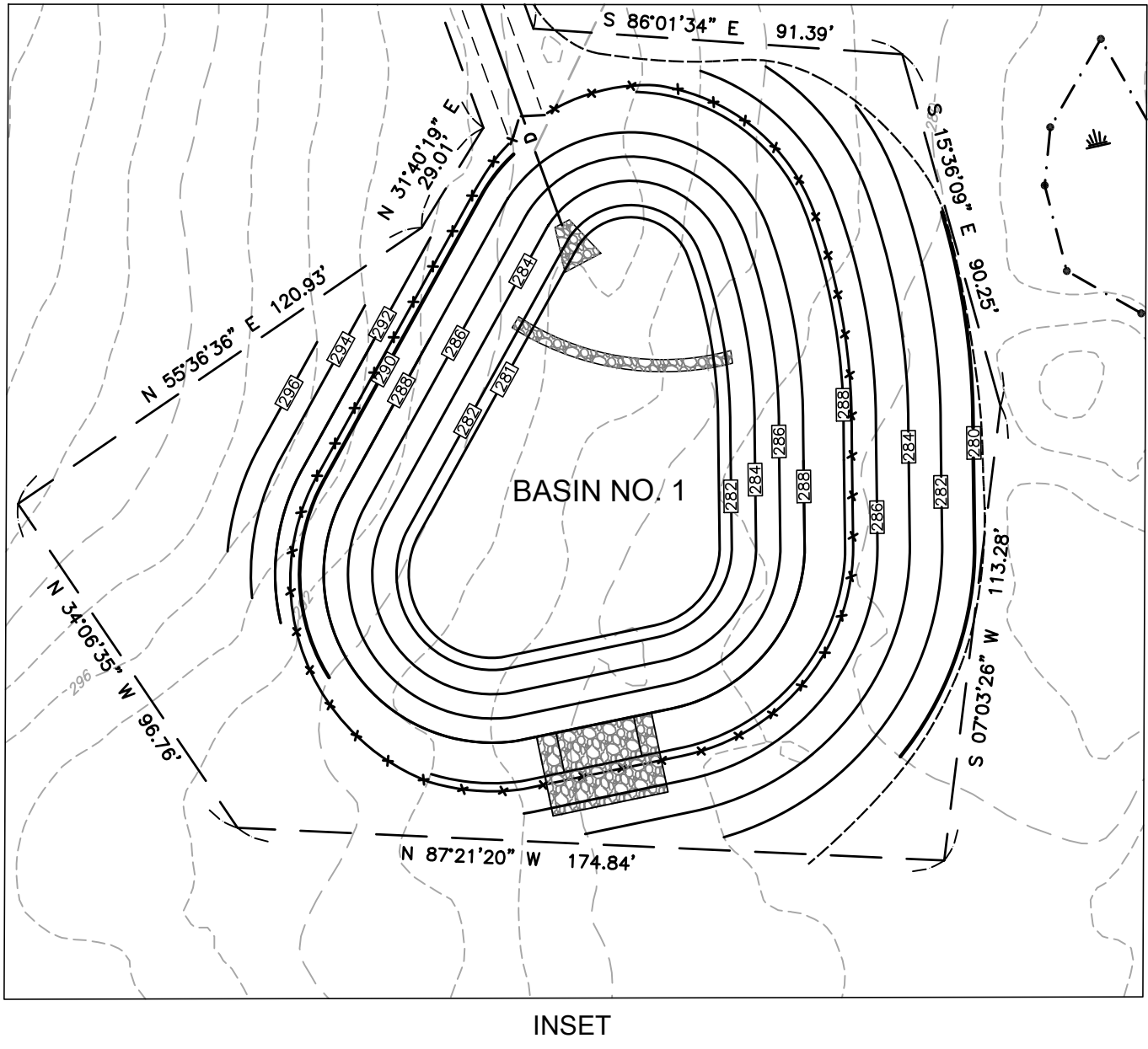
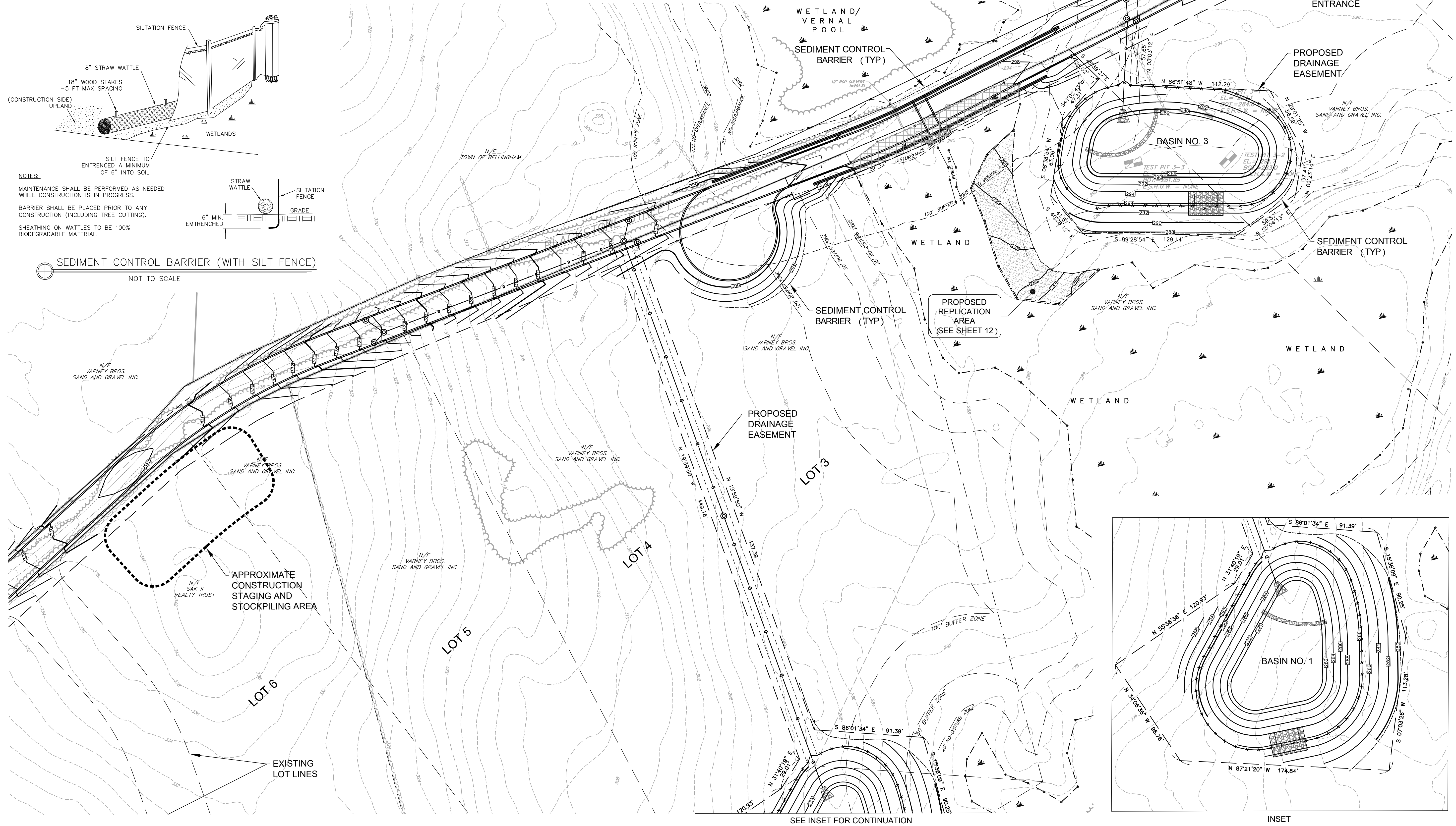
THE FOLLOWING IS A TYPICAL MAINTENANCE AND INSPECTION PLAN TO BE ADHERED TO DURING THE CONSTRUCTION PERIOD. THIS SHALL BE CONSIDERED THE MINIMUM AND MAY REQUIRE MORE INTENSIVE ATTENTION BASIN ON SPECIFIC WEATHER AND FIELD CONDITIONS ENCOUNTERED.

