

Lake Hiawatha Drainage and Water Main  
Replacement Project  
Lakeshore Drive  
Bellingham, Massachusetts

## NOTICE OF INTENT

Town of Bellingham  
Department of Public Works  
215 Depot Street  
Bellingham, MA 02019

November 2025

**Tighe&Bond**



100% Recyclable 

B0852-022  
November 25, 2025

Michael O'Herron, Chairman  
Bellingham Conservation Commission  
Municipal Center  
10 Mechanic Street  
Bellingham, MA 02019

Re: **Notice of Intent**  
**Lake Hiawatha Drainage and Water Main Replacement Project**  
**Lakeshore Drive, Bellingham**

Dear Members of the Commission:

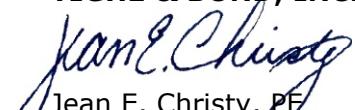
On behalf of the Town of Bellingham (Town) Department of Public Works (DPW), Tighe & Bond respectfully submits this Notice of Intent (NOI) for the authorization to update the existing stormwater management infrastructure in the Lake Hiawatha area for flood mitigation and water quality improvement and make improvements to the water main in Lakeshore Drive, Indian Run Road and Bernier Lane. The drainage improvements include replacing the existing drainage system within Lake Shore Drive to address flooding concerns in the area and treat stormwater runoff quality before discharge to Lake Hiawatha. The proposed improvements are in response to frequent flash flooding events within Lakeshore Drive. Water main improvements include replacing the existing 6-inch asbestos concrete (AC) water main along Lakeshore Drive with an 8-inch diameter ductile iron water main to the Blackstone Town line (approximately 2,500 linear feet), replacing the existing 2-inch water line in Bernier Lane with a 6-inch ductile iron service, and a new connection between existing 6-inch CLCI water mains in Indian Run Road between approximately 46 Indian Run Road and 56 Indian Run Road (approximately 250 feet). The existing 6-inch asbestos concrete (AC) water main will be abandoned in place to minimize AC disturbance. The project is intended for Spring 2026 construction and is necessary to prevent damage to private and public property due to increased storm frequency and intensity.

This NOI is being filed under the Massachusetts *Wetlands Protection Act* (M.G.L. c. 131 § 40, or WPA) and the Town of Bellingham Wetlands Protection Bylaw (Section IV) and implementing regulations. The proposed work will occur within Inland Bank, Land Under Water, and Bordering Land Subject to Flooding. Work will also occur within the 100-foot Buffer Zone to Inland Bank under both the WPA and the Bellingham Wetlands Bylaw, and the 0-25-Foot No Disturbance Zone under the bylaw.

Thank you in advance for your review of this NOI. Should you have any questions or require additional information, please contact me at (413) 572-3238 or via email at [jchristy@tighebond.com](mailto:jchristy@tighebond.com). We look forward to your response.

Very truly yours,

**TIGHE & BOND, INC.**

  
Jean E. Christy, PE  
Principal Engineer



Copy: MassDEP, Central Regional Office Division of Wetlands and Waterways  
Jesse Riedle, Director, Town of Bellingham Department of Public Works

\\tighebond.com\data\Data\Projects\B\B0852 Bellingham MS4 Engineering\022 Lake Hiawatha Drain and Water\Permitting\Hiawatha - NOI\2 - Cover Letter\2.CoverLetter.docx



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J:\B\B0852 Bellingham MS4 Engineering\009 Lake Hiawatha Drainage Design\Permitting\Hiawatha - NOI\4 - Narrative\4.NOI  
Narrative.docx

## **FORMS: WPA Form 3**



## Massachusetts Department of Environmental Protection

Bureau of Resource Protection - Wetlands

# WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

Bellingham

City/Town

**Important:**  
When filling out  
forms on the  
computer, use  
only the tab key  
to move your  
cursor - do not  
use the return  
key.



**Note:**  
Before  
completing this  
form consult  
your local  
Conservation  
Commission  
regarding any  
municipal bylaw  
or ordinance.

## A. General Information

1. Project Location (**Note:** electronic filers will click on button to locate project site):

Lakeshore Drive, Indian Run Road & Bernier  
Lane

Bellingham 02019

b. City/Town

Latitude and Longitude:

42.054025 -71.49277

c. Zip Code

074, 070

d. Latitude

f. Assessors Map/Plat Number

078, 032

e. Longitude

g. Parcel /Lot Number

2. Applicant:

Jesse

Riedel

a. First Name

b. Last Name

Bellingham Department of Public Works

c. Organization

215 Depot Street

d. Street Address

Bellingham

MA

02019

e. City/Town

f. State

g. Zip Code

(508) 966-5816

(508) 966-5814

h. Phone Number

i. Fax Number

JRiedle@bellinghamma.org

j. Email Address

3. Property owner (required if different from applicant):  Check if more than one owner

See attached Table 2-1

a. First Name

b. Last Name

c. Organization

d. Street Address

e. City/Town

f. State

g. Zip Code

h. Phone Number

i. Fax Number

j. Email address

4. Representative (if any):

Jean

Christy

a. First Name

b. Last Name

Tighe & Bond, Inc.

c. Company

53 Southampton Road

d. Street Address

Westfield

MA

01085

e. City/Town

f. State

g. Zip Code

(413) 572-3238

jechristy@tighebond.com

h. Phone Number

i. Fax Number

j. Email address

5. Total WPA Fee Paid (from NOI Wetland Fee Transmittal Form):

N/A - Municipal project

a. Total Fee Paid

b. State Fee Paid

c. City/Town Fee Paid



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### A. General Information (continued)

6. General Project Description:

Improved stormwater collection, treatment, and conveyance, as well as water main improvement work. Refer to the narrative for details.

7a. Project Type Checklist: (Limited Project Types see Section A. 7b.)

1. <input type="checkbox"/> Single Family Home	2. <input type="checkbox"/> Residential Subdivision
3. <input type="checkbox"/> Commercial/Industrial	4. <input type="checkbox"/> Dock/Pier
5. <input checked="" type="checkbox"/> Utilities	6. <input type="checkbox"/> Coastal engineering Structure
7. <input type="checkbox"/> Agriculture (e.g., cranberries, forestry)	8. <input type="checkbox"/> Transportation
9. <input type="checkbox"/> Other	

7b. Is any portion of the proposed activity eligible to be treated as a limited project (including Ecological Restoration Limited Project) subject to 310 CMR 10.24 (coastal) or 310 CMR 10.53 (inland)?

1.  Yes  No      If yes, describe which limited project applies to this project. (See 310 CMR 10.24 and 10.53 for a complete list and description of limited project types)

2. Limited Project Type

If the proposed activity is eligible to be treated as an Ecological Restoration Limited Project (310 CMR 10.24(8), 310 CMR 10.53(4)), complete and attach Appendix A: Ecological Restoration Limited Project Checklist and Signed Certification.

8. Property recorded at the Registry of Deeds for:

Norfolk

a. County

25443, 40951

c. Book

b. Certificate # (if registered land)

10, 518

d. Page Number

### B. Buffer Zone & Resource Area Impacts (temporary & permanent)

- Buffer Zone Only – Check if the project is located only in the Buffer Zone of a Bordering Vegetated Wetland, Inland Bank, or Coastal Resource Area.
- Inland Resource Areas (see 310 CMR 10.54-10.58; if not applicable, go to Section B.3, Coastal Resource Areas).

Check all that apply below. Attach narrative and any supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.



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### B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

For all projects affecting other Resource Areas, please attach a narrative explaining how the resource area was delineated.

<u>Resource Area</u>	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
a. <input checked="" type="checkbox"/> Bank	100 1. linear feet	2. linear feet
b. <input type="checkbox"/> Bordering Vegetated Wetland	0 1. square feet	2. square feet
c. <input type="checkbox"/> Land Under Waterbodies and Waterways	0 1. square feet 0 3. cubic yards dredged	2. square feet
<u>Resource Area</u>	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
d. <input checked="" type="checkbox"/> Bordering Land Subject to Flooding	923 1. square feet 0 3. cubic feet of flood storage lost	2. square feet 4. cubic feet replaced
e. <input type="checkbox"/> Isolated Land Subject to Flooding	1. square feet  2. cubic feet of flood storage lost	3. cubic feet replaced
f. <input checked="" type="checkbox"/> Riverfront Area	Quick Stream 1. Name of Waterway (if available) - <b>specify coastal or inland</b>	
2. Width of Riverfront Area (check one):		
<input type="checkbox"/> 25 ft. - Designated Densely Developed Areas only		
<input type="checkbox"/> 100 ft. - New agricultural projects only		
<input checked="" type="checkbox"/> 200 ft. - All other projects		
3. Total area of Riverfront Area on the site of the proposed project:	0 square feet	
4. Proposed alteration of the Riverfront Area:		
0 a. total square feet	0 b. square feet within 100 ft.	0 c. square feet between 100 ft. and 200 ft.
5. Has an alternatives analysis been done and is it attached to this NOI?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
6. Was the lot where the activity is proposed created prior to August 1, 1996?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
3. <input type="checkbox"/> Coastal Resource Areas: (See 310 CMR 10.25-10.35)		

**Note:** for coastal riverfront areas, please complete **Section B.2.f.** above.



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### B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

Check all that apply below. Attach narrative and supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.

Online Users:  
Include your  
document  
transaction  
number  
(provided on your  
receipt page)  
with all  
supplementary  
information you  
submit to the  
Department.

<u>Resource Area</u>	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
a. <input type="checkbox"/> Designated Port Areas	Indicate size under Land Under the Ocean, below	
b. <input type="checkbox"/> Land Under the Ocean	1. square feet	
	2. cubic yards dredged	
c. <input type="checkbox"/> Barrier Beach	Indicate size under Coastal Beaches and/or Coastal Dunes below	
d. <input type="checkbox"/> Coastal Beaches	1. square feet	2. cubic yards beach nourishment
e. <input type="checkbox"/> Coastal Dunes	1. square feet	2. cubic yards dune nourishment
<u>Size of Proposed Alteration</u>		
f. <input type="checkbox"/> Coastal Banks	1. linear feet	
g. <input type="checkbox"/> Rocky Intertidal Shores	1. square feet	
h. <input type="checkbox"/> Salt Marshes	1. square feet	2. sq ft restoration, rehab., creation
i. <input type="checkbox"/> Land Under Salt Ponds	1. square feet	
j. <input type="checkbox"/> Land Containing Shellfish	2. cubic yards dredged	
k. <input type="checkbox"/> Fish Runs	1. square feet	
Indicate size under Coastal Banks, inland Bank, Land Under the Ocean, and/or inland Land Under Waterbodies and Waterways, above		
	1. cubic yards dredged	
l. <input type="checkbox"/> Land Subject to Coastal Storm Flowage	1. square feet	
4. <input type="checkbox"/> Restoration/Enhancement	If the project is for the purpose of restoring or enhancing a wetland resource area in addition to the square footage that has been entered in Section B.2.b or B.3.h above, please enter the additional amount here.	
	a. square feet of BVW	b. square feet of Salt Marsh
5. <input type="checkbox"/> Project Involves Stream Crossings		
	a. number of new stream crossings	b. number of replacement stream crossings



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### C. Other Applicable Standards and Requirements

This is a proposal for an Ecological Restoration Limited Project. Skip Section C and complete Appendix A: Ecological Restoration Limited Project Checklists – Required Actions (310 CMR 10.11).

#### Streamlined Massachusetts Endangered Species Act/Wetlands Protection Act Review

1. Is any portion of the proposed project located in **Estimated Habitat of Rare Wildlife** as indicated on the most recent Estimated Habitat Map of State-Listed Rare Wetland Wildlife published by the Natural Heritage and Endangered Species Program (NHESP)? To view habitat maps, see the *Massachusetts Natural Heritage Atlas* or go to [http://maps.massgis.state.ma.us/PRI\\_EST\\_HAB/viewer.htm](http://maps.massgis.state.ma.us/PRI_EST_HAB/viewer.htm).

a.  Yes  No

If yes, include proof of mailing or hand delivery of NOI to:

Natural Heritage and Endangered Species Program  
 Division of Fisheries and Wildlife  
 1 Rabbit Hill Road  
 Westborough, MA 01581

August 2021

b. Date of map

If yes, the project is also subject to Massachusetts Endangered Species Act (MESA) review (321 CMR 10.18). To qualify for a streamlined, 30-day, MESA/Wetlands Protection Act review, please complete Section C.1.c, and include requested materials with this Notice of Intent (NOI); OR complete Section C.2.f, if applicable. *If MESA supplemental information is not included with the NOI, by completing Section 1 of this form, the NHESP will require a separate MESA filing which may take up to 90 days to review (unless noted exceptions in Section 2 apply, see below).*

- c. Submit Supplemental Information for Endangered Species Review\*

1.  Percentage/acreage of property to be altered:

(a) within wetland Resource Area \_\_\_\_\_ percentage/acreage

(b) outside Resource Area \_\_\_\_\_ percentage/acreage

2.  Assessor's Map or right-of-way plan of site

2.  Project plans for entire project site, including wetland resource areas and areas outside of wetlands jurisdiction, showing existing and proposed conditions, existing and proposed tree/vegetation clearing line, and clearly demarcated limits of work \*\*

(a)  Project description (including description of impacts outside of wetland resource area & buffer zone)

(b)  Photographs representative of the site

\* Some projects **not** in Estimated Habitat may be located in Priority Habitat, and require NHESP review (see <https://www.mass.gov/massachusetts-endangered-species-act-mesa-regulatory-review>).

Priority Habitat includes habitat for state-listed plants and strictly upland species not protected by the Wetlands Protection Act.

\*\* MESA projects may not be segmented (321 CMR 10.16). The applicant must disclose full development plans even if such plans are not required as part of the Notice of Intent process.



## Massachusetts Department of Environmental Protection

Bureau of Resource Protection - Wetlands

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### C. Other Applicable Standards and Requirements (cont'd)

(c)  MESA filing fee (fee information available at <https://www.mass.gov/how-to/how-to-file-for-a-mesa-project-review>).

Make check payable to "Commonwealth of Massachusetts - NHESP" and **mail to NHESP** at above address

*Projects altering 10 or more acres of land, also submit:*

(d)  Vegetation cover type map of site

(e)  Project plans showing Priority & Estimated Habitat boundaries

(f) OR Check One of the Following

1.  Project is exempt from MESA review.

Attach applicant letter indicating which MESA exemption applies. (See 321 CMR 10.14, <https://www.mass.gov/service-details/exemptions-from-review-for-projectsactivities-in-priority-habitat>; the NOI must still be sent to NHESP if the project is within estimated habitat pursuant to 310 CMR 10.37 and 10.59.)

2.  Separate MESA review ongoing.

a. NHESP Tracking #

b. Date submitted to NHESP

3.  Separate MESA review completed.

Include copy of NHESP "no Take" determination or valid Conservation & Management Permit with approved plan.

3. For coastal projects only, is any portion of the proposed project located below the mean high water line or in a fish run?

a.  Not applicable – project is in inland resource area only      b.  Yes  No

If yes, include proof of mailing, hand delivery, or electronic delivery of NOI to either:

South Shore - Cohasset to Rhode Island border, and  
the Cape & Islands:

North Shore - Hull to New Hampshire border:

Division of Marine Fisheries -  
Southeast Marine Fisheries Station  
Attn: Environmental Reviewer  
836 South Rodney French Blvd.  
New Bedford, MA 02744  
Email: [dmf.envreview-south@mass.gov](mailto:dmf.envreview-south@mass.gov)

Division of Marine Fisheries -  
North Shore Office  
Attn: Environmental Reviewer  
30 Emerson Avenue  
Gloucester, MA 01930  
Email: [dmf.envreview-north@mass.gov](mailto:dmf.envreview-north@mass.gov)

Also if yes, the project may require a Chapter 91 license. For coastal towns in the Northeast Region, please contact MassDEP's Boston Office. For coastal towns in the Southeast Region, please contact MassDEP's Southeast Regional Office.

c.  Is this an aquaculture project?

d.  Yes  No

If yes, include a copy of the Division of Marine Fisheries Certification Letter (M.G.L. c. 130, § 57).



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### C. Other Applicable Standards and Requirements (cont'd)

4. Is any portion of the proposed project within an Area of Critical Environmental Concern (ACEC)?

a.  Yes  No If yes, provide name of ACEC (see instructions to WPA Form 3 or MassDEP Website for ACEC locations). **Note:** electronic filers click on Website.

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b. ACEC

5. Is any portion of the proposed project within an area designated as an Outstanding Resource Water (ORW) as designated in the Massachusetts Surface Water Quality Standards, 314 CMR 4.00?

a.  Yes  No

6. Is any portion of the site subject to a Wetlands Restriction Order under the Inland Wetlands Restriction Act (M.G.L. c. 131, § 40A) or the Coastal Wetlands Restriction Act (M.G.L. c. 130, § 105)?

a.  Yes  No

7. Is this project subject to provisions of the MassDEP Stormwater Management Standards?

a.  Yes. Attach a copy of the Stormwater Report as required by the Stormwater Management Standards per 310 CMR 10.05(6)(k)-(q) and check if:

1.  Applying for Low Impact Development (LID) site design credits (as described in Stormwater Management Handbook Vol. 2, Chapter 3)
2.  A portion of the site constitutes redevelopment
3.  Proprietary BMPs are included in the Stormwater Management System.

b.  No. Check why the project is exempt:

1.  Single-family house
2.  Emergency road repair
3.  Small Residential Subdivision (less than or equal to 4 single-family houses or less than or equal to 4 units in multi-family housing project) with no discharge to Critical Areas.

### D. Additional Information

This is a proposal for an Ecological Restoration Limited Project. Skip Section D and complete Appendix A: Ecological Restoration Notice of Intent – Minimum Required Documents (310 CMR 10.12).

Applicants must include the following with this Notice of Intent (NOI). See instructions for details.

**Online Users:** Attach the document transaction number (provided on your receipt page) for any of the following information you submit to the Department.

1.  USGS or other map of the area (along with a narrative description, if necessary) containing sufficient information for the Conservation Commission and the Department to locate the site. (Electronic filers may omit this item.)
2.  Plans identifying the location of proposed activities (including activities proposed to serve as a Bordering Vegetated Wetland [BVW] replication area or other mitigating measure) relative to the boundaries of each affected resource area.



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#### D. Additional Information (cont'd)

3.  Identify the method for BVW and other resource area boundary delineations (MassDEP BVW Field Data Form(s), Determination of Applicability, Order of Resource Area Delineation, etc.), and attach documentation of the methodology.

4.  List the titles and dates for all plans and other materials submitted with this NOI.

Lake Hiawatha Drainage and Water Main Replacement (Permit Drawings)

a. Plan Title

Tighe & Bond, Inc.

b. Prepared By

November 2025

d. Final Revision Date

c. Signed and Stamped by

1" = 20' (or as noted)

e. Scale

f. Additional Plan or Document Title

g. Date

5.  If there is more than one property owner, please attach a list of these property owners not listed on this form.

6.  Attach proof of mailing for Natural Heritage and Endangered Species Program, if needed.

7.  Attach proof of mailing for Massachusetts Division of Marine Fisheries, if needed.

8.  Attach NOI Wetland Fee Transmittal Form

9.  Attach Stormwater Report, if needed.

#### E. Fees

1.  Fee Exempt: No filing fee shall be assessed for projects of any city, town, county, or district of the Commonwealth, federally recognized Indian tribe housing authority, municipal housing authority, or the Massachusetts Bay Transportation Authority.

Applicants must submit the following information (in addition to pages 1 and 2 of the NOI Wetland Fee Transmittal Form) to confirm fee payment:

2. Municipal Check Number

3. Check date

4. State Check Number

5. Check date

6. Payor name on check: First Name

7. Payor name on check: Last Name



**Massachusetts Department of Environmental Protection**  
 Bureau of Resource Protection - Wetlands  
**WPA Form 3 – Notice of Intent**  
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

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**F. Signatures and Submittal Requirements**

I hereby certify under the penalties of perjury that the foregoing Notice of Intent and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge. I understand that the Conservation Commission will place notification of this Notice in a local newspaper at the expense of the applicant in accordance with the wetlands regulations, 310 CMR 10.05(5)(a).

I further certify under penalties of perjury that all abutters were notified of this application, pursuant to the requirements of M.G.L. c. 131, § 40. Notice must be made by Certificate of Mailing or in writing by hand delivery or certified mail (return receipt requested) to all abutters within 100 feet of the property line of the project location.

*Jesse Ri*  
 1. Signature of Applicant

*John Salter*  
 3. Signature of Property Owner (if different)

*Jane Chastig*  
 5. Signature of Representative (if s/s)

*11/24/2025*  
 2. Date  
*11-25-25*

*11/24/2025*  
 4. Date  
 6. Date

**For Conservation Commission:**

Two copies of the completed Notice of Intent (Form 3), including supporting plans and documents, two copies of the NOI Wetland Fee Transmittal Form, and the city/town fee payment, to the Conservation Commission by certified mail or hand delivery.

**For MassDEP:**

One copy of the completed Notice of Intent (Form 3), including supporting plans and documents, one copy of the NOI Wetland Fee Transmittal Form, and a copy of the state fee payment to the MassDEP Regional Office (see Instructions) by certified mail or hand delivery.

**Other:**

If the applicant has checked the "yes" box in any part of Section C, Item 3, above, refer to that section and the Instructions for additional submittal requirements.

The original and copies must be sent simultaneously. Failure by the applicant to send copies in a timely manner may result in dismissal of the Notice of Intent.

**TABLE 2-1**

Summary of Parcels Comprising the Project Locus

<b>Parcel ID</b>	<b>Location</b>	<b>Owner</b>
70-0032-000	13 Lakeshore Drive	Loreto & Marlena Galante (Deed Book 40951, Page 508)
74-0078-000	0 Lakeshore Drive	Town of Bellingham (Deed Book 25443, Page 10)

## **FORMS: Wetland Fee Transmittal Form**





Massachusetts Department of Environmental Protection

Bureau of Resource Protection - Wetlands

## NOI Wetland Fee Transmittal Form

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

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**B. Fees (continued)**

Step 1/Type of Activity	Step 2/Number of Activities	Step 3/Individual Activity Fee	Step 4/Subtotal Activity Fee
N/A - Municipal Project			

## **C. Submittal Requirements**

a.) Complete pages 1 and 2 and send with a check or money order for the state share of the fee, payable to the Commonwealth of Massachusetts.

Department of Environmental Protection  
Box 4062  
Boston, MA 02211

b.) **To the Conservation Commission:** Send the Notice of Intent or Abbreviated Notice of Intent; a **copy** of this form; and the city/town fee payment.

**To MassDEP Regional Office** (see Instructions): Send a copy of the Notice of Intent or Abbreviated Notice of Intent; a **copy** of this form; and a **copy** of the state fee payment. (E-filers of Notices of Intent may submit these electronically.)