- AN ADEQUATE SUPPLY OF SEDIMENT CONTROL BARRIER SHALL BE KEPT ON SITE FOR EMERGENCY REPAIRS.
- EROSION CONTROL DEVICES SHALL BE INSPECTED WEEKLY AND AFTER EACH RAIN EVENT.
- DAMAGED, DETERIORATED OR BREACHED SEDIMENT BARRIERS SHALL BE ADDRESSED IMMEDIATELY UPON DISCOVERY.
- INSPECTIONS SHALL BE DOCUMENTED PER THE CONSTRUCTION GENERAL PERMIT STORMWATER POLLUTION PREVENTION PLAN TO BE ISSUED PRIOR TO CONSTRUCTION.
- INSPECT AND MAINTAIN THE STABILIZED CONSTRUCTION ENTRANCE ON A DAILY BASIS OR MORE FREQUENTLY IF WARRANTED.
- ANY SEDIMENT, SOIL OR DEBRIS TRACKED ON TO THE PUBLIC ROADWAY SHALL BE SWEEP ON A DAILY BASIS.
- ALL MATERIAL STOCKPILES SHALL BE SURROUNDED BY SEDIMENT CONTROL BARRIERS.
- THE CONSTRUCTION SITE SHALL BE KEPT CLEAR OF TRASH AND DEBRIS AT ALL TIMES.

ANTICIPATED WASTE MATERIALS

THE FOLLOWING IS A LIST OF WASTE MATERIALS ANTICIPATED TO BE GENERATED AND STORED ON THE SITE DURING CONSTRUCTION.

- BRICK, CONCRETE, GYPSUM WALLBOARD, WOOD, METAL AND ASPHALT ROOFING MATERIALS WILL BE SEPARATED AND RECYCLED.
- OTHER SOLID WASTE SUCH AS TRASH, MISCELLANEOUS DEBRIS, MACHINERY WILL BE DISPOSED OF OFF-SITE. NO BURNING OF WASTED MATERIALS OF ANY KIND IS NOT ALLOWED. ALL MATERIALS SHALL BE STORED IN PROPER CONTAINERS PRIOR TO DISPOSAL.
- HAZARDOUS MATERIALS ARE NOT ANTICIPATED TO BE STORED ON SITE. HOWEVER, ANY MATERIALS THAT POSE A RISK TO THE ENVIRONMENT SUCH AS PAINTS AND SOLVENTS MUST BE PROPERLY STORED AND COVERED FROM THE ELEMENTS.
- CONCRETE WASHOUT SHALL OCCUR IN A CONTROLLED FASHION IN DESIGNATED AREAS LOCATED OUTSIDE OF THE 100-FOOT BUFFER ZONE.
- A SANITARY WASTE STATION SHALL BE PROVIDED AND DISPOSED OF BY A LICENSED SANITARY HAULER.



OWNERS:

Varney Bros Sand and Gravel, Inc.
79 Hartford Street
Bellingham, MA 02019

SAK II Realty Trust
202 Elm Street
Blackstone, MA 01504

APPLICANT:

Wall Street Development Corp.
P.O. Box 272
Westwood, MA 02090

TITLE:

EROSION AND SEDIMENT CONTROL PLAN
for
Blackstone Street Improvements
Bellingham, MA



10/31/25

PROFESSIONAL ENGINEER

PREPARED BY:



ALLEN ENGINEERING & ASSOCIATES

Civil Engineers · Surveyors
Land Development Consultants
140 Hartford Avenue East
Hopedale, Ma 01747
(508) 381-3212 · www.allen-ea.com

SCALE:

1"=40 FEET

DATE:

February 14, 2025

REVISIONS

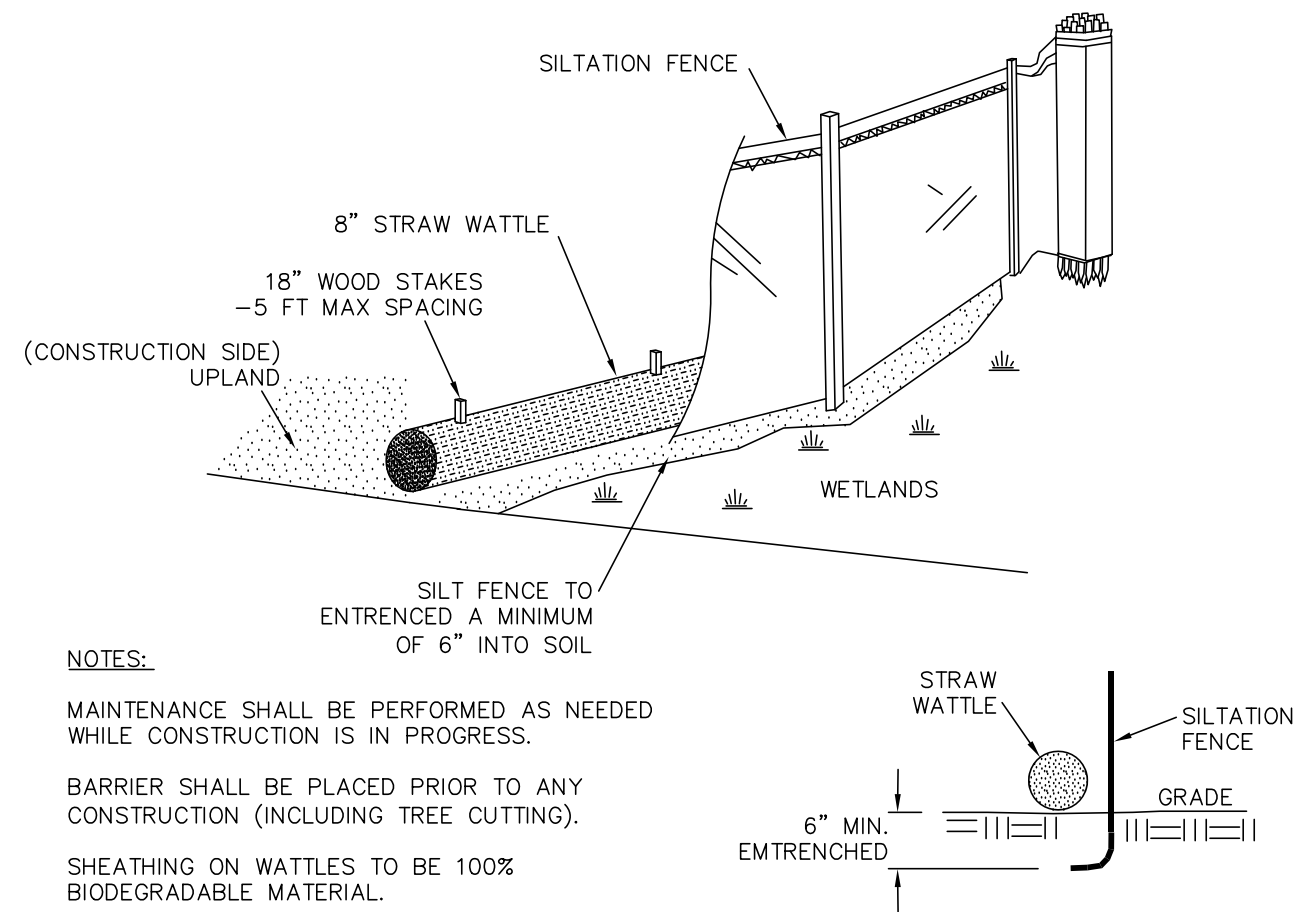
#	DATE	DESCRIPTION	INIT
1	6-20-25	ROADWAY AND DRAINAGE	MJD
2	10-31-25	PER PEER REVIEW	MJD

JOB NO:

00454

SHEET:

C-13

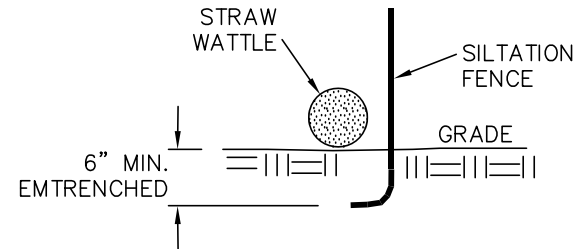


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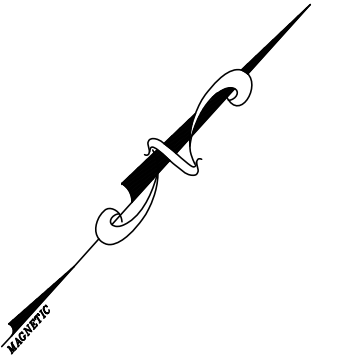
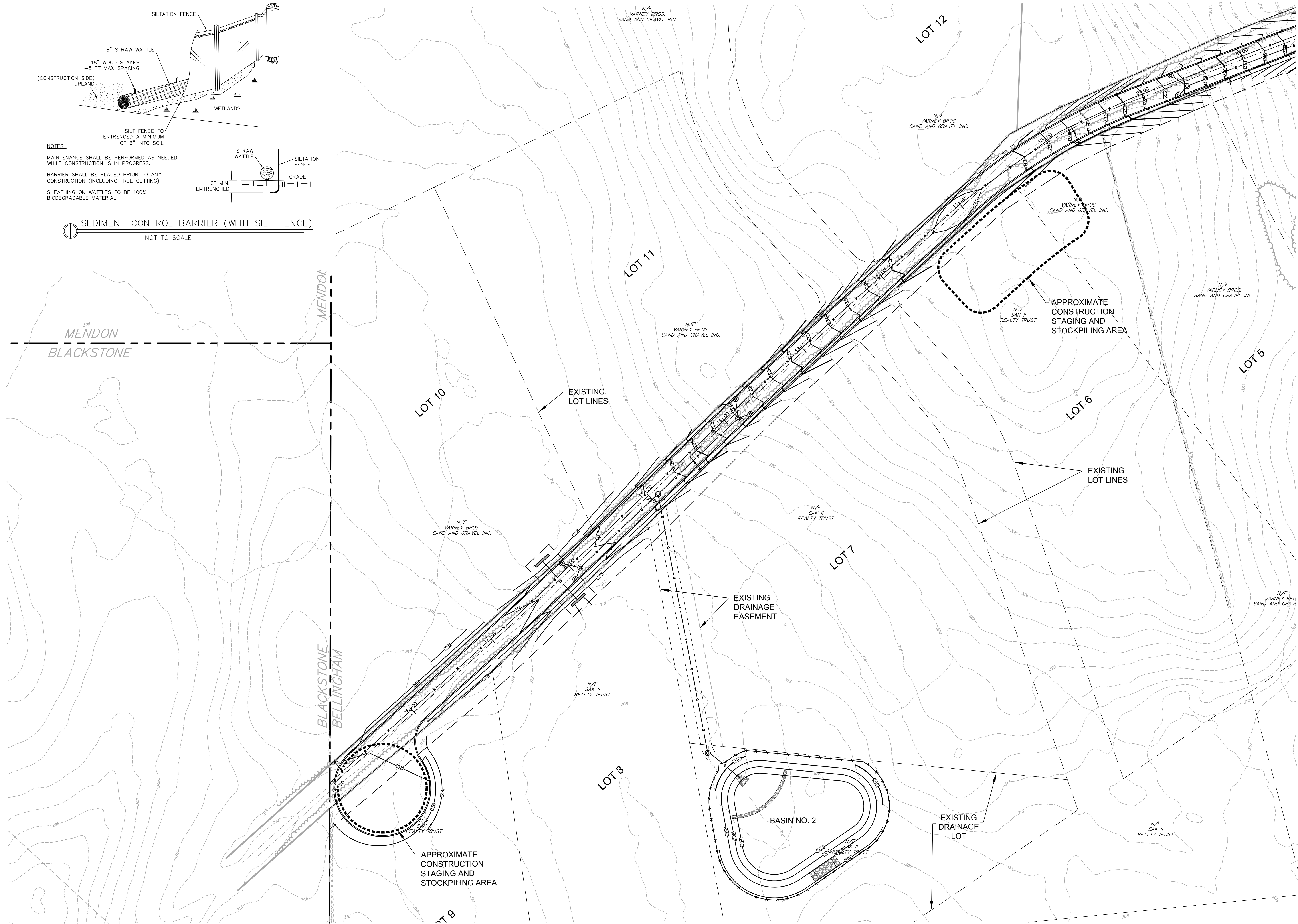
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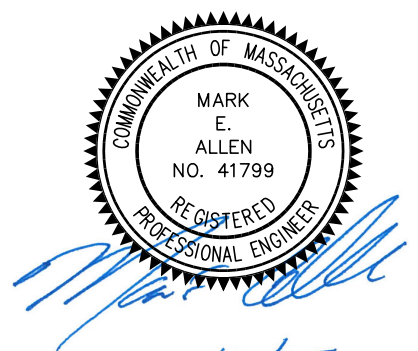
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