**TABLE 2-1**

Summary of Parcels Comprising the Project Locus

<b>Parcel ID</b>	<b>Location</b>	<b>Owner</b>
70-0032-000	13 Lakeshore Drive	Loreto & Marlena Galante (Deed Book 40951, Page 508)
74-0078-000	0 Lakeshore Drive	Town of Bellingham (Deed Book 25443, Page 10)

# **Bellingham Conservation Commission Permitting Checklist**

## **Checklist for filing under Bellingham Wetlands Protection Bylaw**

### **Notice of Intent and Abbreviated Notice of Intent:**

Completion of and submittal of three complete copies of the following:

- Notice of Intent Form or Abbreviated Notice of Intent Form  
Please use WPA and Bellingham Wetlands Protection Bylaw Form  
found on the Conservation Commission page of the town website  
(bellinghamma.org) unless filing under Wetlands Protection Act only  
Send appropriate copies to DEP
- Associated Stormwater Management forms if required
- Application for Permit under local bylaw
- Narrative on proposed work and mitigation as directed in Submittal Standards for small or large projects
- Abutter Notification Form
- Abutter list (certified from Board of Assessor's Office)
- Affidavit of Service-signed
- DEP Wetland transmittal form and associated town fee
- Bylaw fee form and associated fees (application fee & resource area verification fee)
- Plans as per Plan Specifications as outlined in "Section 29 Plan Requirements" of the  
Regulations
- Thumb Drive with pdf version of the entire filing

### **Request for Determination of Applicability:**

Completion of and submittal of three complete copies of the following:

- RDA Form  
Please use WPA and Bellingham Wetlands Protection Bylaw Form  
found on the Conservation Commission page of the town website  
(bellinghamma.org) unless filing under Wetlands Protection Act only (Send appropriate signed copy to DEP)
- Application for Permit under local bylaw
- Narrative on proposed work and mitigation as directed in Submittal Standards for small or large projects
- Bylaw fee form and associated fees (application fee & resource area verification fee)
- Associated Plans
- Thumb Drive with pdf version of the entire filing

### **Request for Extension to an existing Order of Conditions:**

Completion of and submittal of three copies of the following:

- Letter submittal requesting Extension including reasons for request
- Bylaw fee form and associated fee

### **Request for Amendment to an existing Order of Conditions:**

Completion of and submittal of three complete copies of the following:

- Letter submittal requesting Amendment including reasons for request
- Application for Permit under local bylaw
- Narrative on proposed work and mitigation as directed in Submittal Standards for small or large projects
- Bylaw fee form and associated fee
- Associated Plans
- Thumb Drive with pdf version of the entire filing

### **Request for Certificate of Compliance:**

Completion of and submittal of three copies of the following:

- Request for Certificate of Compliance Form 8A (Please use WPA and Bellingham Wetlands Protection Bylaw Form found on the Conservation Commission page of the town website  
(bellinghamma.org) unless filing under Wetlands Protection Act only
- As built Plans signed and stamped
- Thumb Drive with pdf version of the entire filing

**Tighe&Bond**

## **SECTION 1**

# **Section 1**

## **Introduction**

This Notice of Intent (NOI) has been filed by Tighe & Bond on behalf of the Bellingham Department of Public Works (DPW, "Applicant") pursuant to the Massachusetts Wetlands Protection Act (MAWPA; M.G.L. Chapter 131, § 40) and its implementing regulations (310 CMR 10.00) and the Town of Bellingham Wetlands Protection Bylaw and Regulations for the Lake Hiawatha Drainage and Water Main Replacement Project (the "Project") in the Lake Hiawatha area of the Town of Bellingham ("Town").

The Lakeshore Drive area experiences roadway and property flooding during storm events due to inadequate capacity in storm drainage catchment and conveyance to the discharge at Lake Hiawatha. The Project will reduce the occurrence of flash flooding in the area of Lakeshore Drive and Indian Run Road, as well as replace the water main in Lakeshore Drive, Indian Run Road and Bernier Lane. It complies with the Massachusetts Stormwater Standards and has been designed based on guidance in the Department of Environmental Protection (MassDEP) Stormwater Management Handbook. It also proposes improvements to address the requirement of the EPA's MS4 General Permit for the Town.

According to the Town's GIS data, storm drain infrastructure in Indian Run Road discharges overland through a Town-owned parcel linking Indian Run Road and Lakeshore Drive. The existing catch basins and storm drain infrastructure in Lakeshore Drive do not have adequate capacity to accept the runoff from the Indian Run Road discharge during large storm events, and frequently floods the roadway and private property. The storm drain system in this area discharges to Lake Hiawatha via a private property at 13 Lakeshore Drive.

The proposed Project includes updates to existing stormwater management infrastructure for flood mitigation and water quality improvements in the Lake Hiawatha area, as well as water main improvement work. Lake Hiawatha is not listed as impaired in the Massachusetts Year 2022 Integrated List of Waters, and therefore does not have a targeted pollutant to address under the U.S. Environmental Protection Agency's (EPA) General Permits for Stormwater Discharges from Small Municipal Separate Storm Sewer Systems (MS4s); however, opportunities for improvement in water quality have been incorporated into the design for this NOI and structural BMPs have been sized to meet the post-construction stormwater management standards of the MS4 General Permit.

Water main improvements include replacement of the existing 6-inch asbestos cement (AC) water main on Lakeshore Drive between Scott Hill Boulevard to the Blackstone municipal line (approximately 2,500 feet) as well as the connection between two dead-end water line segments of concrete lined cast iron (CLCI) water main on Indian Run Road (approximately 250 feet) and replacement of the existing 2-inch service along Bernier Lane (approximately 250 feet).

**Tighe&Bond**

## **SECTION 2**

## Section 2

# Existing Conditions

The following section provides a site description and resource area characterization of the project area. Information in this section is based on direct observations made by Tighe & Bond wetland scientists during a site visit on June 15, 2022 and August 14, 2025. A desktop review was conducted of information available through the Massachusetts Geographic Information System (MassGIS) and other online resources.

### 2.1 Project Location

The proposed project area is located on the southern shores of Lake Hiawatha in Bellingham, Norfolk County, Massachusetts. The lake is privately owned and is roughly 60 acres in size, and spans the Bellingham (western portion) and Blackstone (eastern portion) town line. The improvements are proposed solely in Bellingham. The lake lies within the Blackstone Watershed where waters exit the lake and flow south to Harris Pond, eventually discharging to the Blackstone River. The improvements will be installed between Indian Run Road and Lakeshore Drive (east/west), then within Lakeshore Drive (northeast/southwest) to a catch basin just southwest of Bernier Lane, and finally under private property from Lakeshore Drive to the shore of Lake Hiawatha (southeast/northwest) (see Appendix A – Figures).

#### 2.1.1 Project Locus

The Project Locus, as that term is defined at 310 CMR 10.02, is comprised of two parcels of land, as summarized below in Table 2-1.

**TABLE 2-1**  
Summary of Parcels Comprising the Project Locus

Parcel ID	Location	Owner
70-0032-000	13 Lakeshore Drive	Loreto & Marlena Galante (Deed Book 40951, Page 508)
74-0078-000	0 Lakeshore Drive	Town of Bellingham (Deed Book 25443, Page 10)

Storm drainage improvements are proposed primarily within the Town's right-of-way, with demolition of the existing storm drain outlet occurring on private property. On-going discussions between the property owner of 13 Lakeshore Drive and the Town have resulted in the option to eliminate Town-owned infrastructure on private property, as discussed further in Section 3. The proposed water main work will occur within the Town's right-of-way. Services will be installed to property lines, but no work will occur on parcels other than 0 Lakeshore Drive and 13 Lakeshore Drive.

#### 2.1.2 Project Site

The Project Site, or Limit of Work, consists of approximately 78,645 square feet (sf) of land (total). The Project Site is accessed from Lakeshore Drive, Bernier Lane, Indian Run

Road, and other maintained residential areas. The Project Site is depicted on Figure 3 in Appendix A.

## 2.2 Methodology of Resource Area Investigations

Wetland evaluations of resource areas were performed in June 2022 and August 2025 by Tighe & Bond wetland scientists. Jurisdictional resource areas in the vicinity of the proposed work were delineated in accordance with the Delineating Bordering Vegetated Wetlands Under the Massachusetts Wetlands Protection Act (March 1995), the Corps of Engineers Wetlands Delineation Manual, Technical Report Y-87-1 (January, 1987), and the Regional Supplement to the Corps of Engineers Wetland Delineation Manual: Northcentral and Northeast Region (January, 2012).

Boundaries between jurisdictional wetland resource areas and non-wetland areas were delineated using pink survey flagging tape and marked with sequential alpha-numeric flag series. Flags were also surveyed using a hand-held Eos Aero GPS unit capable of sub meter accuracy and located using traditional survey methods. Wetland resource areas are shown on the Project Plans in Appendix B. Representative photographs are provided in Appendix C.

## 2.3 Description of Wetland Resource Areas

Wetland resource areas observed at and near the Project Site consist of Bank, Bordering Vegetated Wetlands (BVW), Land Under Water (LUW), and Bordering Land Subject to Flooding (BLSF).

**TABLE 2**  
Summary of Wetland Delineation Flag Series

Flag Series	Flag Numbers	Resource Area	Resource Area Description
1A	1A-1 through 1A-18	Bank – Lake Hiawatha	L1UBH <sup>1</sup>
2A/2B	2A-1 through 2A-18 2B-1 through 2B-18	Bank - Intermittent Stream	R4UBC <sup>2</sup>
3A	3A-1 through 3A-5	BVW	PFO1C <sup>3</sup>

<sup>1</sup>Lacustrine, Limnetic, Unconsolidated Bottom, Permanently Flooded

<sup>2</sup>Riverine, Intermittent, Streambed, Seasonally Flooded (R4SBC)

<sup>3</sup>Palustrine, Forested, Broadleaved Deciduous Seasonally Flooded (PFO1C)

### 2.3.1 Inland Bank

Inland Bank is defined at 310 CMR 10.54(2)(a) as "...the portion of the land surface which normally abuts and confines a water body. It occurs between a water body and a vegetated bordering wetland and adjacent floodplain, or, in the absence of these, it occurs between a water body and an upland."

#### 2.3.1.1 Series 1A

Flag Series 1A defines the Bank of Lake Hiawatha. The Bank is steep cut and well defined, composed of loose sand and small stones, and vegetated mostly by maintained lawn grasses such as Kentucky blue grass (*Poa pratensis*, FACU). Near Bank Flag 1A-7, the Bank transitions into manmade structures that separate the waterbody from upland-

maintained lawns. At 1A-16, the Bank transitions back into natural material of sand and small stones.

### **2.3.1.2 Flag Series 2A/2B**

Flag Series 2A/2B defines the Bank of an intermittent stream that flows through the Project Site from Buffy Road to a culvert on Lakeshore Drive. The stream is formed as a result of discharge originating from the Series 3A wetland and functions like a drainage channel. Between Flags 2A-14/2B-14 and 2A-13/2B-13, the stream is connected via a reinforced concrete culvert. Where daylighted, the Banks are narrow and steep, composed of stones and small cobbles that were anchored by fine loam and tree roots. Vegetation on the Banks consisted of eastern white pine (*Pinus strobus*, FACU), American beech (*Fagus grandifolia*, FACU), and red maple (*Acer rubrum*, FAC) trees with ground cover herbaceous species comprised of poison ivy (*Toxicodendron radicans*, FAC), mugwort (*Artemisia vulgaris*, UPL), and red maple saplings.

### **2.3.2 Land Under Waterbodies and Waterways**

As defined in 310 CMR 10.56(2)(a), "*Land Under Waterways is the land beneath any creek, river, stream, pond or lake. Said land may be composed of organic muck or peat, fine sediments, rocks or bedrock.*"

The existing substrate of Lake Hiawatha consisted of muck and fine sandy loam and was devoid of any observable vegetation. LUWW is also present between the mean annual low water mark and top of Bank in the 2A/2B series intermittent stream.

### **2.3.3 Bordering Vegetated Wetlands**

As defined in 310 CMR 10.55(2)(a), bordering vegetated wetlands are "*freshwater wetlands which border on creeks, rivers, streams, ponds and lakes.*

#### **2.3.3.1 Series 3A**

Flag Series 3A defines the boundary of a forested wetland located between Buffy Road and Indian Run Road. The wetland is best described as a Palustrine, Forested, Deciduous leaved dominated, and seasonally flooded. Groundwater from Wetland 3A consolidates downslope to form the Series 2A/2B stream. Vegetation in the wetland consisted of large, mature red maple and white pine trees and shrubs. Herbaceous vegetation within the wetland included jewelweed and poison ivy.

#### **2.3.4 Bordering Land Subject to Flooding**

Bordering Land Subject to Flooding (BLSF) is defined at 310 CMR 10.57(2)(a) and (c) as "...*an area with low, flat topography adjacent to and inundated by flood waters rising from creeks, rivers, streams, ponds, or lakes. It extends from the banks of these waterways and water bodies; where a bordering vegetated wetland occurs, it extends from said wetland... The boundary of Bordering Land Subject to Flooding is the estimated maximum lateral extent of flood water which will theoretically result from the statistical 100-year frequency storm. Said boundary shall be that determined by reference to the most recently available flood profile data prepared for the community within which the work is proposed under the National Flood Insurance Program..."*

The Federal Emergency Management Agency (FEMA) flood map (Community-Panel No. 25021C0311F), effective July 8, 2025, was consulted to evaluate the presence of jurisdictional Land Subject to Flooding at and near the Project Site. There is a Zone A

associated with Lake Hiawatha with no base flood elevation (BFE) assigned. Approximate limits of Zone A are displayed on the project drawings as provided by MassGIS and recent FEMA data. Although Flood Insurance Study (FIS) cross-sections are not available for the segment of Quick Stream to the northeast of Lake Hiawatha, an approximate 100-year flood elevation of 231.5' was determined using LiDAR topography relative to the Zone A limits, as provided by MassGIS.

## **2.4 Buffer Zone**

The MA WPA regulates a 100' Buffer Zone to resource areas at the Project Site including Bank, LUWW, and BVW. The Town of Bellingham requires a 100' Buffer Zone to the same resource areas, as well as to BLSF. Additionally, the Bellingham Wetlands Bylaw and Regulations regulate a 25' No Disturb Buffer and a 50' Temporary Disturbance Area. The state and local Buffer Zones are depicted on the Project Drawings in Appendix B.

## **2.5 Rare Species**

The Massachusetts Natural Heritage and Endangered Species Program (NHESP) Atlas, (15<sup>th</sup> edition, effective August 1, 2021) and MassGIS online mapping data (2021) were consulted during the preparation of this NOI. The project site is not located within the limits of Priority Habitats of Rare Species or Estimated Habitats of Rare Wildlife.

**Tighe&Bond**

## **SECTION 3**

## Section 3

# Project Description

The proposed project includes improvements to runoff collection and conveyance, with added stormwater quality treatment features, to reduce or eliminate flash flooding and improve runoff quality, as well as water main improvements. A portion of existing pavement within Lakeshore Drive will be restored to grass to improve drainage collection. The majority of the work will occur within the public right-of-way of Lakeshore Drive, with additional work occurring on private property at 13 Lakeshore Drive.

The existing outfall on private property at 13 Lakeshore Drive exists without an access or maintenance easement to the Town, preventing the Town from performing routine maintenance on the drainage pipe or outfall. Following numerous discussions with the property owner of 13 Lakeshore Drive and the Town, it was determined that the existing outfall should be demolished, and a new outfall on Town property would be preferred from an access and maintenance perspective. As such, the existing outfall is being relocated to the end of Bernier Lane. The work on private property includes the removal of an existing headwall and the abandonment of an existing outfall drainage pipe.

### 3.1 Objective

The Project seeks to improve runoff collection and flow characteristics to avoid flash flooding impacts to private properties, as well as replacement of water main. This will occur through:

- Installation of a new 18" pipe to collect flow from the 2A/2B stream (between Flags 2A-1/2B-1 and 2A-13/ 2B-13) at Indian Run Road.
- Installation of new drainage infrastructure between Indian Run Road and Lakeshore Drive to convey runoff down the slope.
- Installation of a new catch basin inlet to collect runoff from the 2A/2B stream (drainage channel).
- Installation of new drainage infrastructure within Lakeshore Drive and Bernier Lane to improve capacity of the storm drain collection system. A new outfall with stone outlet protection is proposed at the terminus of the drainage line in Bernier Lane.
- Installation of one water quality unit at the end of Bernier Lane to treat runoff from impervious surfaces prior to discharge to Lake Hiawatha.
- Removal of existing headwall on private property at 13 Lakeshore Drive and abandonment of outfall pipe.
- Replacement of existing 6-inch asbestos concrete (AC) water main along Lakeshore Drive with an 8-inch diameter ductile iron water main to the Blackstone Town line.
- Proposed connection between existing 6-inch CLCI water mains in Indian Run Road between approximately 46 Indian Run Road and 56 Indian Run Road.
- Replacement of 2-inch water line in Bernier Lane with a 6-inch ductile iron service.
- Full depth pavement reconstruction throughout extents of Project.

### **3.2 Storm Drainage Infrastructure**

Flow from an unnamed stream (between Flags 2A-1/2B-1 and 2A-13/ 2B-13) is proposed to be captured through a new 18" pipe at a new headwall along Indian Run Road, which will replace an existing 12" reinforced concrete pipe and provide additional conveyance capacity. This additional conveyance capacity is anticipated to improve hydraulic conditions upstream of the proposed pipe by reducing potential for localized flooding in the area. From the proposed 18" pipe, water will be conveyed down the Town-owned parcel between Indian Run Road and Lakeshore Drive through a series of drainage manholes. Stormwater runoff from within Lakeshore Drive will be captured through deep-sump, hooded catch basins, and flows will combine within Lakeshore Drive before they are conveyed down Bernier Lane for water quality treatment. The proposed water quality unit within Bernier Lane will remove floatable pollutants and Total Suspended Solids (TSS) prior to the proposed outfall to Lake Hiawatha.

The proposed project is intended to improve drainage conditions in the area by reducing the opportunity for flash-flooding, which occurs frequently within Lakeshore Drive following rain events due to undersized infrastructure. The addition of new deep-sump, hooded catchbasins within the roadway and at the outlet of the existing drainage channel will provide additional opportunity for runoff to enter the proposed drainage system, and upgraded pipe sizes will properly convey runoff from privately owned properties.

### **3.3 Roadway**

There will be full-depth pavement reconstruction throughout the entire Project extents. This will include portions of Lakeshore Drive, Indian Run Road, and Bernier Lane. The existing guardrail will be retained along the roadway in reconstructed areas.

### **3.4 Water Main**

The existing 6-inch asbestos concrete (AC) water main along Lakeshore Drive is proposed to be replaced with an 8-inch diameter ductile iron water main to the Blackstone Town line (approximately 2,500 linear feet). Because the existing water main is asbestos concrete, the proposed design will lay the new ductile iron water main in parallel to the existing water main to minimize asbestos concrete disturbance; therefore, the existing water main will be abandoned in place. The proposed connection between existing 6-inch CLCI water mains in Indian Run Road will extend approximately 250 feet between approximately 46 Indian Run Road and 56 Indian Run Road. The existing 2-inch water line in Bernier Lane will be replaced with a 6-inch ductile iron service.

### **3.5 Site Access and Controls Scope**

Access to the work will be along Lakeshore Drive, with access from the north and/or south. Excavators will be able to install the new infrastructure primarily from the public way, with the exception of the removal of the existing headwall and abandonment of existing drainage piping at 13 Lakeshore Drive. This work will occur on private property with consent from the property owner. A staging area will be set up for vehicles and materials within an area of Lakeshore Drive, outside of Buffer Zone. Erosion controls such as silt fence and straw bales/straw wattles will be installed within Buffer Zone to prevent unwanted debris from entering the drainage channel and lake before any ground disturbance will take place.

## 3.2 Anticipated Construction Sequence

Please note that the following sequence is based on Tighe & Bond's experience with similar projects and the sequence of construction may vary dependent on the contractor's proposed schedule.

1. Notify pertinent regulatory agencies of the construction schedule.
2. Install temporary sediment and erosion control measures and other Best Management Practices (BMPs) per the plans, including erosion control barrier at the proposed outfall location.
3. Schedule and conduct site walks with pertinent regulatory agencies to inspect construction-phase BMPs, as required.
4. Sawcut pavement and trench as necessary to demolish existing drainage infrastructure including catch basins, manholes, and piping.
5. Sawcut pavement and trench as necessary to install new storm drainage collection system per the project drawings, including replacement of existing culvert beneath Indian Run Road at existing headwall.
6. Sawcut pavement and trench as necessary to install new water main and services, hydrant connections per the project drawings.
7. Full depth pavement reconstruction.
8. Restore disturbed vegetated areas in in-kind.
9. Remove erosion control barriers once site has stabilized and regulatory agencies have authorized the actions.

## 3.3 Protective Measures

Protective measures consisting of straw wattles, geotextiles silt fencing, and/or straw bale barriers may be utilized when completing work adjacent to the wetland area as necessary in the field to minimize potential impacts to the resource areas, as shown on the project drawings. For work adjacent to Lake Hiawatha with the removal of the existing headwall, and the installation of a new outfall at Bernier Lane, an erosion control barrier will be installed to control sediment and prevent sediment-laden water from entering Lake Hiawatha. Standard erosion and sediment control best management practices are provided on the Site Plans attached separately, as well as in the Soil Erosion and Sediment Control Plan provided in the Stormwater Report in Appendix E.

**Tighe&Bond**

## **SECTION 4**

## Section 4

# Regulatory Compliance

This section summarizes the Project's relationship to and compliance with the Massachusetts Wetlands Protection Act (MAWPA) and its implementing regulations (310 CMR 10.00), the Town of Bellingham Wetlands Protection Bylaw (Chapter 235) and Regulations (Chapter 247).

### 4.1 Anticipated Wetland Impacts

Work associated with the improvement of storm drainage and water main infrastructure within Lakeshore Drive, Bernier Lane, and Indian Run Road will result in temporary and permanent alterations of inland Bank, BLSF, the 25-Foot No Disturbance Zone, the 50-Foot Temporary Disturbance Zone, and the 100-Foot Buffer Zone. No work will occur in LUWW or BVW. A summary of anticipated impacts is presented in Table 4-1.

**TABLE 4-1**  
Summary of Impacts

Resource Area	Temporary Alteration	Permanent Alteration
<b>Regulated by WPA</b>		
Bank	70 LF	30 LF
Land Under Water (LUW)	-	-
100-Foot Buffer to Bank/ LUW	6,752 SF	9,756 SF
BVW	-	-
100-Foot Buffer Zone to BVW	0 SF	0 SF
Bordering Land Subject to Flooding (BLSF)	826 SF	97 SF
<b>Locally Regulated<sup>1</sup></b>		
100-Foot Buffer to BLSF	2,047 SF	2,471 SF
25-Foot No Disturbance Zone (BLSF)	80 SF	386 SF
50-Foot Temporary Disturbance Zone (BLSF)	161 SF	735 SF
25-Foot No Disturbance Zone (Bank)	5,116 SF	933 SF
50-Foot Temporary Disturbance Zone (Bank)	5,924 SF	4,869 SF
25-Foot No Disturbance Zone (BVW)	0 SF	0 SF
50-Foot Temporary Disturbance Zone (BVW)	0 SF	0 SF
25-Foot No Disturbance Zone (Total)	5,196 SF	1,319 SF
50-Foot Temporary Disturbance Zone (Total)	6,085 SF	5,604 SF

<sup>1</sup> Locally regulated buffer zones were measured from the top of bank, bordering vegetated wetlands, and bordering lands subject to flooding boundaries. There is overlap between impacts within locally regulated buffer zones between top of bank and bordering lands subject to flooding.

Work within the Bank will include the removal of the existing outfall pipe and removal of the existing headwall on private property at 13 Lakeshore Drive, as well as the replacement of the headwall and drainage pipe at the inlet to the drainage system within Indian Run Road. The proposed outfall location at the end of Bernier Lane is located outside of the limits of Bank. Impacts to Bank due to removal of the existing headwall will be restored.

## **4.2 WPA Performance Standards**

As noted in Table 4-1, the proposed project will result in temporary and permanent alterations to inland Bank and BLSF. The following sections summarize the project's compliance with the general Performance Standards (provided in italics) established in the MA WPA regulations for the proposed impacts. For resource areas present at the site that will not be impacted by the Project, compliance with performance standards is not addressed below.

### **4.2.1 Bank**

*310 CMR 10.54 (4) General Performance Standard.*

*(a) Where the presumption set forth in 310 CMR 10.54(3) is not overcome, any proposed work on a Bank shall not impair the following:*

- 1. the physical stability of the Bank;*

The Bank along the 2A/2B drainage channel (unnamed intermittent stream) consists of cobbles and boulders. No work is proposed between Flags 2A-14/2B-14 and 2A-16/2B-16 or further to the southeast where this stream channel continues. Flow that is currently conveyed along the portion of the stream between Flags 2A-1/2B-1 and 2A-13/2B-13 will be directed into a new 18" pipe. The proposed pipe is located upgradient and outside of the Bank, and this work will not impair the physical stability of the current stream bank.

The Bank along Lake Hiawatha is grassy and maintained lawn, with the exception of the approximately 8' of concrete headwall (to be removed). The work at the Bank of Lake Hiawatha includes removal of the existing concrete headwall. This area will be restored with bioengineering materials (i.e., coir log, native seed mix) to maintain the physical stability of the Bank at this location following removal of the headwall.

- 2. the water carrying capacity of the existing channel within the Bank;*

The carrying capacity of the unnamed intermittent stream channel or Lake Hiawatha will not change as a result of this project.

- 3. ground water and surface water quality;*

The proposed activities are not anticipated to impair ground water and surface water quality. Water quality will be improved as part of the Project through proposed water quality treatment of stormwater runoff prior to discharge to the Lake. Additionally, best management practices will be implemented during construction to minimize impacts associated with erosion and sedimentation.

*4. the capacity of the Bank to provide breeding habitat, escape cover and food for fisheries;*

The Bank of the intermittent stream channel is unlikely to provide breeding habitat, escape cover and/or food for fisheries, as the contributing watershed size and 99 percent flow duration rate suggest that the stream does not support fisheries.

The Bank at Lake Hiawatha where alterations are proposed consists primarily of concrete, which has little benefits to fisheries. The area where the headwall is proposed to be removed will be restored and stabilized using bioengineering methods. The stabilized more natural Bank may provide improved habitat and escape cover for fisheries.

*5. the capacity of the Bank to provide important wildlife habitat functions. A project or projects on a single lot, for which Notice(s) of Intent is filed on or after November 1, 1987, that (cumulatively) alter(s) up to 10% or 50 feet (whichever is less) of the length of the bank found to be significant to the protection of wildlife habitat, shall not be deemed to impair its capacity to provide important wildlife habitat functions. In the case of a bank of a river or an intermittent stream, the impact shall be measured on each side of the stream or river. Additional alterations beyond the above threshold may be permitted if they will have no adverse effects on wildlife habitat, as determined by procedures contained in 310 CMR 10.60.*

The proposed project will result in the permanent alteration of less than 50 ft of Bank. As such, a Wildlife Habitat Evaluation is not required.

#### **4.2.2 Bordering Land Subject to Flooding**

The Performance Standards for Bordering Land Subject to Flooding are set forth at 310 CMR 10.57(4)(a). Work in BLSF is associated with installation of new outfall at the end of Bernier Lane. The proposed design involves excavation to install the new outfall and no new fill.

*1. Compensatory flood storage shall be provided for all flood storage volume that will be lost as the result of a proposed project within Bordering Land Subject to Flooding, when in the judgment of the issuing authority said loss will cause an increase or will contribute incrementally to an increase in the horizontal extent and level of flood water during peak flows.*

*Compensatory flood storage shall mean a volume not previously used for flood storage and shall be incrementally equal to the theoretical volume of flood water at each elevation, up to and including the 100-year flood elevation, which would be displaced by the proposed project. Such compensatory volume shall have an unrestricted*

*hydraulic connection to the same waterway or water body. Further, with respect to waterways, such compensatory volume shall be provided within the same reach of the river, stream or creek.*

The proposed Project will not result in an increase in fill in BLSF or a loss of flood storage capacity. As such, compensatory flood storage is not required.

2. *Work within Bordering Land Subject to Flooding, including work required to provide the above-specified compensatory flood storage, shall not restrict flows so as to cause an increase in flood stage or velocity.*

The proposed Project will not restrict flows such that an increase in flood stage or velocity occurs. As noted above, work in BLSF is limited to installation of a new outfall.

3. *Work in those portions of bordering land subject to flooding found to be significant to the protection of wildlife habitat shall not impair its capacity to provide important wildlife habitat functions. Except for work which would adversely affect vernal pool habitat, a project or projects on a single lot, for which Notice(s) of Intent is filed on or after November 1, 1987, that (cumulatively) alter(s) up to 10% or 5,000 square feet (whichever is less) of land in this resource area found to be significant to the protection of wildlife habitat, shall not be deemed to impair its capacity to provide important wildlife habitat functions. Additional alterations beyond the threshold, or altering vernal pool habitat, may be permitted if they will have no adverse effects on wildlife habitat, as determined by procedures contained in 310 CMR 10.60.*

The proposed project will result in 97 square feet of permanent impact in BLSF associated with the installation of a new outfall. As such, the Project is not subject to the requirement to perform a Wildlife Habitat Evaluation.

#### **4.2.3 Buffer Zone**

310 CMR 10.00 does not contain any performance standards specific to the 100-foot Buffer Zone. Temporary and permanent impacts will occur to Buffer Zone as a result of the proposed activities. Erosion control measures will be in place to protect adjacent resource areas.

### **4.3 Other Regulatory Compliance**

Chapter 243 of the Town of Bellingham General Bylaw enables The Town of Bellingham Conservation Commission to further regulate activities within jurisdictional resource areas through the Wetland Regulations.

Approximately 6,515 sf of work will occur within the 25-foot No Disturb Buffer Zone. This work includes the removal of headwall at Lake Hiawatha, abandonment of the existing drainage pipe, and the installation of a new catch basin and associated storm drainage infrastructure along the drainage channel. Work to replace the existing culvert beneath Indian Run Road at the existing headwall also constitutes impacts within the 25-foot No Disturb Buffer Zone. Further, approximately 5,174 sf of work will occur within the 25-50-foot Buffer Zone. This work includes the installation of drainage infrastructure and water main, as well as repaving and restoration activities. An additional 4,819 sf will occur within the 50-100-foot Buffer Zone, including full-depth pavement restoration, drainage structure installation, and water main installation.

## **4.4 Abutter Notification**

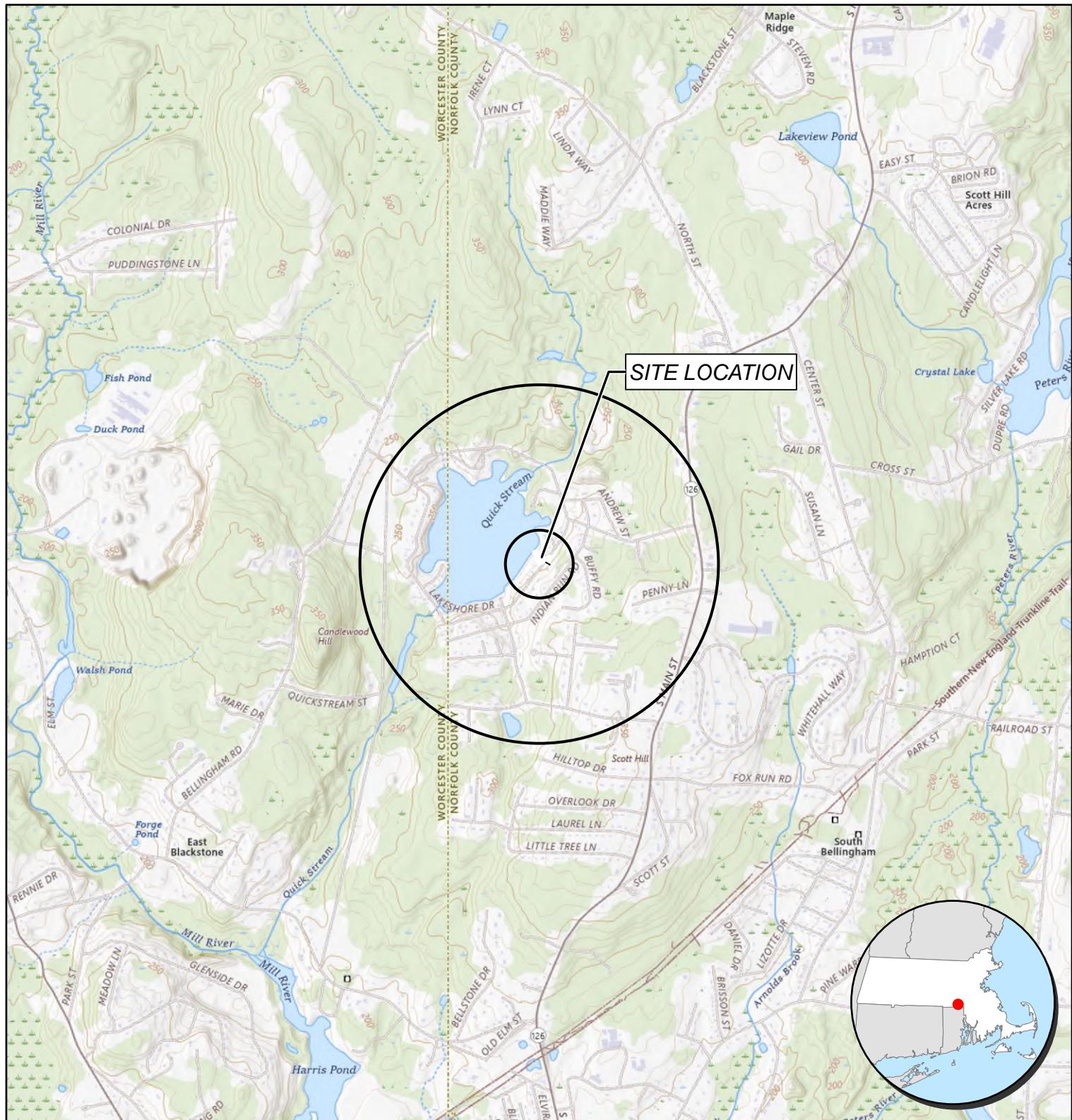
Abutters have been notified in accordance with the MA WPA and the Town of Bellingham Wetlands Regulations. A copy of the list of abutters and the abutter notification form are provided in Appendix C.

\\Tighebond.com\data\Data\Projects\B\B0852 Bellingham MS4 Engineering\022 Lake Hiawatha Drain and Water\Permitting\Hiawatha - NOI\4 - Narrative\4.NOI Narrative Final.docx

## **APPENDIX A**

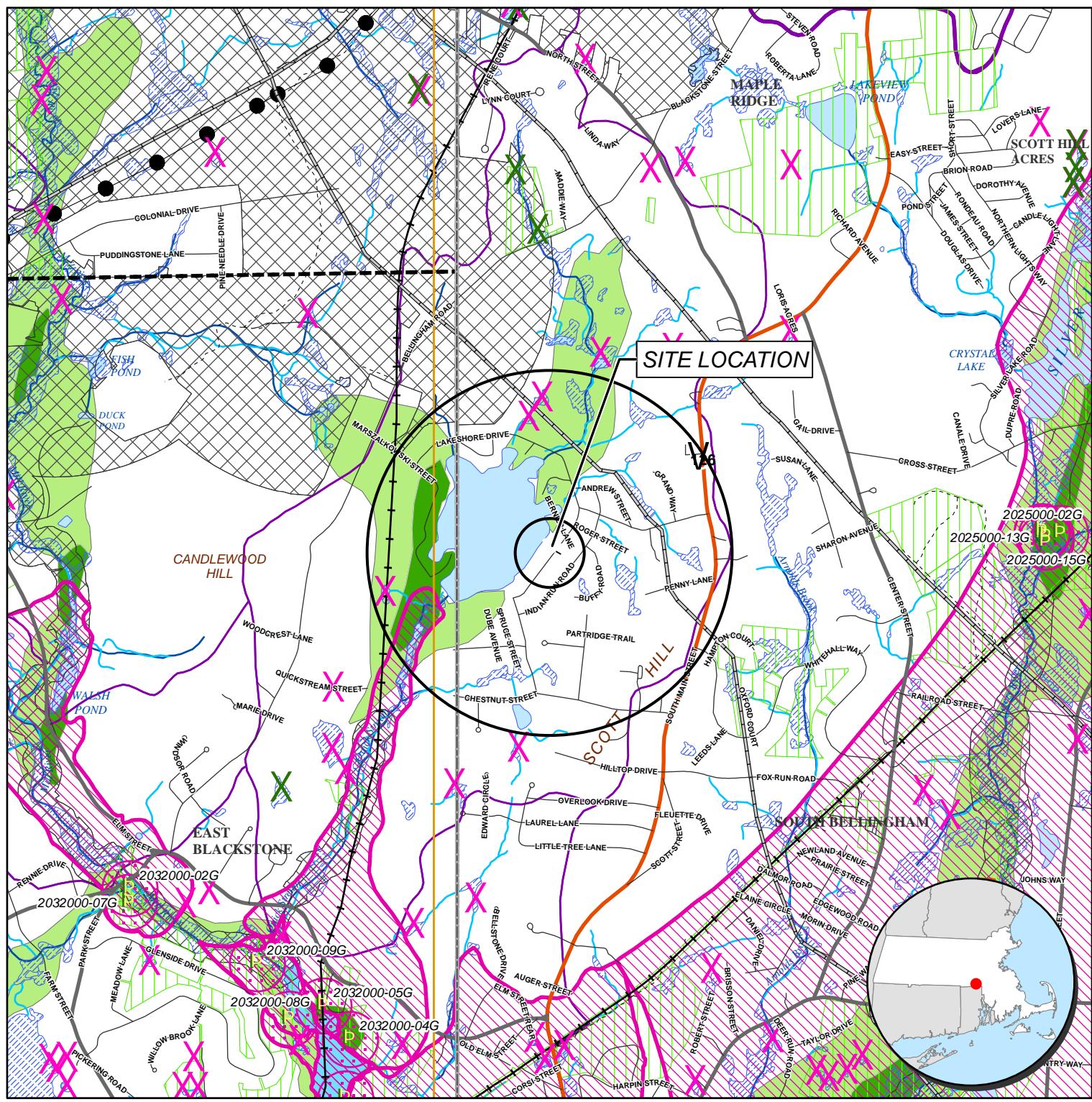
**FIGURE 1**  
**SITE LOCATION**  
November 2025

Lake Hiawatha  
Drainage and Water Main Replacement Project  
Bellingham, Massachusetts



**FIGURE 2**  
**PRIORITY RESOURCE**  
November 2025

Lake Hiawatha  
Drainage and Water Main Replacement Project  
Bellingham, Massachusetts



# FIGURE 3

## AERIAL

November 2025

Lake Hiawatha  
Drainage and Water Main Replacement Project  
Bellingham, Massachusetts



- Bank Flag
- Wetland Flag
- Delineated Bank
- Delineated Wetland Boundary

- Limits of Work
- - - Municipal Boundary
- Approximate Parcel Boundary

**FIGURE 4**  
**FEMA FLOOD ZONES**  
November 2025

Lake Hiawatha  
Drainage and Water Main Replacement Project  
Bellingham, Massachusetts



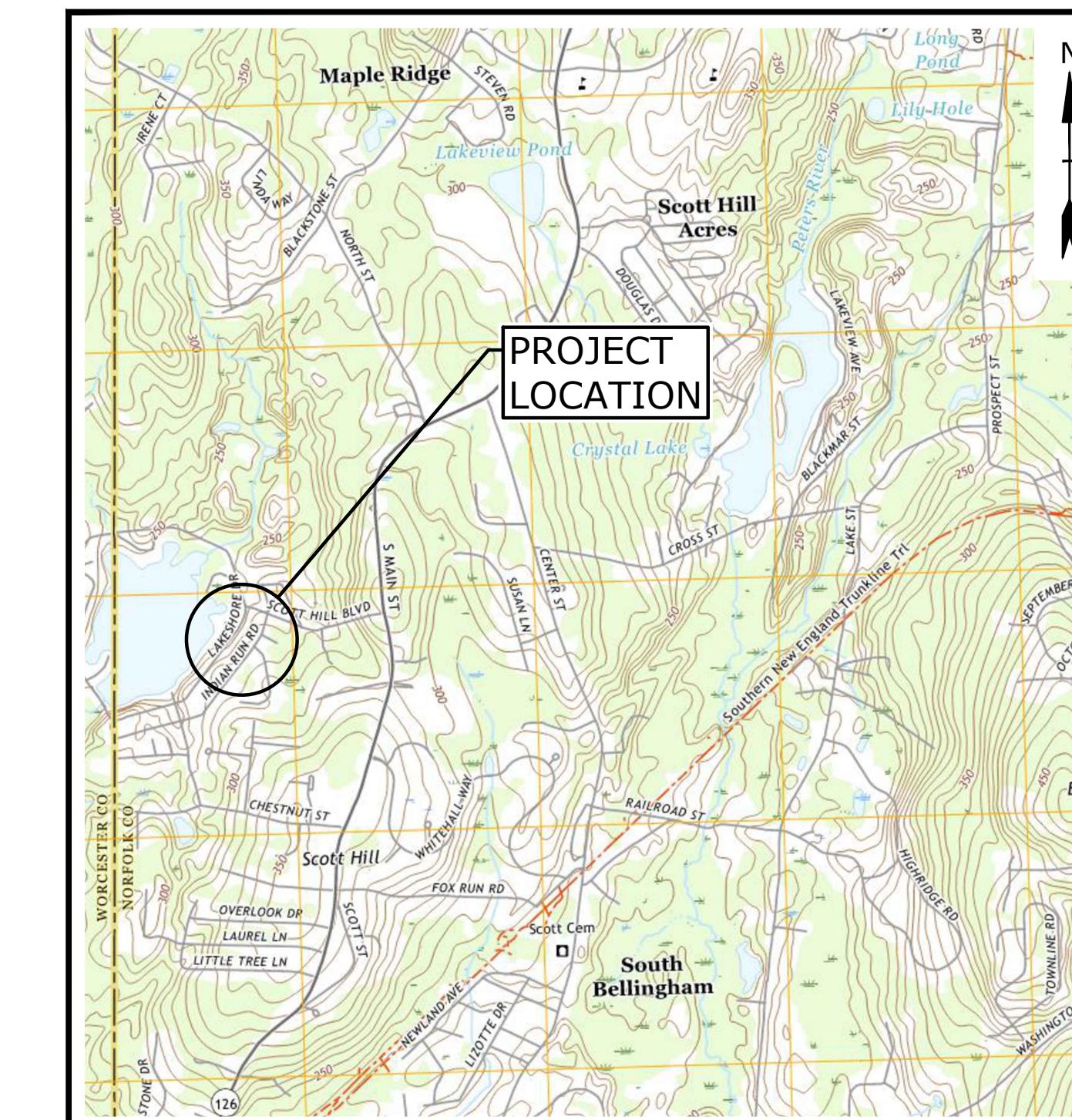
100-Year Flood Zone

## **APPENDIX B**

**TOWN OF BELLINGHAM, MASSACHUSETTS  
LAKE HIAWATHA DRAINAGE AND  
WATER MAIN IMPROVEMENT PROJECT**

**60% DESIGN SET  
NOT FOR CONSTRUCTION  
CONTRACT B0852-022  
NOVEMBER 2025**

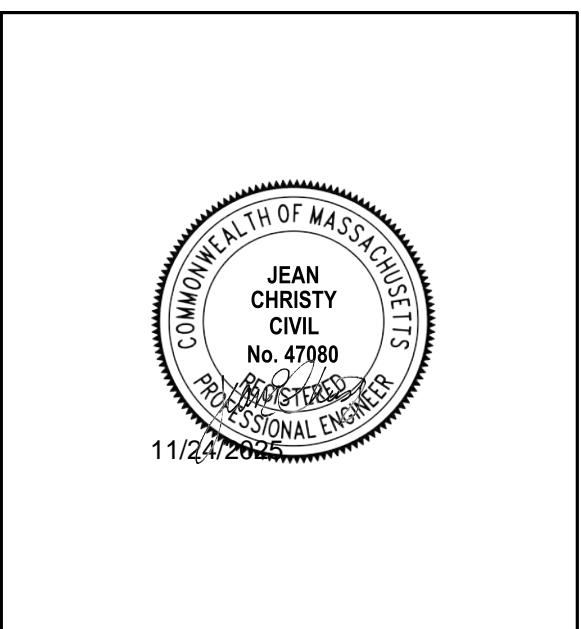
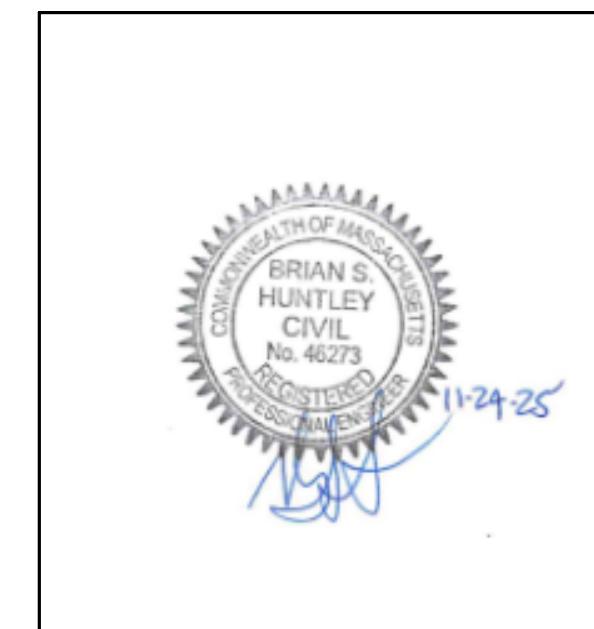
LIST OF DRAWINGS		
SHEET NO.	DRAWING NO.	DRAWING TITLE
1	G-001	COVER SHEET
2	G-002	LEGEND, ABBREVIATIONS, & GENERAL NOTES
3	G-003	GENERAL NOTES
4	C-100	OVERALL SITE LIMITS
5	C-201	WATER MAIN PLAN STA. 25+06 TO 15+00
6	C-202	WATER MAIN PLAN STA. 15+00 TO 5+00
7	C-203	WATER MAIN PLAN STA. 5+00 TO 0+00 AND BERNIER LANE
8	C-204	WATER MAIN PLAN INDIAN RUN ROAD
9	C-205	DRAINAGE PLAN - 1
10	C-206	DRAINAGE PLAN - 2
11	C-501	WATERMAIN DETAILS 1
12	C-502	WATERMAIN DETAILS 2
13	C-503	SITE DETAILS 1
14	C-504	SITE DETAILS 2
15	C-505	TRAFFIC MANAGEMENT DETAILS



# **LOCATION MAP**

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PREPARED BY:  
**Tighe&Bond**



**PREPARED FOR:  
TOWN OF BELLINGHAM, MASSACHUSETTS  
JOSEPH LAYDON, TOWN ADMINISTRATOR**

# DEPARTMENT OF PUBLIC WORKS

## JESSE RIEDLE, DIRECTOR OF PUBLIC WORKS

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CONSTRUCTION PURPOSES.

# COMPLETE SET 15 SHEETS



## PRELIMINARY DESIGN NOT FOR CONSTRUCTION

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## LAKE HIAWATHA DRAINAGE AND WATER MAIN REPLACEMENT

Town of Bellingham, MA

Bellingham, Massachusetts

### LEGEND

DESCRIPTION	EXISTING	PROPOSED
PROPERTY LINE		
PROPERTY LINE ADJACENT		
RIGHT-OF-WAY LINE		
EASEMENT LINE		
LIMITS OF WORK		
INTERMEDIATE CONTOURS		
INDEX CONTOURS		
SPOT GRADE		
MAGNITUDE & DIRECTION OF SLOPE		
STORM DRAIN		
STORM UNDERDRAIN		
GRAVITY SANITARY SEWER		
WATER SERVICE		
POTABLE WATER		
UNDERGROUND ELECTRIC		
OVERHEAD ELECTRIC		
TELEPHONE SERVICE		
TEL-DATA SERVICE		
COMMUNICATIONS SERVICE		
CABLE TV SERVICE		
GAS SERVICE		
OVERHEAD UTILITY (UNSPECIFIED)		
CURB		
EDGE OF PAVEMENT		
DIRT ROAD		
RETAINING WALL		
STONE WALL		
FENCE - UNSPECIFIED		
FENCE - CHAIN LINK		
FENCE - WOOD POST		
GUARDRAIL		
STORM DRAIN STRUCTURES		
SANITARY SEWER STRUCTURES		
WATER SERVICE STRUCTURES		
GAS SERVICE STRUCTURES		
ELECTRIC SERVICE STRUCTURES		
TELECOMMUNICATIONS MANHOLE		
TREELINE		
TREE		

### LEGEND

RESOURCE AREAS	
VEGETATED WETLAND LIMIT	
100-FOOT BUFFER ZONE	
50-FOOT TEMPORARY DISTURBANCE ZONE	
25-FOOT NO DISTURBANCE ZONE	
200-FOOT RIVER FRONT AREA	
100-FOOT BUFFER ZONE TO BLSF	
100-YEAR FEMA FLOOD ZONE	
WETLANDS WATER COURSE	
WETLAND FLAG	

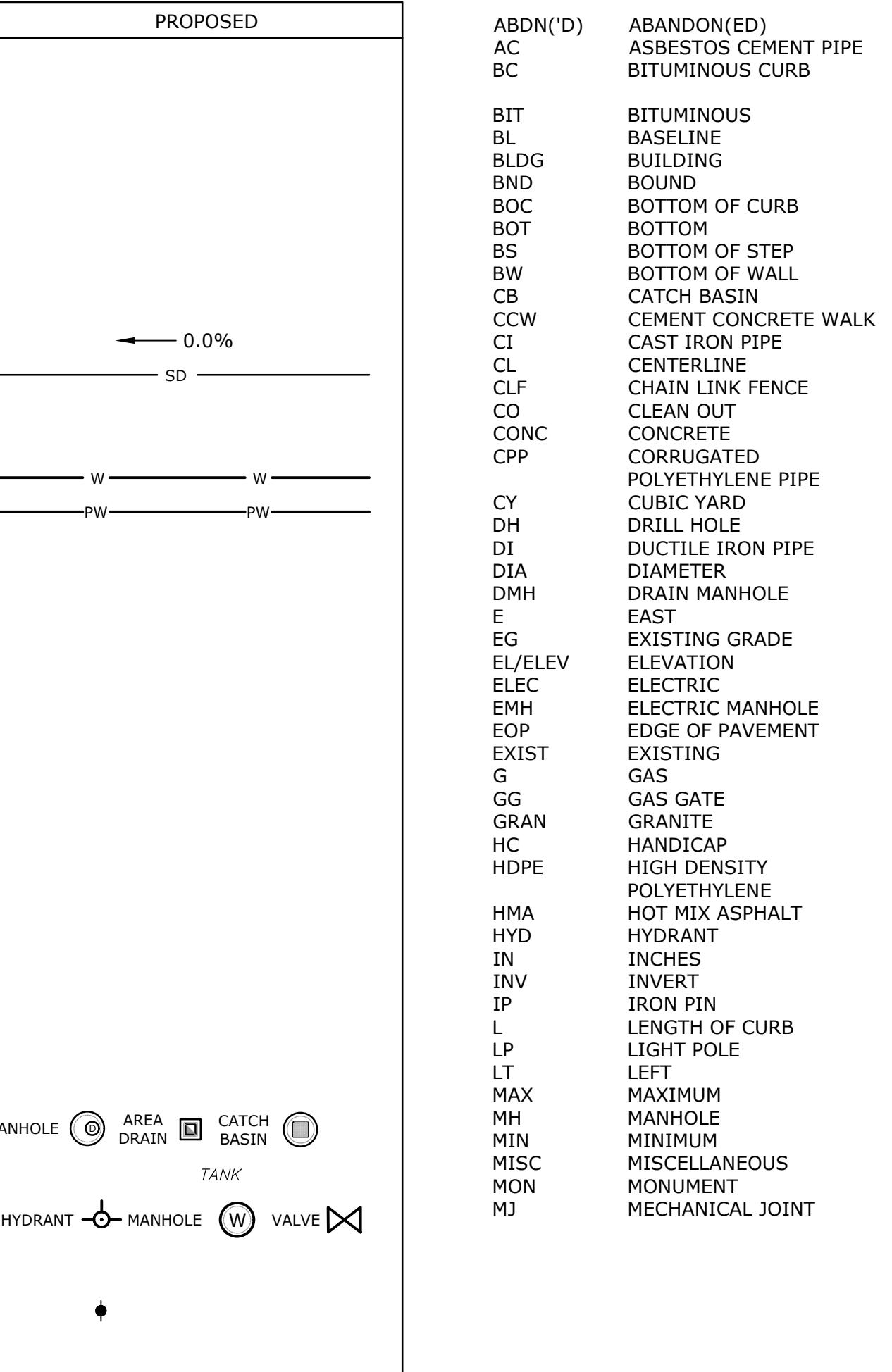
### BASE PLAN NOTES

- THE EXISTING CONDITIONS INFORMATION SHOWN ON THE DRAWINGS IS BASED ON THE FOLLOWING:
  - SURVEY DRAWINGS PROVIDED BY NORFOLK COUNTY ENGINEERING DEPARTMENT TITLED "TOPOGRAPHIC PLAN OF A PORTION OF LAKE SHORE DRIVE IN BELLINGHAM, MA" AND DATED FEBRUARY 3, 2014.
  - SURVEY DRAWINGS PROVIDED BY WSP USA INC. TITLED EXISTING CONDITIONS PLAN LAKE SHORE DR. & INDIAN RUN RD. BELLINGHAM, MASSACHUSETTS AND DATED JULY 15, 2022.
  - SURVEY DRAWINGS PROVIDED BY WSP USA INC. TITLED "TOPOGRAPHIC PLAN LAKESHORE DRIVE, BERNIER LANE, AND INDIAN RUN ROAD BELLINGHAM & BLACKSTONE, MA" AND DATED SEPTEMBER 4, 2025.
  - SURVEY DRAWINGS PROVIDED BY NORFOLK COUNTY ENGINEERING DEPARTMENT TITLED "TOPOGRAPHIC PLAN OF A PORTION OF SCOTT HILL BLVD. IN BELLINGHAM, MA" AND DATED FEBRUARY 3, 2014.
  - THE RESOURCE AREA BOUNDARIES DEPICTED ON THE DRAWINGS WERE DELINEATED BY TIGHE & BOND, INC. ON JUNE 15, 2022 AND AUGUST 14, 2025.
- THE ACCURACY AND COMPLETENESS OF SUBSURFACE INFORMATION (E.G., EXISTING UTILITIES) SHOWN ON THESE DRAWINGS IS NOT GUARANTEED AND SOME SUBSURFACE INFORMATION MAY NOT BE SHOWN. DETERMINE THE LOCATIONS AND ELEVATIONS OF ALL SUBSURFACE FEATURES WHICH MAY AFFECT CONSTRUCTION OPERATIONS BY TEST PIT OR OTHER METHODS, AS NECESSARY TO PREVENT DAMAGE TO UTILITIES AND OTHER SUBSURFACE FEATURES, AND/OR INTERRUPTIONS IN UTILITY SERVICE. PROVIDE DATA COLLECTED THROUGH THESE INVESTIGATIONS TO THE ENGINEER PRIOR TO CONSTRUCTING THE PROPOSED IMPROVEMENTS.
- SUB-SURFACE EXPLORATIONS WERE PERFORMED BY MARTIN GEOENVIRONMENTAL LLC ON SEPTEMBER 9, 2025. BORING LOCATIONS SHOWN ON THE DRAWINGS ARE APPROXIMATE AND GEOPROBE INFORMATION IS NOT GUARANTEED IN ANY WAY TO REPRESENT EXISTING CONDITIONS. BORING LOGS ARE INCLUDED IN THE PROJECT MANUAL FOR THE CONTRACTOR'S INFORMATION ONLY.
- THE DRAWINGS ARE BASED ON THE FOLLOWING DATUMS: HORIZONTAL - NAD83 ; VERTICAL - NAVD88
- THE EXISTING CONDITIONS SHOWN ARE APPROXIMATE. FIELD VERIFY EXISTING CONDITIONS.
- THE PROPERTY LINES SHOWN ON THE DRAWINGS ARE APPROXIMATE AND ARE NOT BASED ON DEED OR PLAN RESEARCH.

### ABBREVIATIONS

ABDN'(D)	ABANDON(ED)	N	NORTH
AC	ASBESTOS CEMENT PIPE	NTS	NOT TO SCALE
BC	BITUMINOUS CURB	N/A	NOT APPLICABLE
BIT	BITUMINOUS	OCS	OUTLET CONTROL STRUCTURE
BL	BASELINE	OH	OVERHEAD
BLDG	BUILDING	PCPP	PERFORATED CORRUGATED
BND	BOUND	PERF	POLYETHYLENE PIPE
BOC	BOTTOM OF CURB	PROT	PERFORATED
BOT	BOTTOM	PSF	PROTECT
BS	BOTTOM OF STEP	POUNDS PER SQUARE FOOT	POUNDS PER SQUARE FOOT
BW	BOTTOM OF WALL	PSI	POUNDS PER SQUARE INCH
CB	CATCH BASIN	PVC	POLYVINYLCHLORIDE
CCW	CEMENT CONCRETE WALK	PVMT	PAVEMENT
CI	CAST IRON PIPE	RADIUS	RADIUS
CL	CENTERLINE	RCP	REINFORCED CONCRETE PIPE
CLF	CHAIN LINK FENCE	RD	ROOF DRAIN
CO	CLEAN OUT	REVISION	REVISION
CONC	CONCRETE	ROW	RIGHT OF WAY
CPP	CORRUGATED	R&D	REMOVE AND DISPOSE
CY	POLYETHYLENE PIPE	R&R	REMOVE AND RESET
DI	CUBIC YARD	R&S	REMOVE AND STACK
DI	DRILL HOLE	S	SOUTH
DIA	DUCTILE IRON PIPE	SAN	SANITARY
DMH	DRAIN MANHOLE	SCH	SCHEDULE
E	EAST	SF	SQUARE FOOT
EG	EXISTING GRADE	SMH	SEWER MANHOLE
EL/ELEV	ELEVATION	SS	STAINLESS STEEL
ELEC	ELECTRIC	STA	STATION
EMH	ELECTRIC MANHOLE	STL	STEEL
EOP	EDGE OF PAVEMENT	STRM	STORM
EXIST	EXISTING	TC	TOP OF CURB
G	EXISTING	TEL	TEL-DATA
GG	GAS GATE	TP	TEST PIT
GRAN	GRANITE	TS	TOP OF STEP
HC	HANDICAP	TOP	TOP OF WALL
HDPE	HIGH DENSITY	TYP	TYPICAL
HMA	POLYETHYLENE	UP	UTILITY POLE
HYD	HOT MIX ASPHALT	W	WATER
IN	HYDRANT	WG	WATER GATE
INV	INCHES	WV	WATER VALVE
IP	INVERT		
L	IRON PIN		
LP	LENGTH OF CURB		
LT	LIGHT POLE		
MAX	LEFT		
MH	MAXIMUM		
MIN	MANHOLE		
MISC	MINIMUM		
MON	MISCELLANEOUS		
MJ	MONUMENT		
	Mechanical Joint		

### ABBREVIATIONS CONT'D



### GENERAL NOTES

- NOTIFY DIGSAFE AT 1-888-344-7233 AND OTHER UTILITY OWNERS IN THE AREA NOT ON THE LIST AT LEAST 72 HOURS PRIOR TO ANY DIGGING, TRENCHING, ROCK REMOVAL, DEMOLITION, BORING, BACKFILLING, GRADING, LANDSCAPING, OR ANY OTHER EARTH MOVING OPERATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR SUPPORT OF EXISTING UTILITIES AND REPAIR OR REPLACEMENT COSTS OF UTILITIES DAMAGED DURING CONSTRUCTION, WHETHER ABOVE OR BELOW GRADE. REPLACE DAMAGED UTILITIES IMMEDIATELY AT NO ADDITIONAL COST TO THE OWNER AND AT NO COST TO THE PROPERTY OWNER.
- NOT ALL OF THE UTILITY SERVICES TO BUILDINGS ARE SHOWN. THE CONTRACTOR SHALL ANTICIPATE THAT EACH PROPERTY HAS SERVICE CONNECTIONS FOR THE VARIOUS UTILITIES.
- BOLD TEXT AND LINES INDICATE PROPOSED WORK. LIGHT TEXT AND LINES INDICATE APPROXIMATE EXISTING CONDITIONS.
- TIGHE & BOND ASSUMES NO RESPONSIBILITY FOR ANY ISSUES, LEGAL OR OTHERWISE, RESULTING FROM CHANGES MADE TO THESE DRAWINGS WITHOUT WRITTEN AUTHORIZATION FROM TIGHE & BOND.
- EXCAVATE ADDITIONAL TEST PITS TO LOCATE EXISTING UTILITIES AS DIRECTED OR APPROVED BY THE ENGINEER.
- NOTIFY THE ENGINEER OF ANY UTILITIES IDENTIFIED DURING CONSTRUCTION THAT ARE NOT SHOWN ON THE DRAWINGS OR THAT DIFFER IN SIZE OR MATERIAL.
- THE CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY, COORDINATION WITH THE OWNER, ALL SUBCONTRACTORS, AND WITH OTHER CONTRACTORS WORKING WITHIN THE LIMITS OF WORK, THE MEANS AND METHODS OF CONSTRUCTING THE PROPOSED WORK.
- OBTAIN, PAY FOR AND COMPLY WITH PERMITS, NOTICES AND FEES NECESSARY TO COMPLETE THE WORK. ARRANGE AND PAY FOR NECESSARY INSPECTIONS AND APPROVALS FROM THE JURISDICTIONAL AUTHORITIES.
- SHORE UTILITY TRENCHES WHERE FIELD CONDITIONS DICTATE AND/OR WHERE REQUIRED BY LOCAL, STATE AND FEDERAL HEALTH AND SAFETY CODES.
- FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION. IF FIELD CONDITIONS ARE OBSERVED THAT VARY SIGNIFICANTLY FROM THOSE SHOWN ON THE DRAWINGS, IMMEDIATELY NOTIFY THE ENGINEER IN WRITING FOR RESOLUTION OF THE CONFLICTING INFORMATION.
- PROTECT AND MAINTAIN ALL UTILITIES IN THE AREAS UNDER CONSTRUCTION DURING THE WORK. LEAVE ALL PIPES AND STRUCTURES WITHIN THE LIMITS OF THE CONTRACT IN A CLEAN AND OPERABLE CONDITION AT THE COMPLETION OF THE WORK. TAKE ALL NECESSARY PRECAUTIONS TO PREVENT SAND AND SILT FROM DISTURBED AREAS FROM ENTERING THE DRAINAGE SYSTEM.
- NOTIFY THE ENGINEER IN WRITING OF ANY CONFLICT, ERROR, AMBIGUITY, OR DISCREPANCY WITH THE PLANS OR BETWEEN THE PLANS AND ANY APPLICABLE LAW, REGULATION, CODE, STANDARD SPECIFICATION, OR MANUFACTURER'S INSTRUCTIONS.
- EXCAVATE WITH EQUIPMENT SELECTED TO MINIMIZE DAMAGE TO EXISTING UTILITIES OR OTHER FACILITIES. HAND EXCAVATE AS NECESSARY TO LOCATE UTILITIES AND AVOID DAMAGE.
- TAKE NECESSARY MEASURES AND PROVIDE CONTINUOUS BARRIERS OF SUFFICIENT TYPE, SIZE, AND STRENGTH TO PREVENT ACCESS TO ALL WORK AND STAGING AREAS AT THE COMPLETION OF EACH DAY'S WORK.
- NO OPEN TRENCHES WILL BE ALLOWED OVER NIGHT. THE USE OF ROAD PLATES TO PROTECT THE EXCAVATION WILL BE CONSIDERED UPON REQUEST, BUT BACKFILLING IS PREFERRED.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY TRAFFIC CONTROL/SAFETY DEVICES TO ENSURE SAFE VEHICULAR AND PEDESTRIAN ACCESS THROUGH THE WORK AREA, OR FOR SAFELY IMPLEMENTING DETOURS AROUND THE WORK AREA. PERFORM TRAFFIC CONTROL IN ACCORDANCE WITH THE CONTRACTOR'S APPROVED TRAFFIC CONTROL PLAN.
- Maintain emergency access to all properties within the project area at all times during construction.
- WHEN WORKING IN THE ROAD, PROVIDE THE OWNER AND LOCAL FIRE/POLICE/SCHOOL AUTHORITIES A DETAILED PLAN OF APPROACH INDICATING METHODS OF PROPOSED TRAFFIC ROUTING ON A DAILY BASIS. PROVIDE COORDINATION TO ENSURE COMMUNICATION AND COORDINATION BETWEEN THE OWNER, CONTRACTOR AND LOCAL FIRE/POLICE/SCHOOL AUTHORITIES THROUGHOUT THE CONSTRUCTION PERIOD.
- REMOVE AND DISPOSE OF ALL CONSTRUCTION-RELATED WASTE MATERIALS AND DEBRIS IN STRICT ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL LAWS.
- THE TERM "DEMOLISH" USED ON THE DRAWINGS MEANS TO REMOVE AND DISPOSE IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS.
- THE TERM "ABANDON" USED ON THE DRAWINGS MEANS TO LEAVE IN PLACE AND TAKE APPROPRIATE MEASURES TO DECOMMISSION AS SPECIFIED OR NOTED ON THE DRAWINGS.
- ALL PROPOSED WORK MAY BE ADJUSTED IN THE FIELD BY THE OWNER'S PROJECT REPRESENTATIVE TO MEET EXISTING CONDITIONS.

### LEGEND

DEMOLITION / GEOTECHNICAL	
EROSION & SEDIMENT CONTROL	
UTILITY TO BE ABANDONED	
UTILITY TO BE DEMOLISHED	
ITEM TO BE DEMOLISHED	
TEST PIT	
BORING	

### EROSION CONTROL AND RESOURCE AREA PROTECTION NOTES

- PROVIDE ALL EROSION CONTROL MEASURES SHOWN, SPECIFIED, REQUIRED BY PERMIT, AND/OR REQUIRED BY THE ENGINEER PRIOR TO ANY CONSTRUCTION OR IMMEDIATELY UPON REQUEST. MAINTAIN SUCH CONTROL MEASURES UNTIL FINAL SURFACE TREATMENTS ARE IN PLACE AND/OR UNTIL PERMANENT VEGETATION IS ESTABLISHED. INSPECT AFTER EACH RAINSTORM AND DURING MAJOR STORM EVENTS TO CONFIRM THAT ALL SEDIMENTATION AND EROSION CONTROL MEASURES REQUIRED ARE IN PLACE AND EFFECTIVE.
- PRIOR TO STARTING WORK, CLEARLY STAKE WORK LIMITS. DO NOT DISTURB VEGETATION AND TOPSOIL BEYOND THE PROPOSED LIMITS. COORDINATE WITH THE ENGINEER FOR LOCATIONS OF TEMPORARY STOCKPILING OF TOPSOIL DURING CONSTRUCTION.
- INSTALL SILT SACKS OR OTHER APPROVED SEDIMENTATION BARRIERS IN/AT ALL CATCH BASINS IN THE PROJECT AREA.
- COMPACT, STABILIZE, AND LOAM AND SEED SIDE SLOPES, SHOULDER AREAS AND DISTURBED VEGETATED AREAS IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND AS REQUIRED BY PERMITS. GRADE SIDE SLOPES, SHOULDER AREAS AND DISTURBED VEGETATED AREAS TO A MAXIMUM SLOPE OF 3 HORIZONTAL TO 1 VERTICAL (3H:1V), WHERE POSSIBLE. PROVIDE BIODEGRADABLE EROSION CONTROL BLANKETS TO PREVENT EROSION WHERE SLOPES ARE STEEPER THAN 3H:1V.
- SETTLE OR FILTER ALL SILT-LADEN WATER FROM DEWATERING ACTIVITIES IN A SEDIMENTATION OR FILTER BAG TO REMOVE SEDIMENTS PRIOR TO RELEASE USING A SEDIMENTATION OR FILTER BAG LOCATED DOWN-GRADIENT OF THE DEWATERED AREA.
- REMOVE AND PROPERLY DISPOSE OF SILT TR

## SURFACE RESTORATION NOTES

- ALL PAVEMENT DAMAGED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPLACED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- PROVIDE SITE GRADING AT ACCESSIBLE SIDEWALK RAMPS, SIDEWALKS, AND BUILDING ENTRANCES THAT IS CONSISTENT WITH THE RELEVANT ACCESS REQUIREMENTS OF THE ARCHITECTURAL BARRIERS ACT (ABA), THE AMERICANS WITH DISABILITIES ACT (ADA), AND MA ARCHITECTURAL ACCESS BOARD REQUIREMENTS (AAB). SMALL CHANGES IN GRADE OVER RELATIVELY SHORT DISTANCES (E.G. AT PARKING SPACES, ACCESSIBLE ROUTES, AND RAMPS) MIGHT NOT BE CLEARLY DEPICTED WITHIN THE CONTOUR INTERVAL SHOWN. COMPLY WITH THE CRITERIA IN THESE STANDARDS. SELECT MAXIMUM SLOPE CRITERIA ARE REPRODUCED BELOW:
  - ACCESSIBLE PARKING STALL AND PASSENGER LOADING ZONE (ANY DIRECTION) SLOPE < 2.0%
  - LONGITUDINAL SLOPE ALONG ACCESSIBLE ROUTES < 5.0%
  - CROSS SLOPE ALONG ACCESSIBLE ROUTES < 2.0%
- PROTECT PROJECT FEATURES (E.G., WALLS, FENCES, MAIL BOXES, SIGNS, SIDEWALKS, CURBING, STAIRS, WALKWAYS, TREES, ETC.) FROM DAMAGE DURING CONSTRUCTION, INCLUDING PROVIDING TEMPORARY SUPPORTS, WHEN APPROPRIATE.
- IF REMOVAL OF PROJECT FEATURES IS REQUIRED IN ORDER TO PERFORM THE PROPOSED WORK, REMOVE THOSE SITE FEATURES ONLY UPON APPROVAL OF ENGINEER. REPLACE ALL REMOVED PROJECT FEATURES; NEW ITEMS SHALL BE EQUAL OR BETTER IN QUALITY AND CONDITION TO THE ITEMS REMOVED.
- EXISTING SURVEY MONUMENTS DISTURBED BY THE CONTRACTOR SHALL BE REPLACED BY A LAND SURVEYOR LICENSED IN THE STATE IN WHICH THE WORK IS PERFORMED AT NO ADDITIONAL COST TO THE OWNER.
- COORDINATE THE ADJUSTMENT OF EXISTING UTILITY STRUCTURES WITH EACH RESPONSIBLE UTILITY OWNER PRIOR TO RECONSTRUCTION AND/OR PAVING OPERATIONS. RAISE ALL STRUCTURES TO FINISHED GRADES PRIOR TO THE END OF THE CONSTRUCTION SEASON AND PRIOR TO FINISHED PAVING.
- REPAIR DISTURBED PAVED SURFACES AT THE END OF EACH WORK WEEK, UNLESS OTHERWISE APPROVED/REQUIRED BY THE OWNER.
- PLACE TEMPORARY BITUMINOUS CONCRETE PAVEMENT AT DISTURBED PORTLAND CEMENT CONCRETE SIDEWALKS AND DRIVEWAYS AT THE END OF EACH WORK WEEK, UNLESS OTHERWISE APPROVED/REQUIRED BY THE OWNER.
- TRANSFER ALL TEMPORARY BENCHMARKS, AS NECESSARY.
- ACCOMMODATE PEDESTRIAN TRAFFIC WHERE A SIDEWALK IS TO BE CLOSED FOR SAFETY. "SIDEWALK CLOSED HERE" SIGNS SHALL BE USED AT THE NEAREST SAFE INTERSECTION. SEE TRAFFIC CONTROL DETAILS FOR SIGN INFORMATION.
- RESTORE ALL AREAS DISTURBED BY THE CONTRACTOR BEYOND THE PAYLINE LIMITS TO ORIGINAL CONDITIONS AT NO ADDITIONAL COST TO THE OWNER.
- REGRADE ALL UNPAVED AREAS DISTURBED BY THE WORK AS REQUIRED. REPAIR/REPLACE PAVED SURFACES DISTURBED BY THE WORK IN-KIND, UNLESS OTHERWISE NOTED. RESTORE SURFACES TO EXISTING OR PROPOSED CONDITIONS AS INDICATED ON THE DRAWINGS.
- PROVIDE A SMOOTH, FLUSH TRANSITION BETWEEN ALL NEW AND EXISTING PAVEMENTS AND WALKING SURFACES.

## WATER SYSTEM IMPROVEMENTS NOTES

- PROPOSED WATER MAINS SHALL BE PROVIDED IN ACCORDANCE WITH THE OWNER'S STANDARDS, AS SPECIFIED, AND AS SHOWN ON THE DRAWINGS. WHERE THERE IS A CONFLICT BETWEEN THE OWNER'S STANDARDS AND THE DRAWINGS AND SPECIFICATIONS, THE OWNER'S STANDARDS SHALL GOVERN.
- HORIZONTAL AND VERTICAL LOCATION OF WATER MAINS MAY BE MODIFIED TO FIT EXISTING FIELD CONDITIONS, UPON APPROVAL OF THE ENGINEER.
- WORKING PRESSURE OF WATER MAIN IN PROJECT AREA IS 70 PSI.
- MINIMUM DEPTH OF COVER OVER PROPOSED WATER MAIN SHALL BE 5 FEET, UNLESS OTHERWISE NOTED OR APPROVED BY THE ENGINEER.
- ALL BELOW GRADE VALVES AND FITTINGS SHALL HAVE MECHANICAL JOINT (MJ) ENDS. RESTRAIN ALL VALVE AND FITTING JOINTS WITH RETAINER GLANDS.
- WHERE A COUPLING IS CALLED FOR ON THE DRAWINGS TO CONNECT A PROPOSED WATER MAIN TO AN EXISTING WATER MAIN PROVIDE A SOLID SLEEVE, IF POSSIBLE. RESTRAIN SOLID SLEEVE TO PIPES WITH RETAINER GLANDS. IF OUTSIDE DIAMETER OF EXISTING WATER MAIN DOES NOT ALLOW INSTALLATION OF SOLID SLEEVE, PROVIDE RESTRAINING TYPE TRANSITION COUPLING.
- SLEEVES, NIPPLES, AND ACCESSORIES NECESSARY FOR CONNECTION BETWEEN EXISTING AND PROPOSED PIPES MAY NOT BE SHOWN ON THE DRAWINGS. PROVIDE ITEMS NECESSARY FOR CONNECTING TO EXISTING MAINS AND MAKE CONNECTIONS AS INDICATED IN THE CONTRACT DOCUMENTS.
- RESTRAIN PIPE JOINTS IN ACCORDANCE WITH "MINIMUM RESTRAINED LENGTHS FOR DI PIPE" TABLE ON THE DRAWINGS.
- MAINTAIN A MINIMUM HORIZONTAL DISTANCE OF 10 FEET BETWEEN THE PROPOSED WATER MAIN AND ANY EXISTING OR PROPOSED SANITARY SEWER OR STORM DRAIN. WHEN CONDITIONS PREVENT THIS, A LESSER DISTANCE WILL BE ALLOWED IF: A.) THE WATER MAIN IS IN A SEPARATE TRENCH OR B.) THE PROPOSED WATER MAIN IS LOCATED IN THE SAME TRENCH TO ONE SIDE ON A BENCH OF UNDISTURBED EARTH WITH AT LEAST 12 INCHES, AND PREFERABLY 18 INCHES, HORIZONTAL SEPARATION BETWEEN THE EDGES OF THE SEWER/DRAIN PIPE AND THE WATER MAIN. IN EITHER CASE, THE BOTTOM OF THE WATER MAIN SHALL BE 18 INCHES ABOVE THE CROWN OF THE SEWER/DRAIN PIPE.
- WATER MAINS CROSSING SEWERS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 18 INCHES BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF THE SEWER. IT IS PREFERRED THAT THE WATER MAIN CROSS ABOVE THE SEWER. AT CROSSINGS, ONE FULL LENGTH OF WATER PIPE SHALL BE LOCATED SO BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE.
- WHERE THE PROPOSED WATER MAIN IS TO BE INSTALLED BELOW A DRAIN PIPE, MAINTAIN A MINIMUM OF 18 INCHES BETWEEN THE BOTTOM OF THE STORM DRAIN AND THE CROWN OF THE WATER MAIN.
- OPERATION OF EXISTING VALVES SHALL BE BY THE WATER DISTRIBUTION SYSTEM OWNER, UNLESS OTHERWISE AUTHORIZED. COORDINATE OPERATION OF VALVES WITH THE WATER DISTRIBUTION SYSTEM OWNER.
- THE WATER DISTRIBUTION SYSTEM OWNER DOES NOT GUARANTEE A TIGHT SHUTDOWN OF ITS EXISTING VALVES. THE CONTRACTOR IS RESPONSIBLE FOR CONTROL OF LEAKAGE AND DISPOSAL OF WATER UP TO 100 GALLONS PER MINUTE.
- COORDINATE THE ACTIVATION AND DEACTIVATION OF WATER MAINS WITH THE WATER DISTRIBUTION SYSTEM OWNER.
- WHERE WATER MAINS ARE BEING REPLACED, RECONNECT ALL EXISTING WATER SERVICES TO THE PROPOSED WATER MAINS, UNLESS NOTED OTHERWISE IN THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING UNINTERRUPTED WATER SERVICE TO ALL CUSTOMERS IN THE PROJECT AREA DURING CONSTRUCTION, UNLESS OTHERWISE NOTED OR APPROVED BY THE OWNER.
- FOR EACH PROPOSED WATER SERVICE, PROVIDE NEW CORPORATION AT THE MAIN, NEW WATER SERVICE PIPING, AND NEW CURB STOP AND BOX. PROPOSED WATER SERVICES SHALL BE INSTALLED FROM THE PROPOSED WATER MAIN TO THE PROPERTY LINE FOR EACH PROPERTY IDENTIFIED AS REQUIRING A WATER SERVICE ON THE DRAWINGS. CONNECT PROPOSED WATER SERVICE TO EXISTING WATER SERVICE PIPING AT PROPERTY LINE. PROVIDE ALL COMPONENTS NECESSARY TO CONNECT PROPOSED WATER SERVICE TO EXISTING WATER SERVICE. EXISTING SERVICE PIPING TO BE ABANDONED SHALL BE CAPPED/CRIMPED ONCE SERVICE HAS BEEN TRANSFERRED TO THE NEW WATER MAIN.
- THE SIZE OF THE PROPOSED WATER SERVICE TO A PROPERTY FROM THE PROPOSED WATER MAIN SHALL MATCH THE SIZE OF THE EXISTING WATER SERVICE FROM THE BUILDING ON THAT PROPERTY, UNLESS NOTED OTHERWISE.
- REMOVE AND DISPOSE OF VALVE BOXES ON WATER MAIN TO BE ABANDONED, UNLESS DIRECTED OTHERWISE.
- COVER EACH FIRE HYDRANT TAKEN OUT OF SERVICE WITH A NON-DEGRADABLE BAG SECURELY TIED. IMMEDIATELY NOTIFY FIRE DEPARTMENT WHEN HYDRANTS ARE TAKEN OUT OF SERVICE.

## DRAINAGE SYSTEM IMPROVEMENTS NOTES

- LOCATIONS OF PROPOSED STORM DRAINS AND STRUCTURES ARE APPROXIMATE AND MAY BE ADJUSTED DURING CONSTRUCTION AFTER INVESTIGATIVE WORK. FINAL STORM DRAIN LOCATIONS, AND ASSOCIATED STRUCTURES, WILL BE DETERMINED IN THE FIELD BY THE ENGINEER.
- ADJUSTMENTS TO THE PROPOSED STORM DRAIN LAYOUTS AND ELEVATIONS SHALL NOT BE CONSIDERED CAUSE FOR ADDITIONAL PAYMENTS. THE CONTRACTOR SHALL NOT MAKE PROPOSED STORM DRAIN LAYOUT AND ELEVATION ADJUSTMENTS WITHOUT APPROVAL FROM THE ENGINEER.
- MANHOLES SHALL BE 48-INCH DIAMETER, UNLESS NOTED OTHERWISE.
- DISTANCES AND SLOPES OF PROPOSED STORM DRAINS ARE BASED ON DISTANCES FROM CENTERLINE TO CENTERLINE OF STRUCTURES.
- DELIVER EXISTING FRAMES, COVERS AND GRATES OF STRUCTURES TO BE REMOVED TO THE DEPARTMENT OF PUBLIC WORKS YARD OR OTHER LOCATION DESIGNATED BY THE OWNER.
- UNLESS OTHERWISE NOTED, PROPOSED CATCH BASIN LATERALS SHALL BE 12-INCH DIAMETER. WHERE THE MAINLINE STORM DRAIN IS SMALLER THAN 12-INCHES IN DIAMETER, THE CATCH BASIN LATERAL SHALL MATCH THE SIZE OF THE MAINLINE STORM DRAIN. MINIMUM COVER OVER CATCH BASIN LATERALS SHALL BE 4 FEET, UNLESS SHOWN OR APPROVED OTHERWISE.
- ACTUAL LOCATION OF PROPOSED STORM DRAIN TERMINAL MANHOLES MAY BE ADJUSTED IN THE FIELD BASED ON THE LOCATION OF STORM DRAIN SERVICE CONNECTIONS.
- MAINTAIN OPERATION OF DRAINAGE SYSTEM DURING CONSTRUCTION. PROVIDE BYPASS PUMPING OF DRAINAGE FLOWS AND/OR TEMPORARY CONNECTIONS, AS NECESSARY.
- MAINTAIN A MINIMUM HORIZONTAL DISTANCE OF AT LEAST 10 FEET FROM ANY EXISTING OR PROPOSED WATER MAIN. IF SITE CONDITIONS PREVENT A HORIZONTAL SEPARATION OF 10 FEET, A LESSER DISTANCE WILL BE ALLOWED IF THE STORM DRAIN IS CONSTRUCTED IN A SEPARATE TRENCH WITH THE TOP OF THE SANITARY SEWER/ STORM DRAIN AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN.
- WHENEVER A PROPOSED STORM DRAIN MUST CROSS A WATER MAIN, CONSTRUCT THE STORM DRAIN SO THE TOP OF THE STORM DRAIN IS AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN. THE STORM DRAIN JOINTS SHALL BE EQUIDISTANT AND LOCATED AS FAR AWAY AS POSSIBLE FROM THE WATER MAIN JOINTS. WHEN THE PROPOSED STORM DRAIN CANNOT MEET THE ABOVE REQUIREMENTS, ENCASE THE PROPOSED STORM DRAIN IN CONCRETE.

## UTILITY CONTACTS

CABLE	COMCAST CABLE CORPORATION	WENDY BROWN, 978-848-5163
TELEPHONE	VERIZON	KAREN MEALEY, 774-409-3160
ELECTRIC	NATIONAL GRID	MANNY MUÑOZ, 401-895-9726
GAS	EVERSOURCE GAS	BRENDAN PITTS, 508-895-4818
GAS	LIBERTY UTILITIES	
WATER AND SEWER	BELLINGHAM DPW - DIRECTOR	JESSE RIEDLE, 508-966-5816
WATER AND SEWER	BELLINGHAM DPW - ASSISTANT DIRECTOR	SEAN HARRINGTON, 508-966-5813
WATER AND SEWER	BLACKSTONE DPW	JIMMY SULLIVAN, 508-883-9331 EXT. 501

**Tighe & Bond**



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## LAKE HIAWATHA DRAINAGE AND WATER MAIN REPLACEMENT

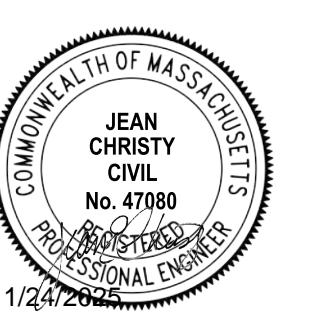
Town of Bellingham, MA

Bellingham, Massachusetts

MARK	DATE	DESCRIPTION
		PROJECT NO.: B0852-022
		DATE: 11/05/2025
		FILE: G-002 LEGEND & ABBREVIATIONS.dwg
		DRAWN BY: KJV/JAK
		DESIGNED/CHECKED BY: TAU/KJV
		APPROVED BY: JEC
		WATER SYSTEM, SURFACE RESTORATION AND DRAINAGE NOTES
		SCALE: NO SCALE

G-003





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# LAKE HIAWATHA DRAINAGE AND WATER MAIN REPLACEMENT

# Town of Bellingham, MA

# Bellingham, Massachusetts

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MARK	DATE	DESCRIPTION
PROJECT NO:	B0852-022	
DATE:	11/05/2025	
FILE:	B0852_022_water plans.dwg	
DRAWN BY:	KJV	
DESIGNED/CHECKED BY:	KJV	
APPROVED BY:	JEC	

WATER MAIN PLAN  
STA. 25+06 TO 15+00

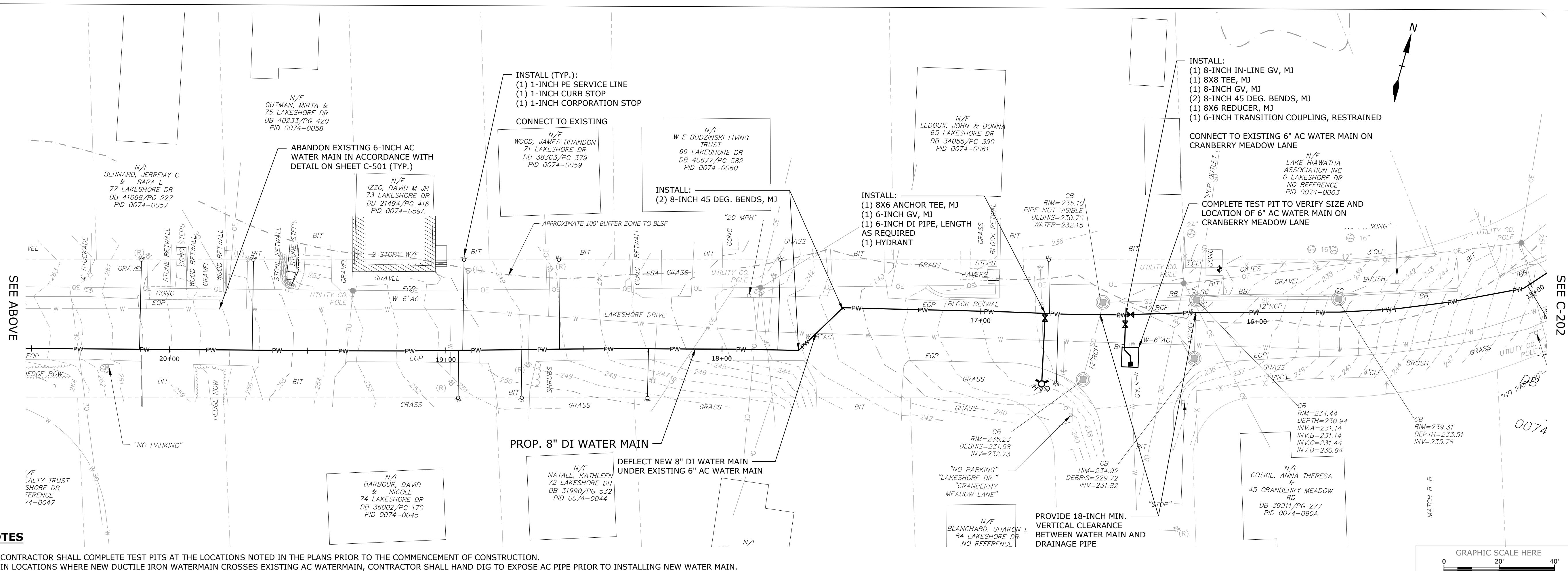
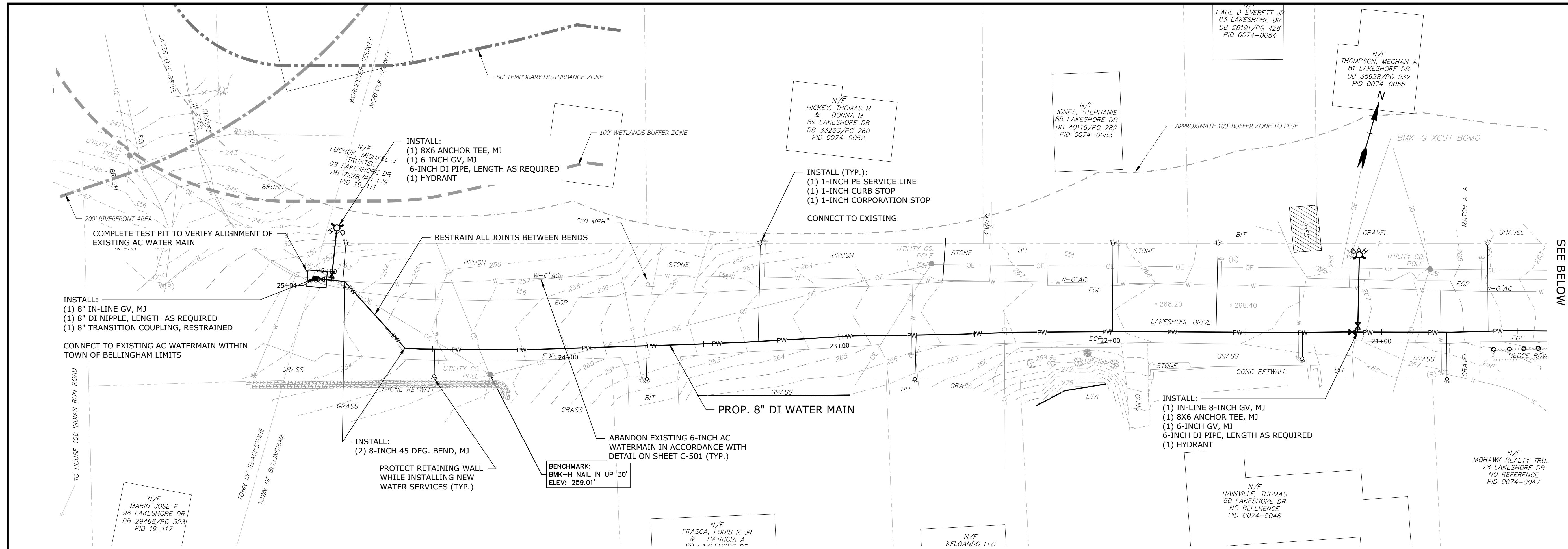
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SCALE: AS SHOWN

© 201

© 201

Tighe & Bond: \tighebond.com\data\AutoCAD\Sheet\B0852\_022\_water plans.dwg

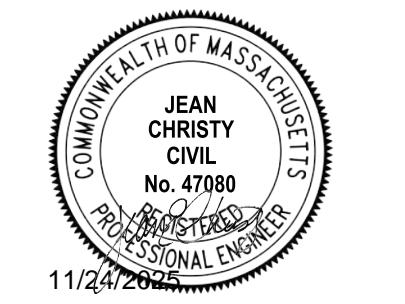


Plotted On: Nov  
Tighe & Bond: \\\\

1. CONTRACTOR SHALL COMPLETE TEST PITS AT THE LOCATIONS NOTED IN THE PLANS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
2. IN LOCATIONS WHERE NEW DUCTILE IRON WATERMAIN CROSSES EXISTING AC WATERMAIN, CONTRACTOR SHALL HAND DIG TO EXPOSE AC PIPE PRIOR TO INSTALLING NEW WATER MAIN.
3. UPON REMOVAL OF EXISTING HYDRANTS, CONTRACTOR SHALL RETURN HYDRANT TO BELLINGHAM DPW.
4. ALL DISTURBED PAVEMENT TO BE REPLACED BY FULL-DEPTH PAVEMENT RECONSTRUCTION.







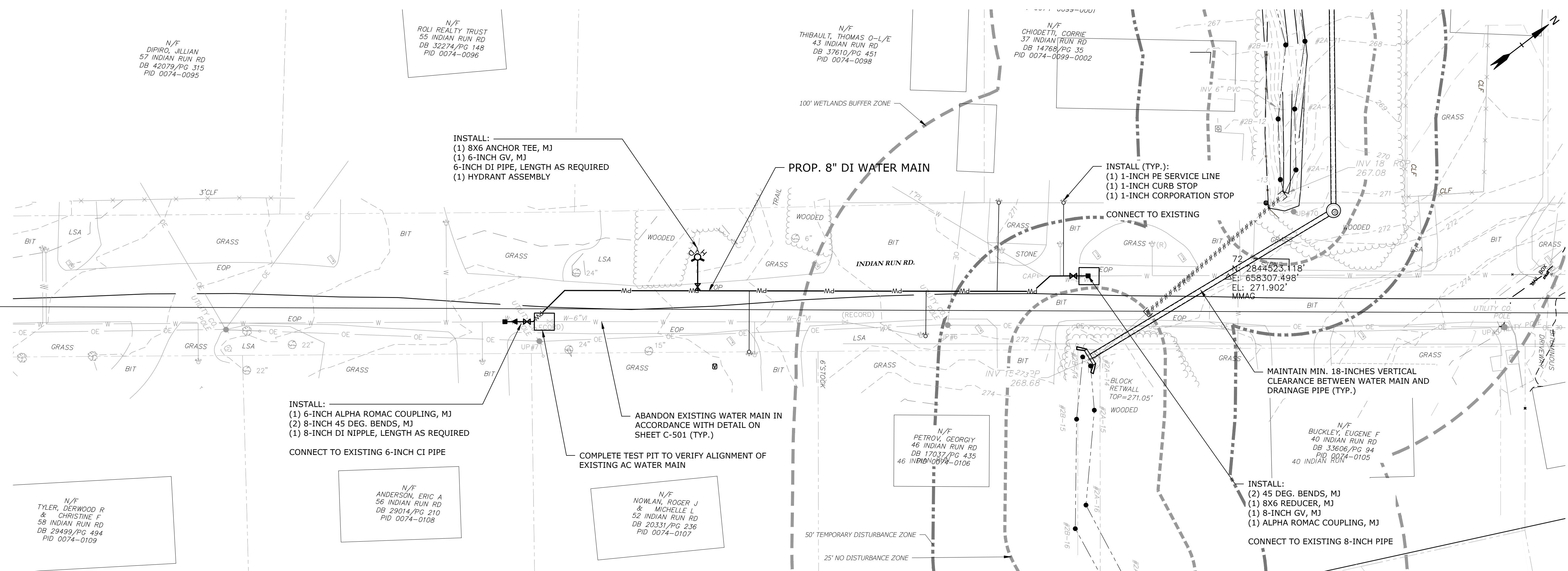
## PRELIMINARY DESIGN NOT FOR CONSTRUCTION

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## LAKE HIAWATHA DRAINAGE AND WATER MAIN REPLACEMENT

Town of Bellingham, MA

Bellingham, Massachusetts



### NOTES

1. CONTRACTOR SHALL COMPLETE TEST PITS AT THE LOCATIONS NOTED IN THE PLANS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
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MARK	DATE	DESCRIPTION
PROJECT NO:	B0852-022	
DATE:	11/05/2025	
FILE:	B0852_022_water plans.dwg	
DRAWN BY:	KJV	
DESIGNED/CHECKED BY:	KJV	
APPROVED BY:	JEC	
<b>PROPOSED WATER MAIN PLANS INDIAN RUN ROAD</b>		
SCALE:	AS SHOWN	
GRAPHIC SCALE HERE	0 20' 40'	
SCALE AT 1:20'		
<b>C-204</b>		



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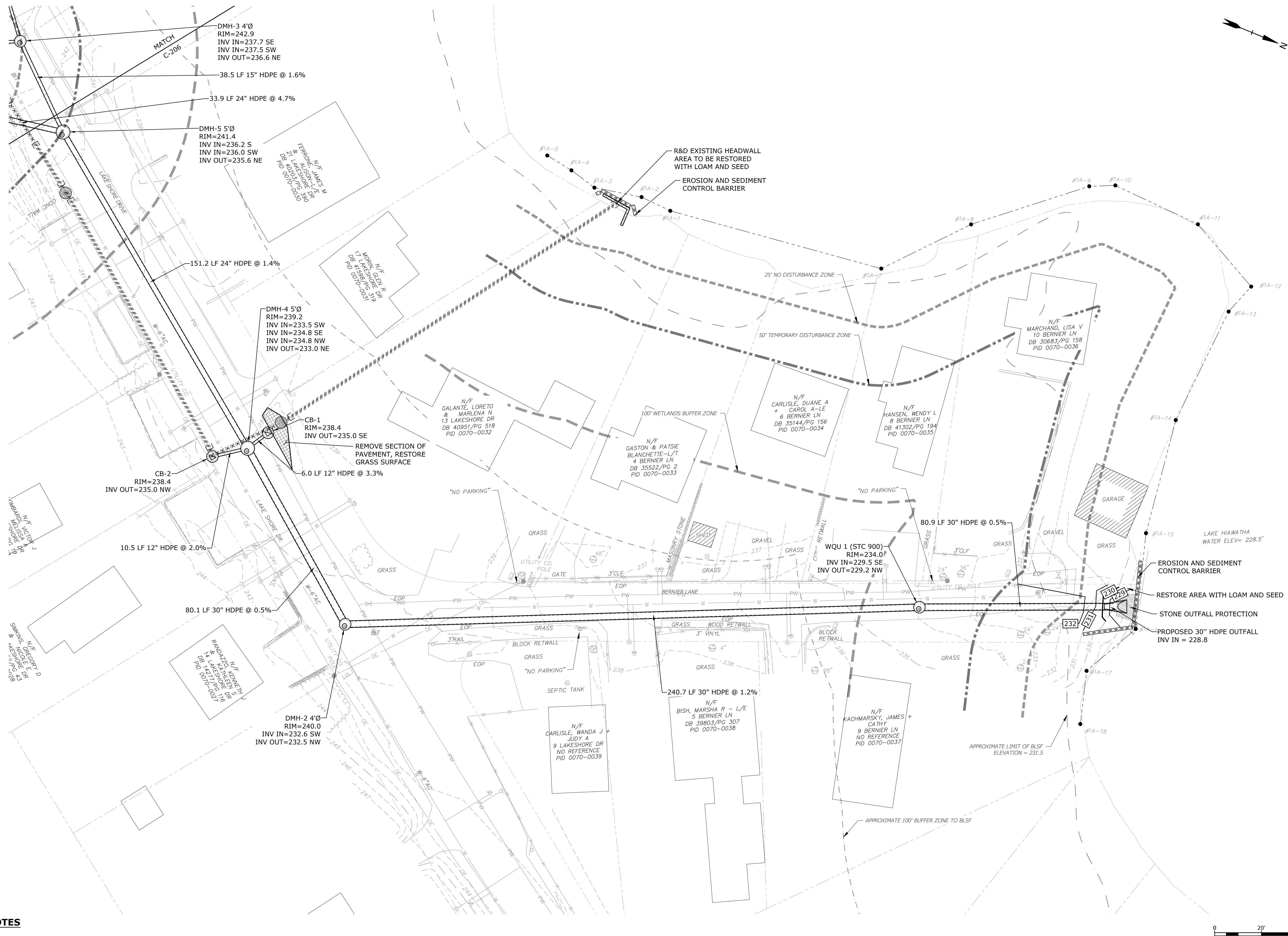
# LAKE HIAWATHA DRAINAGE AND WATER MAIN REPLACEMENT

# Town of Bellingham, MA

## Bellingham, Massachusetts

MARK	DATE	DESCRIPTION
PROJECT NO:	B0852-022	
DATE:	11/05/2025	
FILE:	B0852_022_Drainage.dwg	
DRAWN BY:	JAK	
DESIGNED/CHECKED BY:	TAL	
APPROVED BY:	JEC	
<b>DRAINAGE PLAN - 1</b>		
SCALE:	1" = 20'	
<b>6 205</b>		

Tighe & Bond : \tighebond.com\data\Projects\B\B0852\_Bellingham MS4 Engineering\022\_Lake Hiawatha Drain and Water\Drawings\AutoCAD\Sheet\B0852\_022\_Drainage.dwg



## NOTES

## 1. ALL DISTURBED PAVEMENT TO BE REPLACED BY FULL-DEPTH PAVEMENT RECONSTRUCTION





## PRELIMINARY DESIGN NOT FOR CONSTRUCTION

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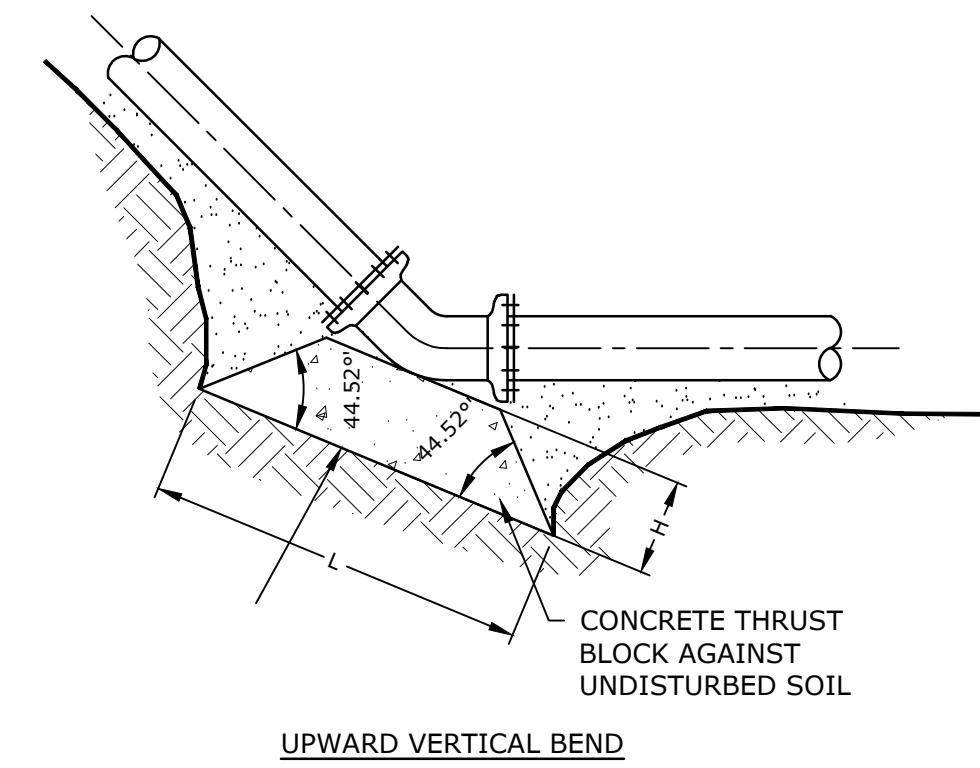
## LAKE HIAWATHA DRAINAGE AND WATER MAIN REPLACEMENT

Town of Bellingham, MA

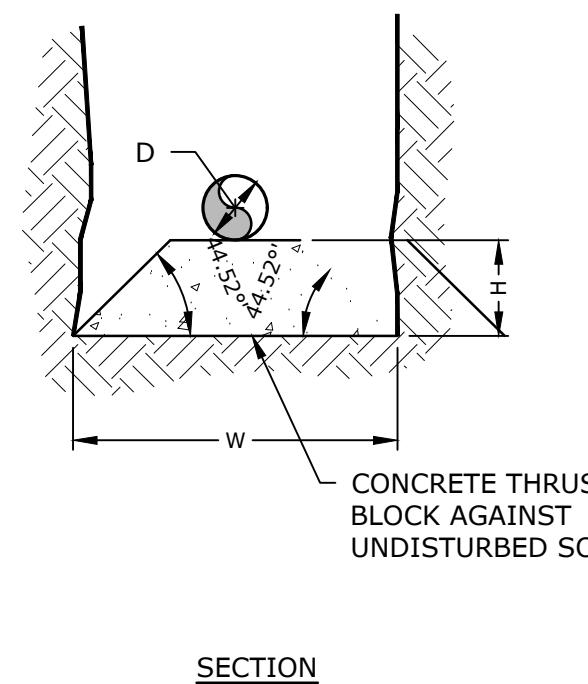
Bellingham, Massachusetts

UPWARD VERTICAL BENDS			
D	BEARING AREA (SF)	"L"	"H"
6"	10	2'	4'
8"	13	2.6'	5.3'

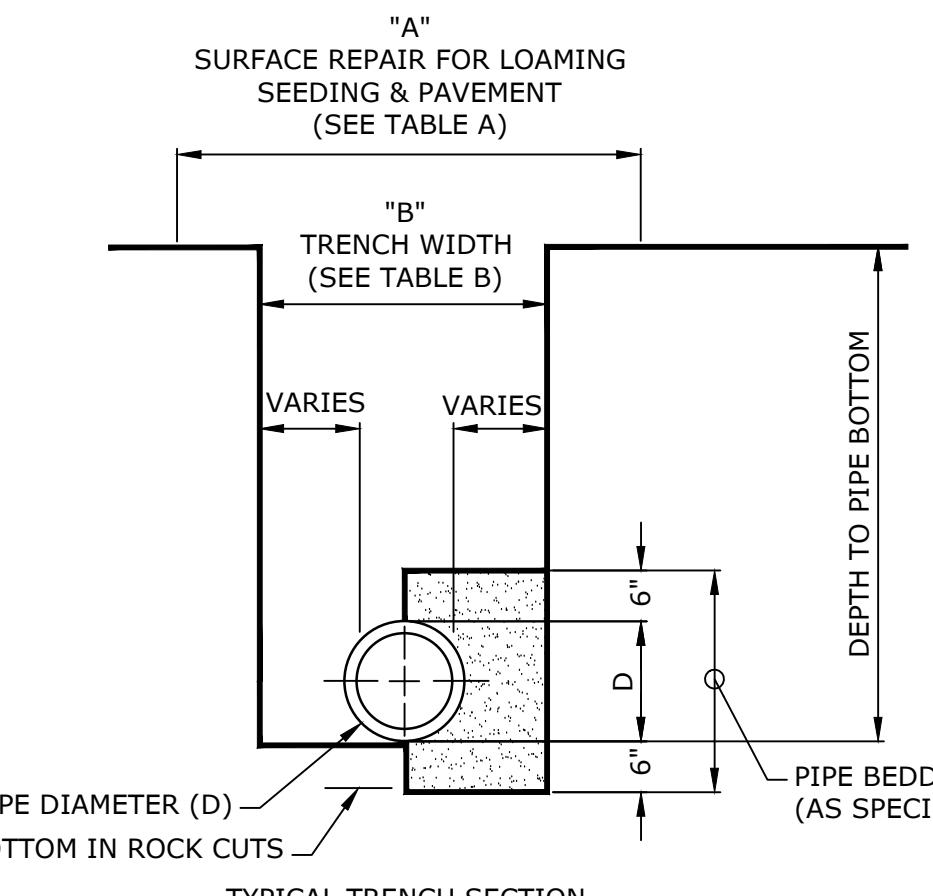
\* "W" IS BASED ON AN ASSUMED TRENCH WIDTH OF 5 FEET.



UPWARD VERTICAL BEND



SECTION



TYPICAL TRENCH SECTION

TABLE A - MAXIMUM SURFACE REPAIR PAY WIDTHS (SEE NOTE)

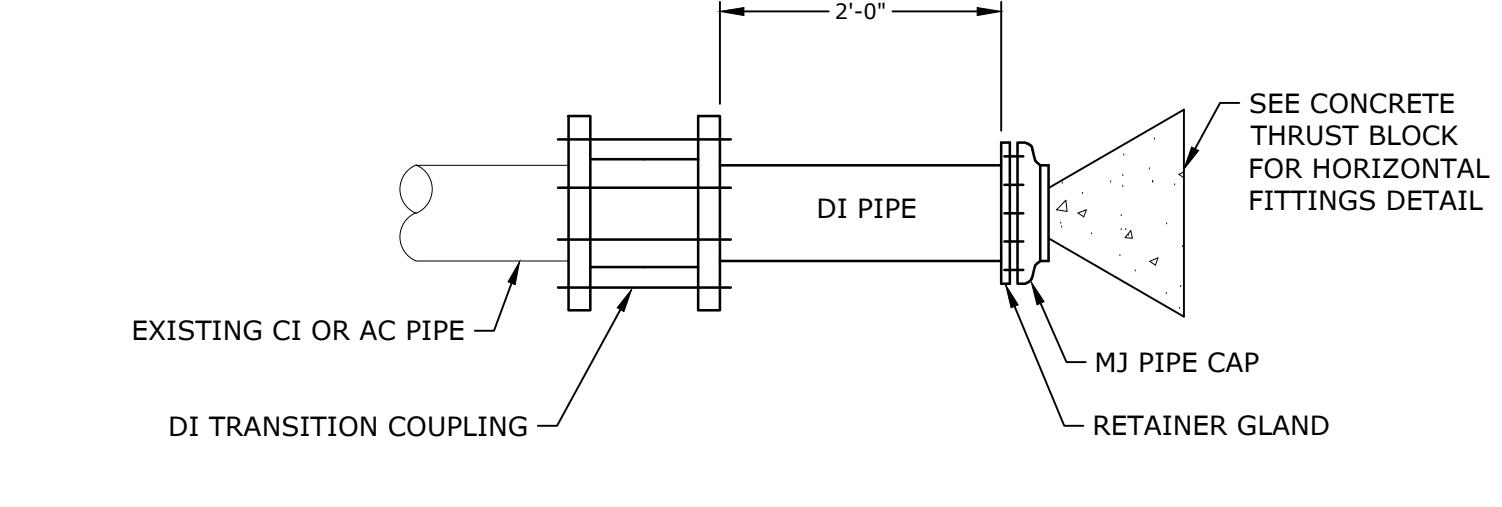
OUTSIDE PIPE DIAMETER 0 - 24"		OUTSIDE PIPE DIAMETER GREATER THAN 24"	
TEMPORARY PAVEMENT	PERMANENT PAVEMENT & LOAMING & SEEDING	TEMPORARY PAVEMENT	PERMANENT PAVEMENT & LOAMING & SEEDING
6'-6" MAX.	8'-6" MAX.	D + 4'-0" MAX.	D + 6'-0" MAX.

TABLE B - MAXIMUM TRENCH EXCAVATION PAY WIDTHS (SEE NOTE)

OUTSIDE PIPE DIAMETER 0 - 24"		OUTSIDE PIPE DIAMETER GREATER THAN 24"	
5'-0"		D + 3'-0"	

NOTE:

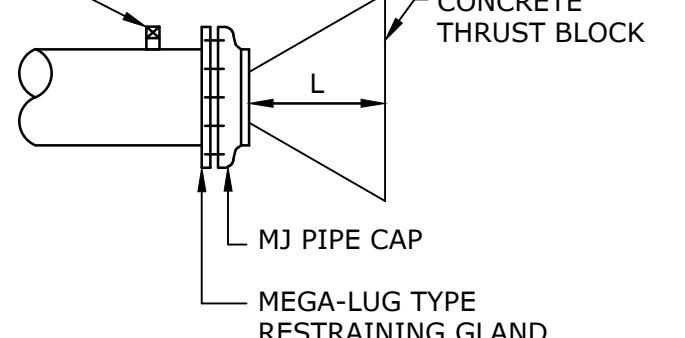
THE PAYLINE DIMENSIONS SHOWN REPRESENT THE MAXIMUM PAYLINE LIMITS TO BE PAID. WHEN THE ACTUAL SURFACE REPAIR OR TRENCH WIDTH IS LESS, THE ACTUAL WIDTH SHALL BE PAID FOR AT THE APPLICABLE UNIT PRICE.



CI PIPE OR AC PIPE SUBJECT TO PRESSURE CAPPING DETAIL

NO SCALE

3/4" CORP. STOP TO REMOVE AIR AND ALLOW FOR DISINFECTION, FLUSHING, ETC.



DI PIPE SUBJECT TO PRESSURE CAPPING DETAIL

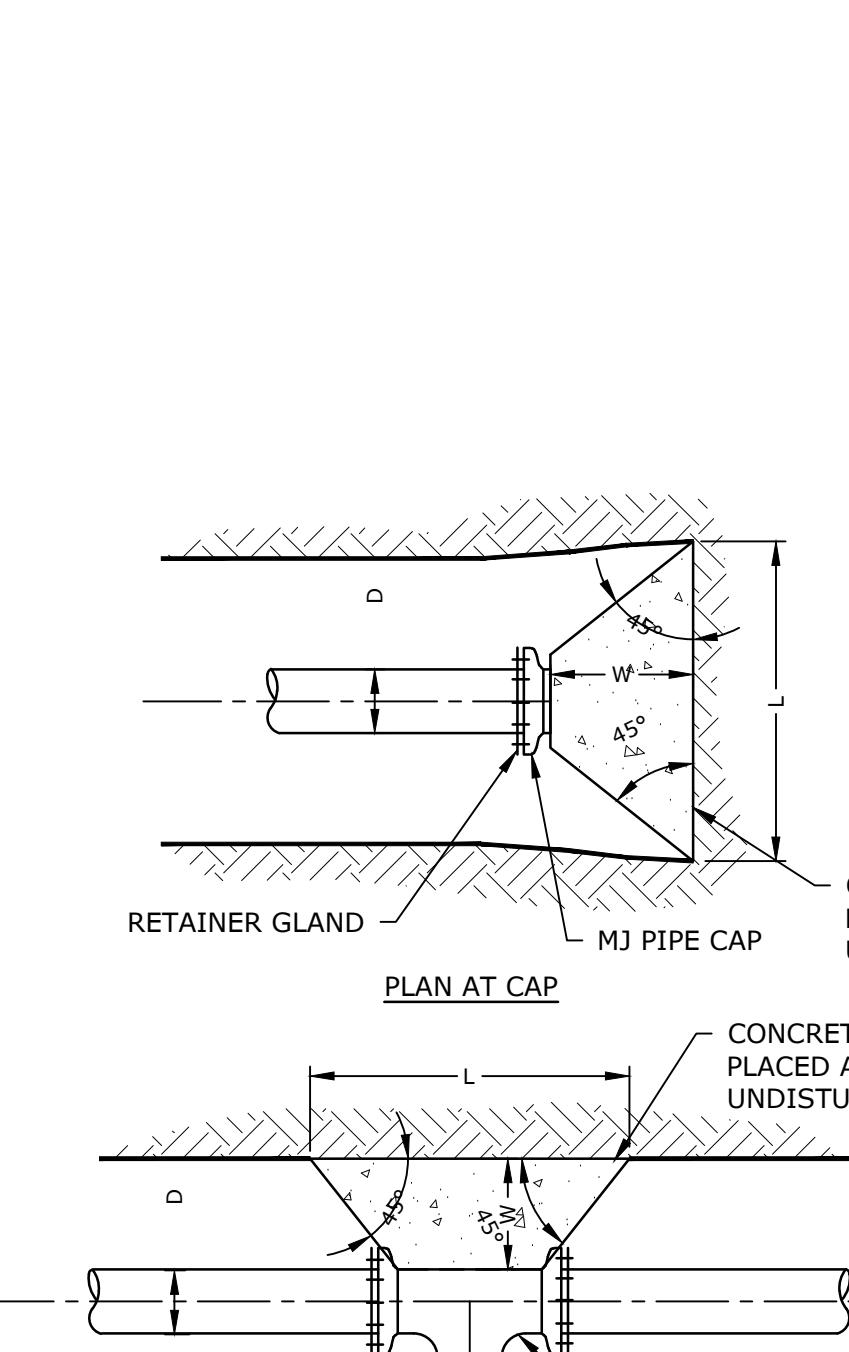
NO SCALE

NOTES:

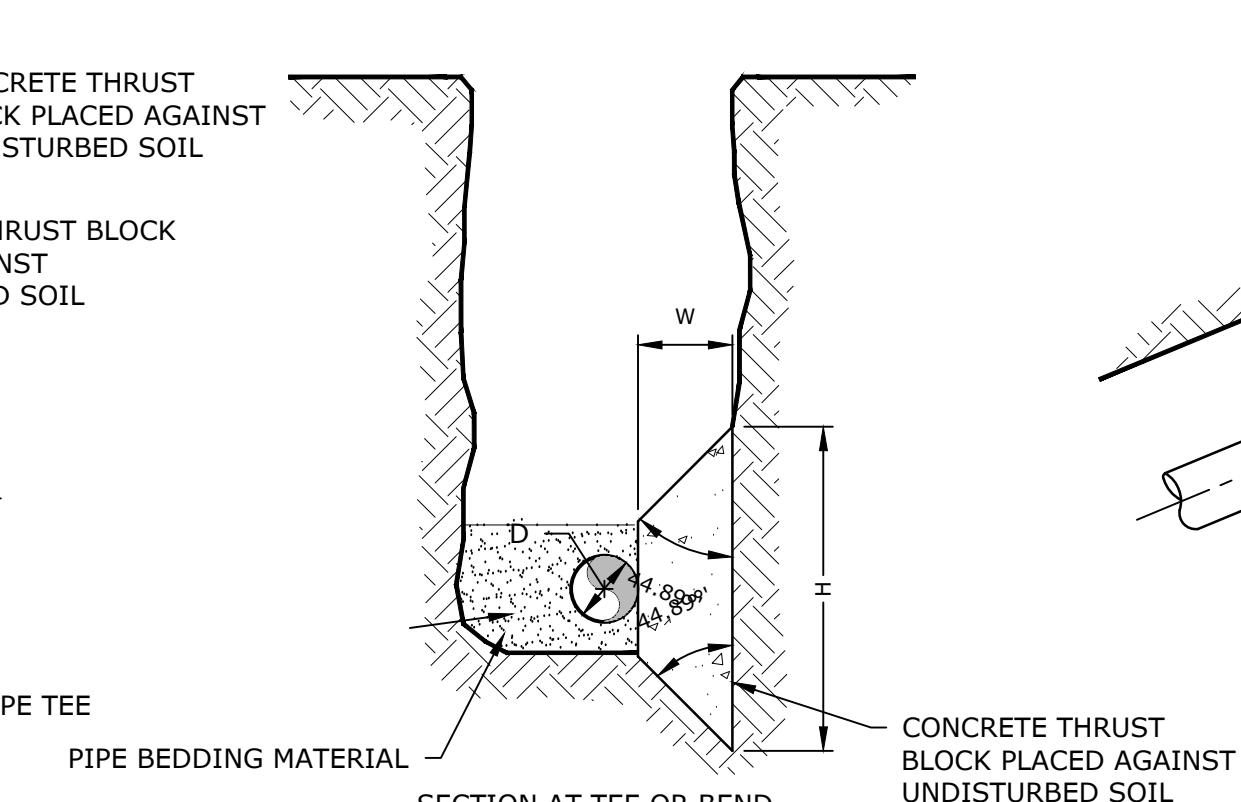
1. THE THRUST BLOCK DIMENSIONS SHOWN WERE CALCULATED BASED ON A 150 PSI INTERNAL PIPE PRESSURE, A SOIL BEARING STRENGTH OF 3000 PSF, AND A 45° BEND.
2. CONCRETE THRUST BLOCKS SHALL BE POURED AGAINST UNDISTURBED SOIL.
3. DIMENSIONS L, H, & W MAY BE ADJUSTED TO MEET FIELD CONDITIONS, PROVIDED THE BEARING AREA REMAINS UNCHANGED, UPON APPROVAL BY ENGINEER.
4. DOWNWARD VERTICAL BENDS SHALL BE RESTRAINED BY CAST-IN-PLACE CONCRETE THRUST BLOCKS OR OTHER RESTRAINING METHOD AS APPROVED BY ENGINEER.

### PRECAST CONCRETE THRUST BLOCKS FOR VERTICAL BENDS

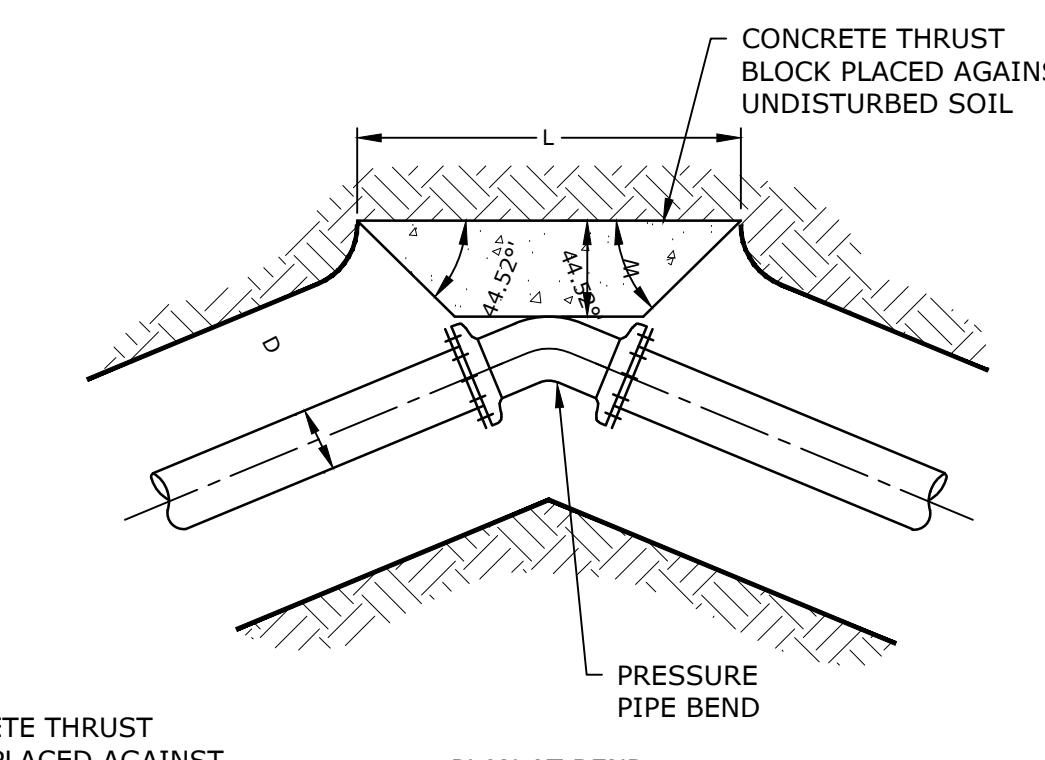
NO SCALE



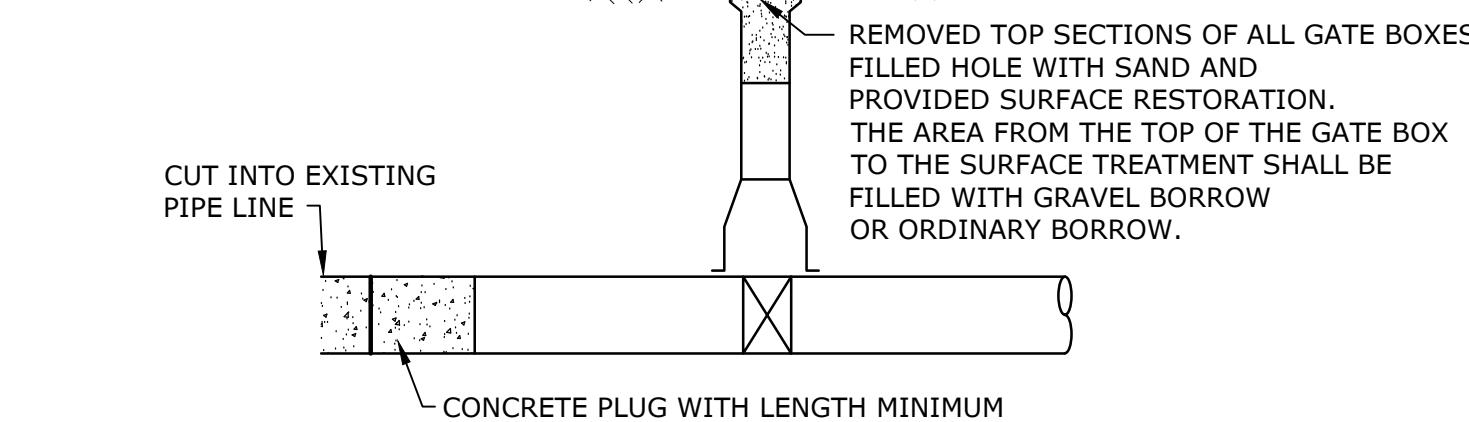
PRECAST CONCRETE THRUST BLOCK													
45° BEND				22 1/2° BEND				11 1/4° BEND				TEE/END	
D	BEARING AREA (SF)	"L"	"H"	"W"	BEARING AREA (SF)	"L"	"H"	"W"	BEARING AREA (SF)	"L"	"H"	"W"	
6"	3.6	2.2'	1.5'	2.4'	1.8	2.2'	1.1'	1.7'	0.9	2.2'	0.8'	1.1'	
8"	6.2	2.1'	2.0'	6.2'	3.1	2.1'	1.4'	2.2'	1.6	2.1'	1.4'	2.2'	



SECTION AT TEE OR BEND



PLAN AT BEND



TYPICAL WATER MAIN ABANDONMENT DETAIL (FOR PIPES NOT SUBJECT TO PRESSURE)

NO SCALE

SIZE (IN.)	FITTING	MIN. RESTRAINT LENGTH
6	45° BEND	6 FT
6	22 1/2° BEND	3 FT
6	11 1/4° BEND	2 FT
6	DEAD END/VALVE	24 FT
6	45° VERTICAL UP BEND	5 FT
6	45° VERTICAL DOWN BEND	5 FT
6	6"X6" TEE	12 FT
6	6X8 REDUCER	13 FT
8	45° BEND	7 FT
8	22 1/2° BEND	4 FT
8	11 1/4° BEND	2 FT
8	DEAD END/VALVE	31 FT
8	45° VERTICAL UP BEND	13 FT
8	45° VERTICAL DOWN BEND	13 FT
8	8"X8" TEE	19 FT
8	8"X6" TEE	8 FT
8	12X8 REDUCER	23 FT

MINIMUM RESTRAINED LENGTHS FOR DI PIPE

NO SCALE

NOTES:

1. MINIMUM RESTRAINED LENGTHS ARE BASED ON DIPRA THRUST RESTRAINT DESIGN FOR DUCTILE IRON PIPE, LATEST EDITION. BENDS ARE HORIZONTAL UNLESS NOTED OTHERWISE.
2. THE FOLLOWING CONDITIONS APPLY:
  - LAYING CONDITION: 3
  - SOIL DESIGNATION: SW
  - DEPTH OF COVER: 5 FT
  - DESIGN INTERNAL PRESSURE: 200 PSI
  - SAFETY FACTOR: 1.5
  - TEE RUN LENGTH: 5 FT
3. THE MINIMUM RESTRAINED LENGTHS SHOWN ARE SUBJECT TO RECALCULATION BASED ON FIELD CONDITIONS.

MARK

DATE

DESCRIPTION

PROJECT NO:

B0852-022

DATE:

11/05/2025

FILE:

B0852\_022 - DETAILS.dwg

DRAWN BY:

KJV

DESIGNED/CHECKED BY:

KJV

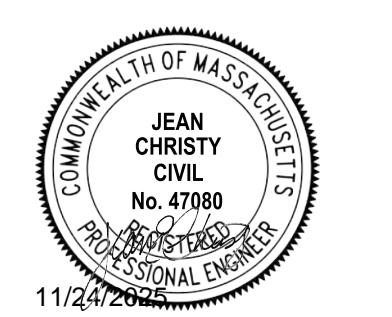
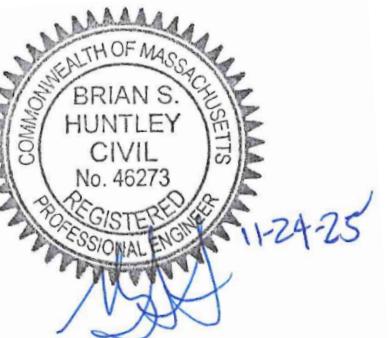
APPROVED BY:

JEC

## WATER MAIN DETAILS 1

SCALE: AS SHOWN

C-501



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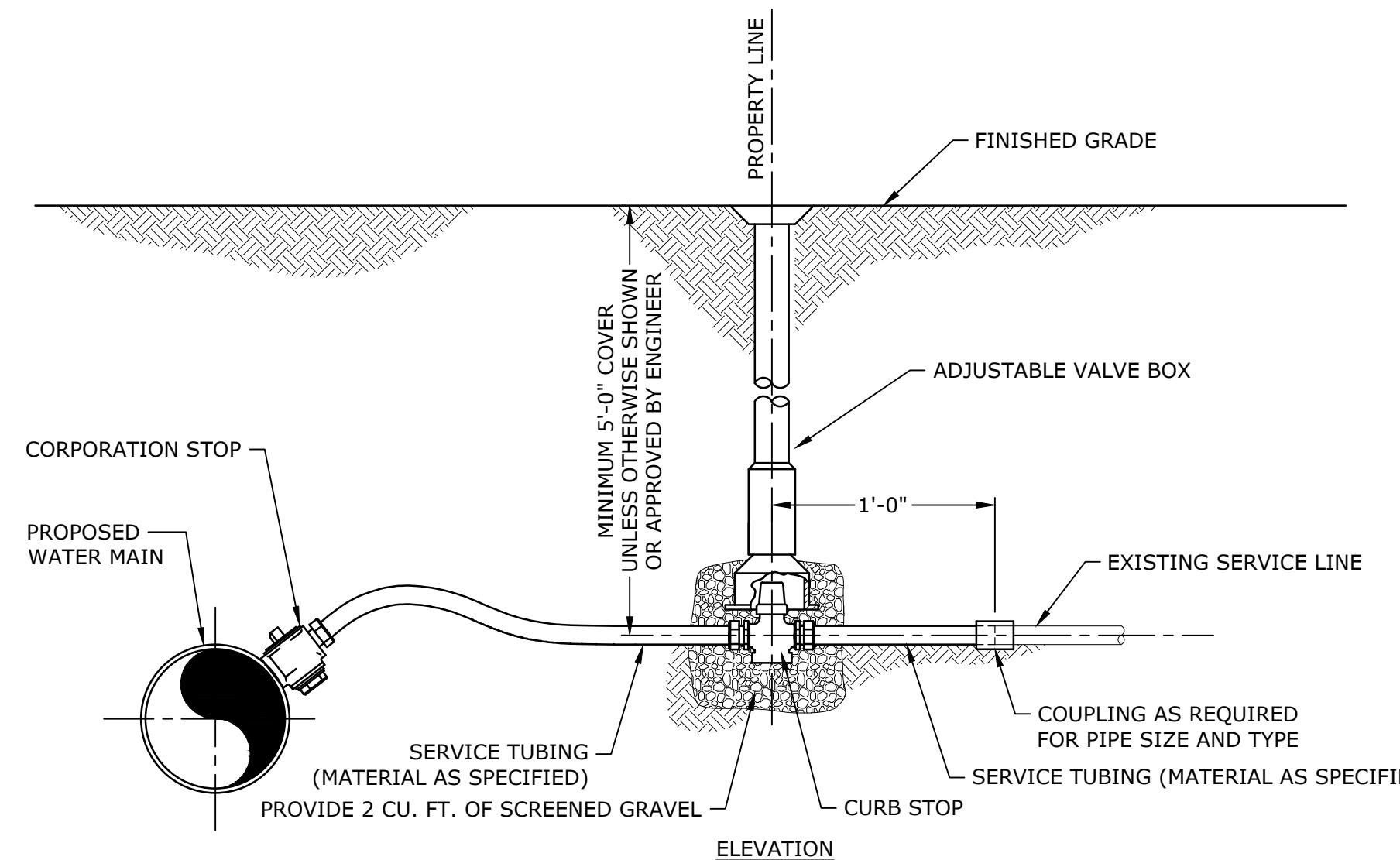
### LAKE HIAWATHA DRAINAGE AND WATER MAIN REPLACEMENT

Town of Bellingham, MA

Bellingham, Massachusetts

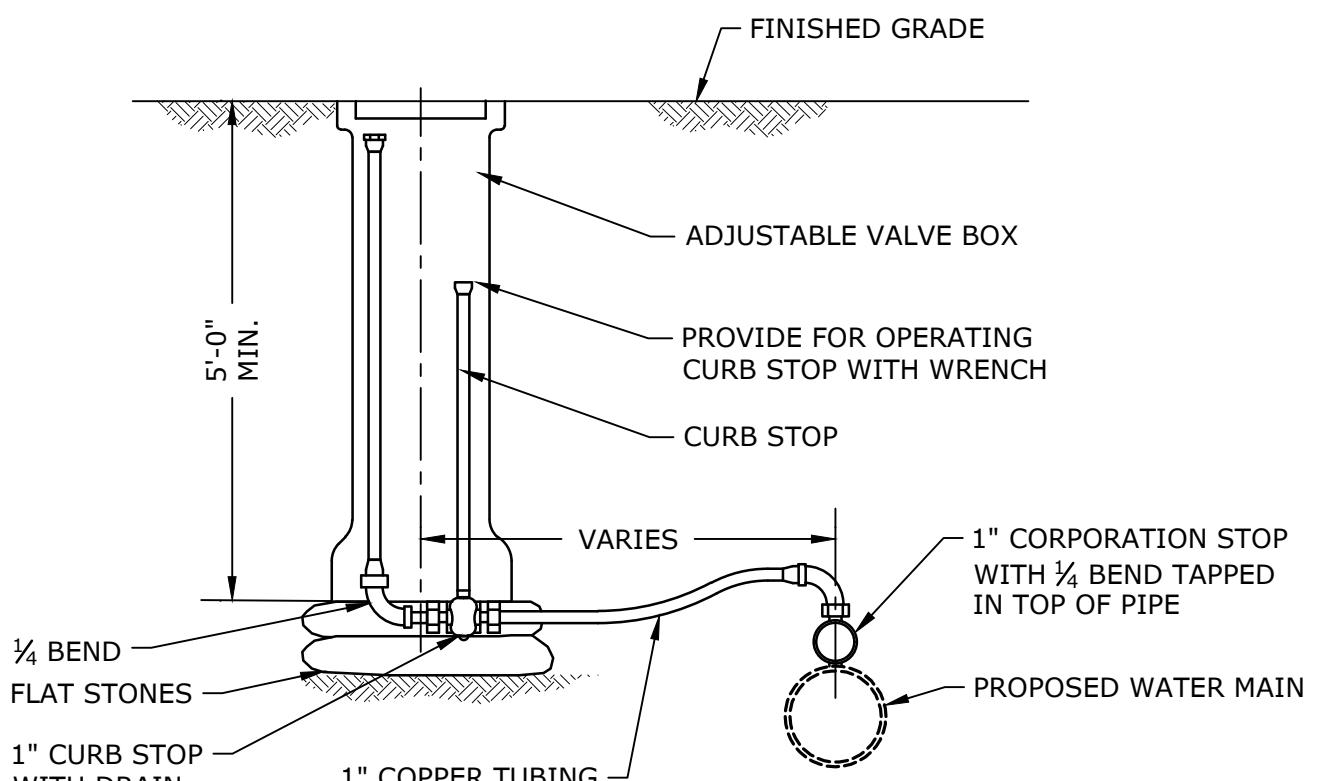
MARK	DATE	DESCRIPTION
PROJECT NO:	B0852-022	
DATE:	11/05/2025	
FILE:	B0852_022 - DETAILS.dwg	
DRAWN BY:	KJV	
DESIGNED/CHECKED BY:	KJV	
APPROVED BY:	JEC	
WATER MAIN DETAILS 2		
SCALE:	AS SHOWN	

C-502

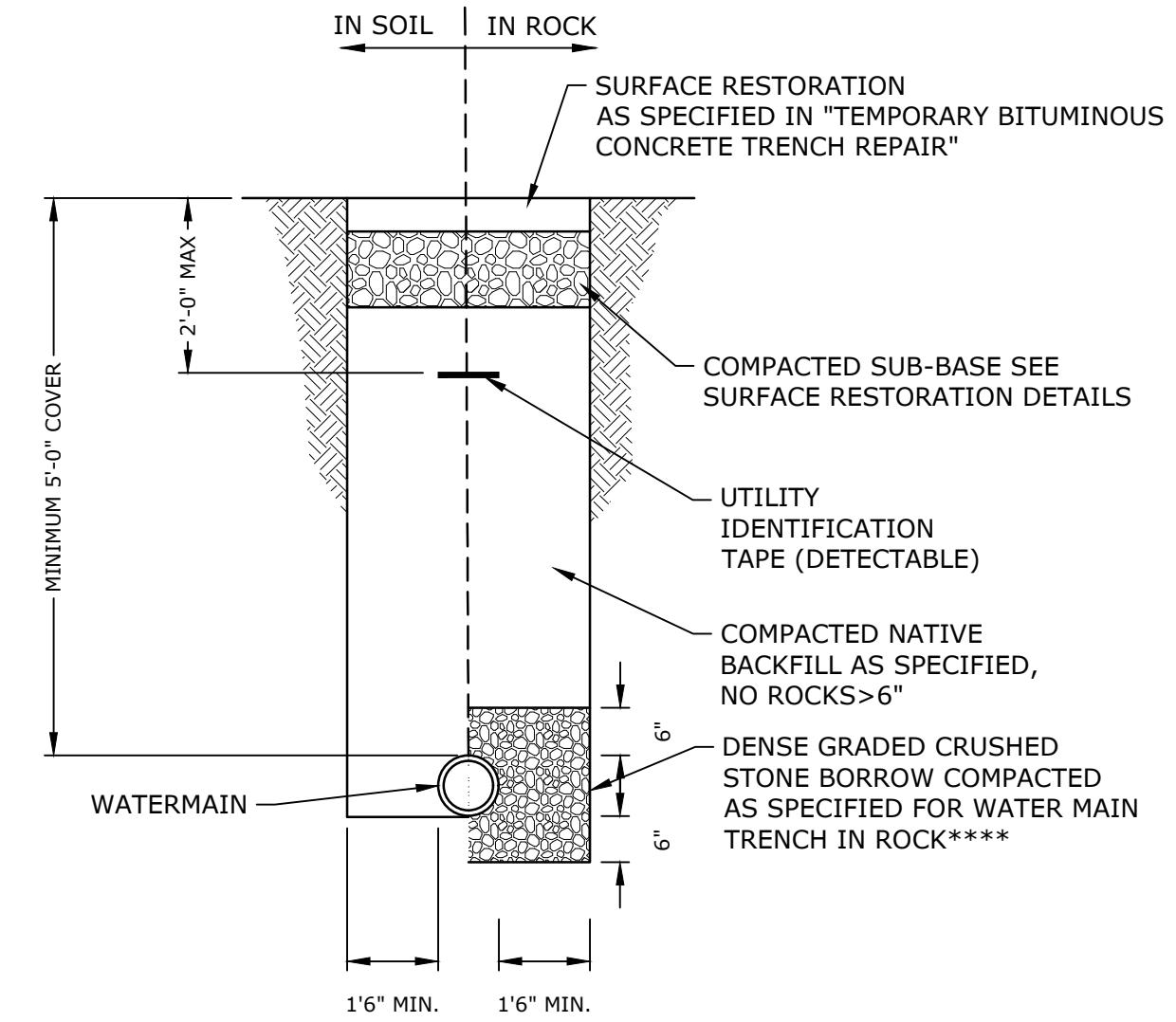


NOTES:

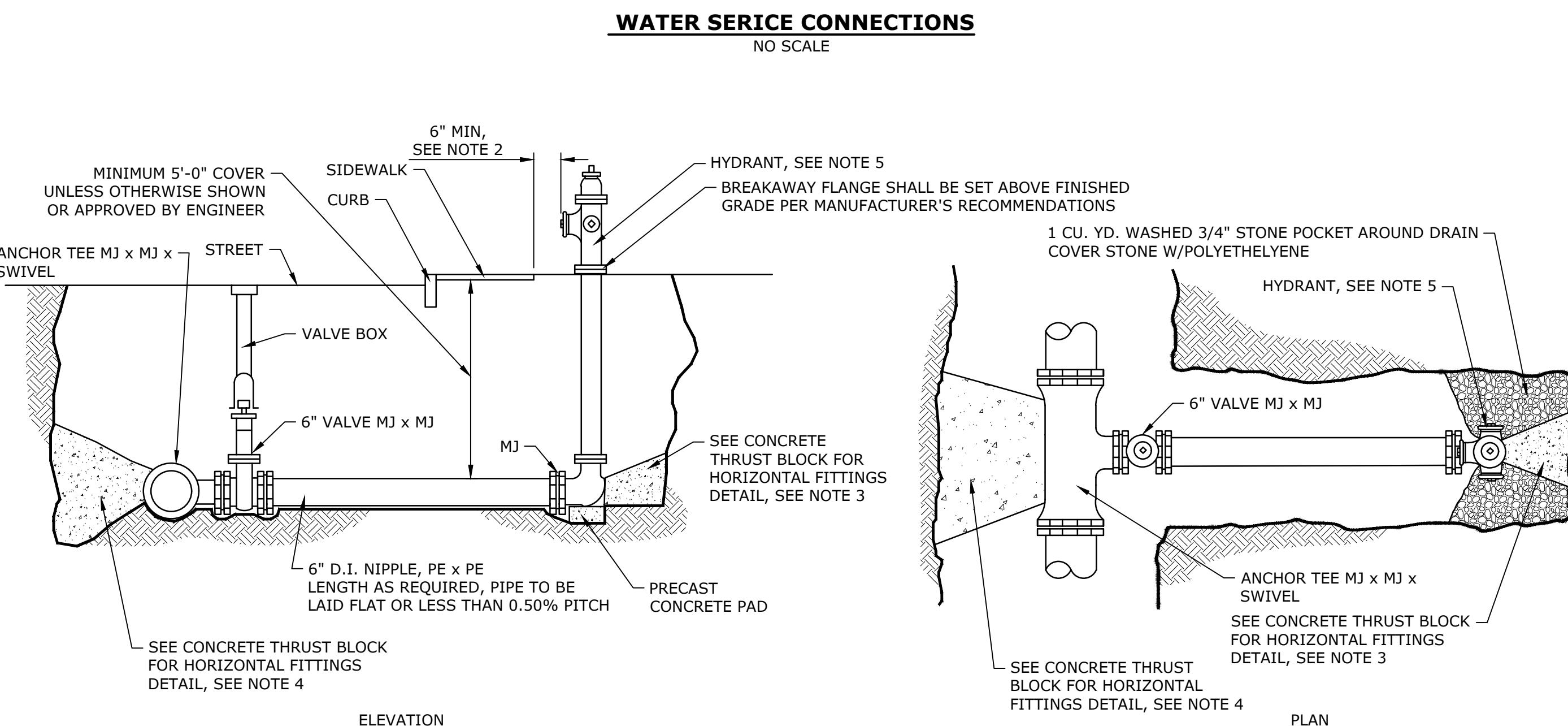
1. EXISTING WATER SERVICE TO BE FIELD VERIFIED.
2. PROVIDE NEW WATER SERVICES TO ALL PROPERTIES SHOWN ON THE DRAWINGS UNLESS OTHERWISE DIRECTED BY THE OWNER. LOCATIONS OF NEW WATER SERVICES AND CURB STOPS SHALL BE FIELD LOCATED PER THE OWNER'S DIRECTION.
3. WHEN WATER SERVICES ARE BEING TRANSFERRED FROM AN EXISTING WATER MAIN TO A NEW WATER MAIN, THE EXISTING WATER SERVICE SHALL BE ABANDONED AT THE EXISTING WATER MAIN PER THE OWNER'S DIRECTION.
4. SERVICE SADDLES SHALL BE REQUIRED FOR LARGER SERVICES. REFER TO SPECIFICATION SECTION 02519, WATER SERVICES.
5. POSITION CORPORATION STOP VALVE OPERATOR OPPOSITE FROM DIRECTION OF COPPER SERVICE PIPE AT MAIN.
6. INSTALL CURB STOP SO THAT IT IS OFFSET A MINIMUM OF 2' FROM ANY OBSTRUCTION PREVENTING THE USE OF CURB STOP WRENCH (E.G., FENCE, RETAINING WALL, ETC.).
7. PROVIDE NEW CURB STOP AND BOX WHERE NOTED/SHOWN ON THE DRAWINGS.



**PERMANENT AIR VENT**  
NOT TO SCALE



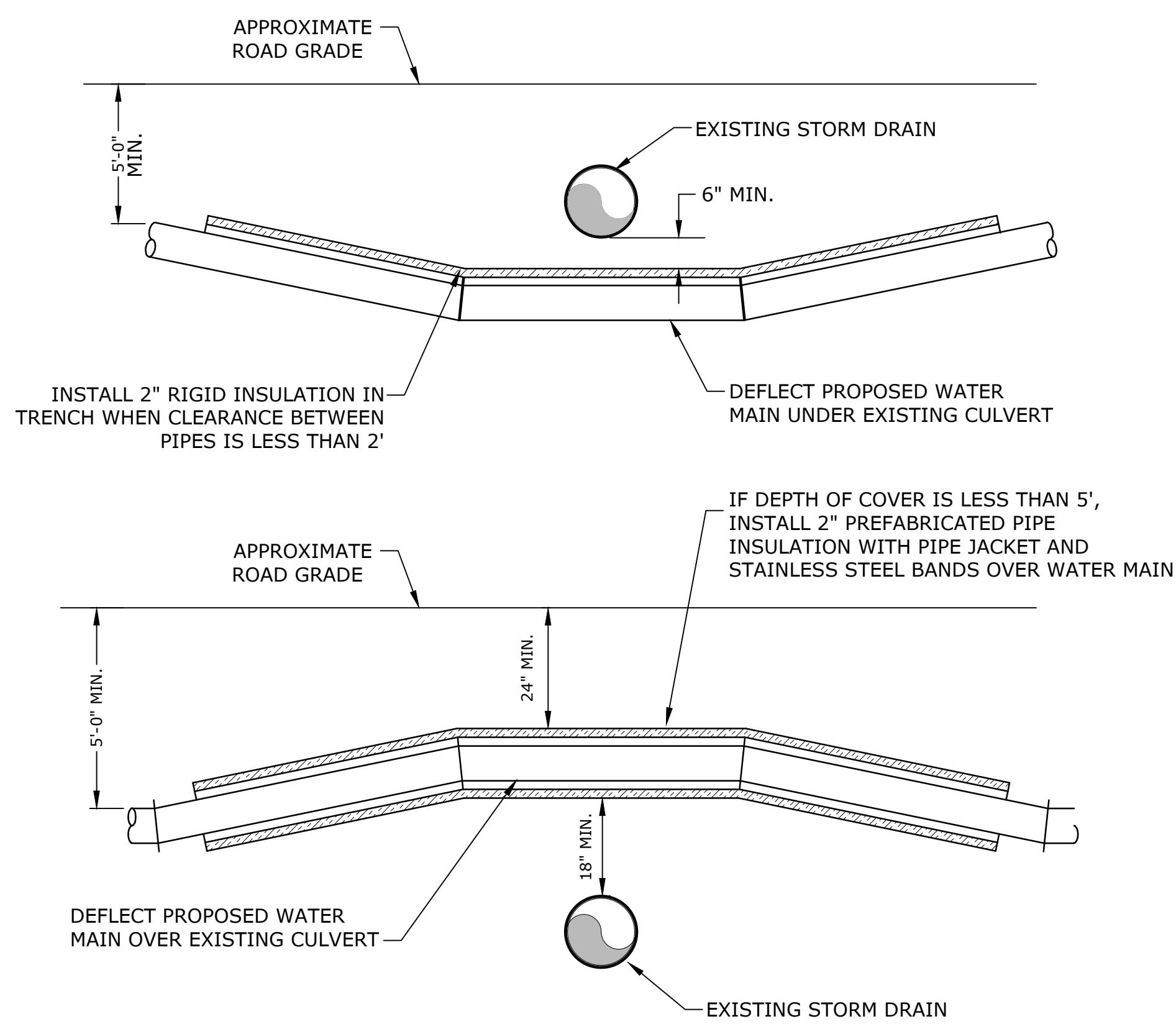
**TYPICAL WATERMAIN TRENCH**  
NO SCALE



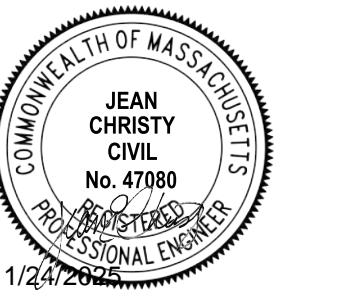
NOTES:

1. ALL MJ JOINTS SHALL HAVE RETAINER GLANDS.
2. HYDRANT OFFSET DISTANCES TO EXISTING SURFACE FEATURES SHALL BE FIELD COORDINATED WITH THE OWNER AND AS DIRECTED BY THE ENGINEER.
3. CARE SHALL BE TAKEN TO SHIELD HYDRANT BASE DRAIN HOLES DURING PLACEMENT OF THE CONCRETE THRUST BLOCK. DRAIN HOLES SHALL BE VERIFIED AS OPEN AND FREE OF OBSTRUCTIONS PRIOR TO BACKFILLING.
4. CARE SHALL BE TAKEN TO SHIELD ALL MECHANICAL JOINT GLANDS AND BOLTS DURING PLACEMENT OF CONCRETE THRUST BLOCK. ALL BOLTS AND GLANDS SHALL BE FREE AND UNOBSTRUCTED BEFORE BACKFILLING.
5. HYDRANT SHALL BE SET PLUMB. VERTICAL HYDRANT EXTENSIONS SHALL BE USED AS NECESSARY TO PROPERLY LOCATE THE BREAKAWAY FLANGE PER MANUFACTURER'S RECOMMENDATIONS.
6. POLYETHYLENE SHEETING SHALL BE PLACED OVER THE FITTING AND HYDRANT BASE TO PREVENT DIRECT CONTACT OF CONCRETE WITH THE FITTING AND HYDRANT BASE.

**HYDRANT ASSEMBLY**  
NO SCALE



**STORM DRAIN CROSSING**  
NOT TO SCALE



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## LAKE HIAWATHA DRAINAGE AND WATER MAIN REPLACEMENT

Town of  
Bellingham, MA

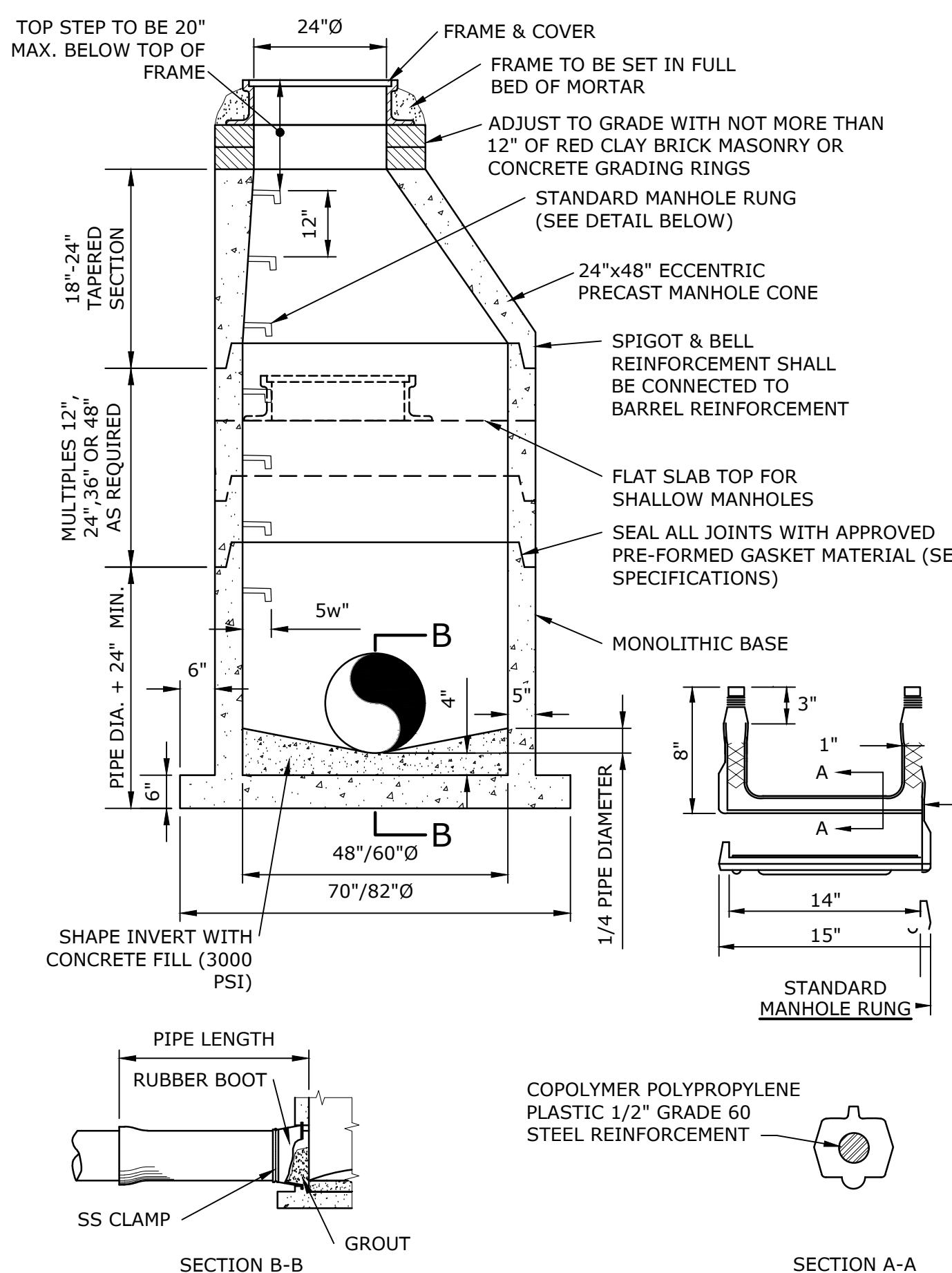
Bellingham,  
Massachusetts

MARK	DATE	DESCRIPTION
PROJECT NO:	B0852-022	
DATE:	11/05/2025	
FILE:	B0852_022 - DETAILS.dwg	
DRAWN BY:	JAK	
DESIGNED/CHECKED BY:	TAL	
APPROVED BY:	JEC	

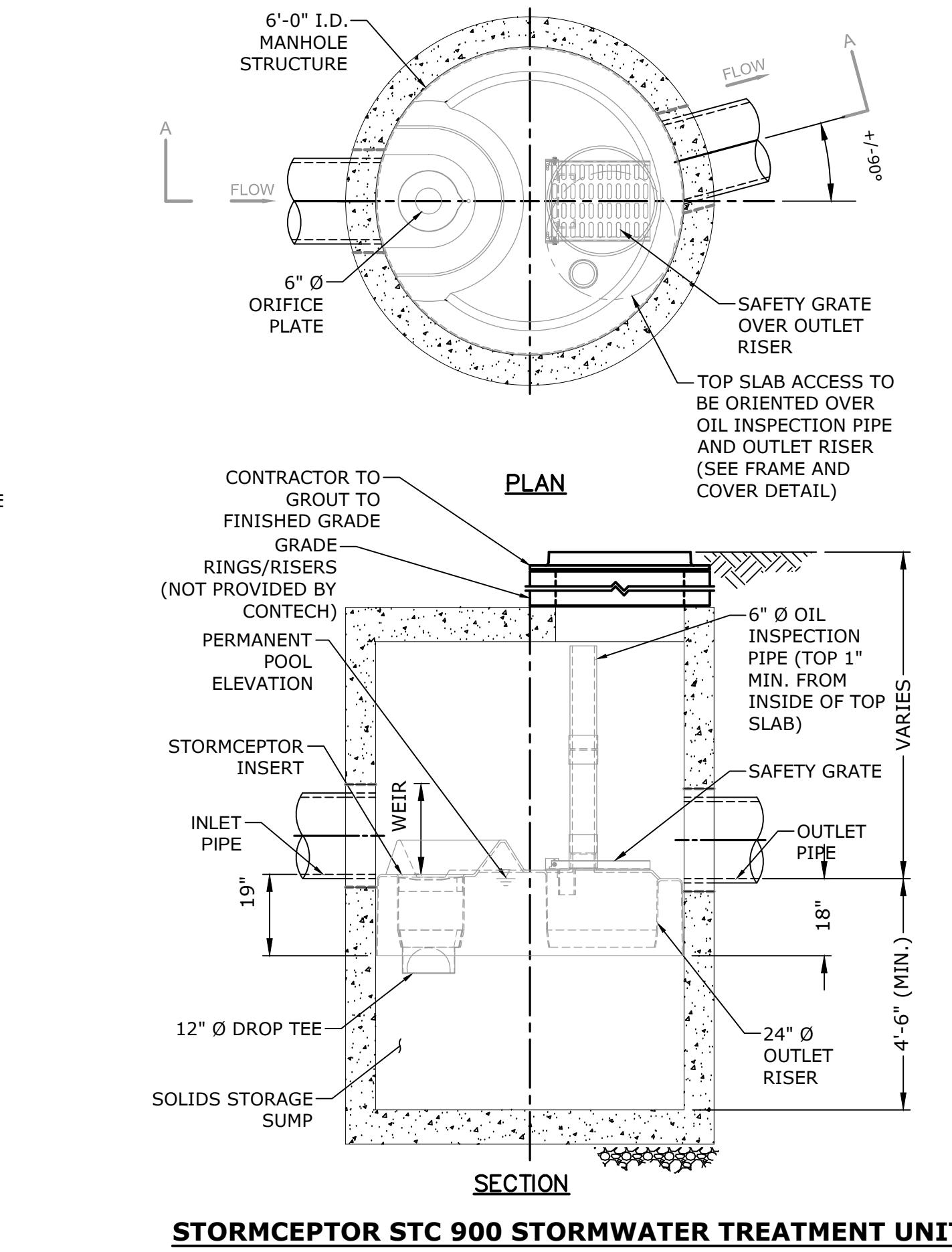
### SITE DETAILS 1

SCALE: AS SHOWN

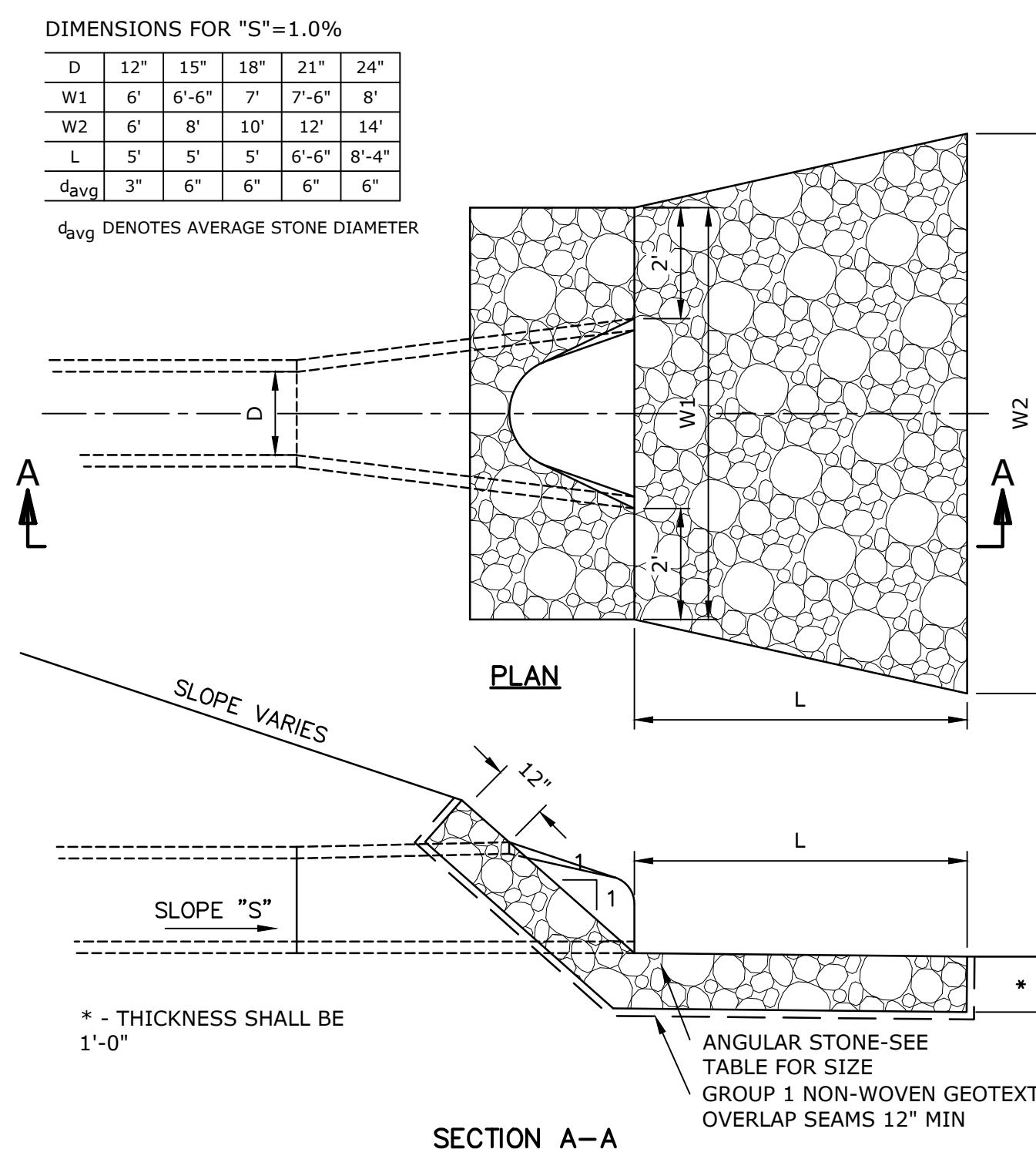
C-503



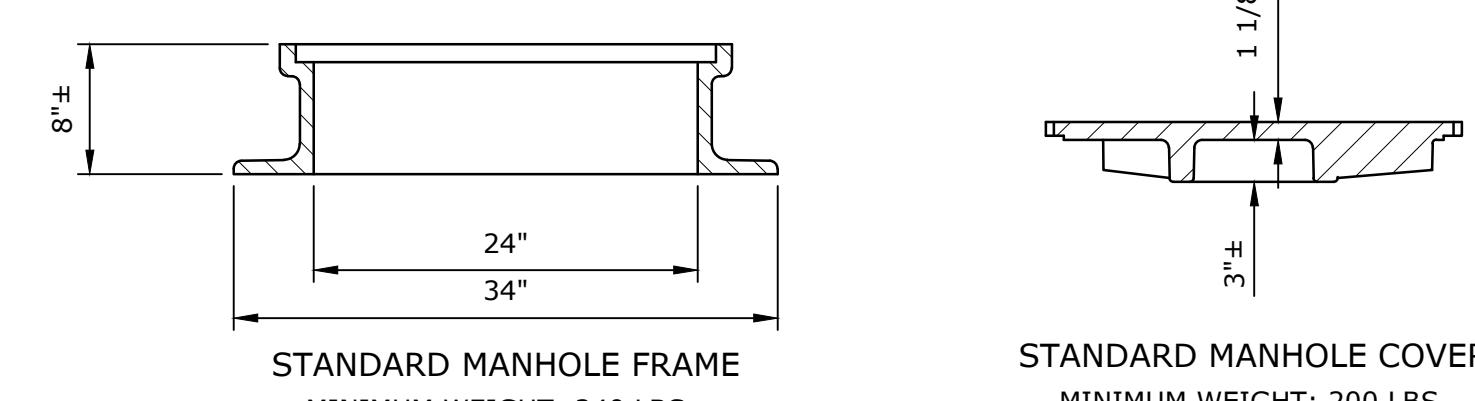
**48"/60" PRECAST DRAIN MANHOLE (DMH)**



**STORMCEPTOR STC 900 STORMWATER TREATMENT UNIT**

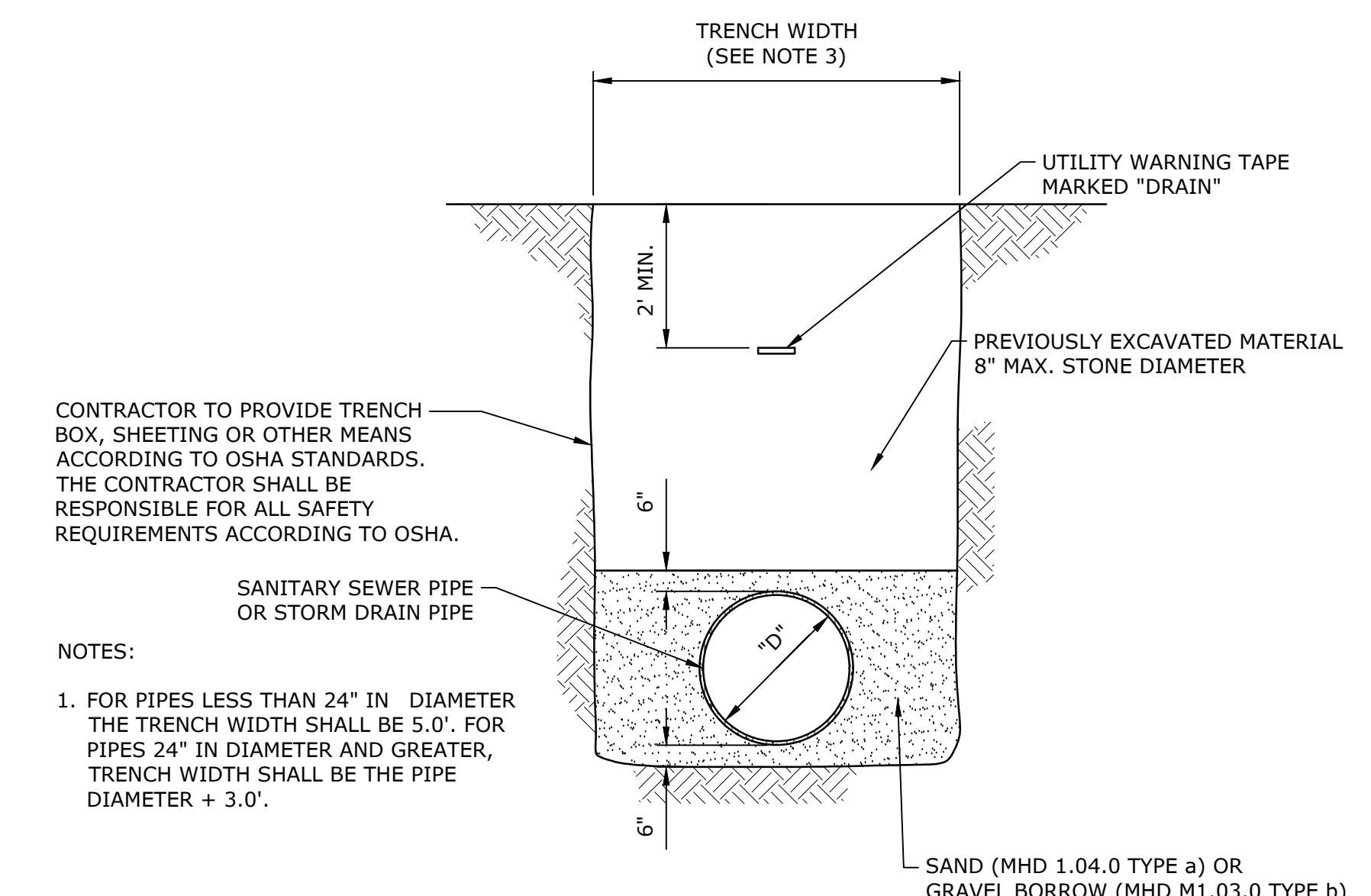


**FLARED END SECTION WITH OUTLET PROTECTION**



**NOTES:**  
1. FRAME AND COVER SHALL BE PROVIDED FROM THE SAME MANUFACTURER.  
2. LETTERING SHALL BE CAST INTO COVERS AS SPECIFIED.

**MANHOLE FRAME & COVER**









# Photographic Log

**Tighe&Bond**

**Client:** Town of Bellingham

**Job Number:** B0852009

**Site:** Lake Hiawatha Drainage Improvements

<b>Photograph No.:</b> 1	<b>Date:</b> 6/15/2022	<b>Direction Taken:</b> South
--------------------------	------------------------	-------------------------------

**Description:** Lakeshore Drive



**Photograph No.:** 2    **Date:** 6/15/2022    **Direction Taken:** North

**Description:** Existing drainage collection, Lakeshore Drive



# Photographic Log

**Tighe&Bond**

**Client:** Town of Bellingham

**Job Number:** B0852009

**Site:** Lake Hiawatha Drainage Improvements

<b>Photograph No.:</b> 3	<b>Date:</b> 6/15/2022	<b>Direction Taken:</b> West
--------------------------	------------------------	------------------------------

**Description:** Lakeshore Drive from drainage channel



<b>Photograph No.:</b> 4	<b>Date:</b> 6/15/2022	<b>Direction Taken:</b> East
--------------------------	------------------------	------------------------------

**Description:** Drainage channel



# Photographic Log

**Tighe&Bond**

**Client:** Town of Bellingham

**Job Number:** B0852009

**Site:** Lake Hiawatha Drainage Improvements

<b>Photograph No.:</b> 5	<b>Date:</b> 6/15/2022	<b>Direction Taken:</b> East
--------------------------	------------------------	------------------------------

**Description:** Drainage channel



<b>Photograph No.:</b> 6	<b>Date:</b> 6/15/2022	<b>Direction Taken:</b> West from Indian Run Road area
--------------------------	------------------------	--

**Description:** Drainage channel



# Photographic Log

**Tighe&Bond**

**Client:** Town of Bellingham

**Job Number:** B0852009

**Site:** Lake Hiawatha Drainage Improvements

<b>Photograph No.:</b> 7	<b>Date:</b> 6/15/2022	<b>Direction Taken:</b> West
--------------------------	------------------------	------------------------------

**Description:** Culvert outfall at Lake Hiawatha



<b>Photograph No.:</b> 8	<b>Date:</b> 6/15/2022	<b>Direction Taken:</b> East
--------------------------	------------------------	------------------------------

**Description:** Deposited sediment at drainage outfall





# **Bellingham Assessors List of Abutters**



## ***TOWN OF BELLINGHAM***

*Assessment Administration Office*  
Municipal Center - 10 Mechanic Street  
Bellingham, Massachusetts 02019  
508-657-2862 \* FAX 508-657-2894  
Email: [Assessors@bellinghamma.org](mailto:Assessors@bellinghamma.org)  
[www.bellinghamma.org](http://www.bellinghamma.org)

November 20, 2025

**THE PROPERTY OWNERS LISTED HEREIN ARE THE KNOWN ABUTTERS TO  
THE PROPERTY OWNERS:**

**100 Feet Abutters – Conservation Commission – Multiple Map & Parcels on  
Lakeshore Drive  
Indian Run Rd  
Bernier Lane**

Property Address(es): **Multiple Addresses  
Bellingham, MA 02019**

Owner(s) of Record:  Multiple Owners

Requested: Tighe & Bond on behalf of Bellingham DPW  
120 Front Street  
Suite 700  
Worcester, MA 01608

## ABUTTERS ATTACHED

Certified: Michelle Nowlan  
Michelle Nowlan, Principal Clerk

**TOWN OF BELLINGHAM**  
**ASSESSMENT ADMINISTRATION OFFICE**  
*Bellingham Municipal Center*  
*10 Mechanic St.*  
**BELLINGHAM, MA 02019**  
**PHONE (508) 657-2862 FAX (508) 657-2894**

**Date of Application** November 17, 2025

**REQUEST FOR LIST OF ABUTTERS**

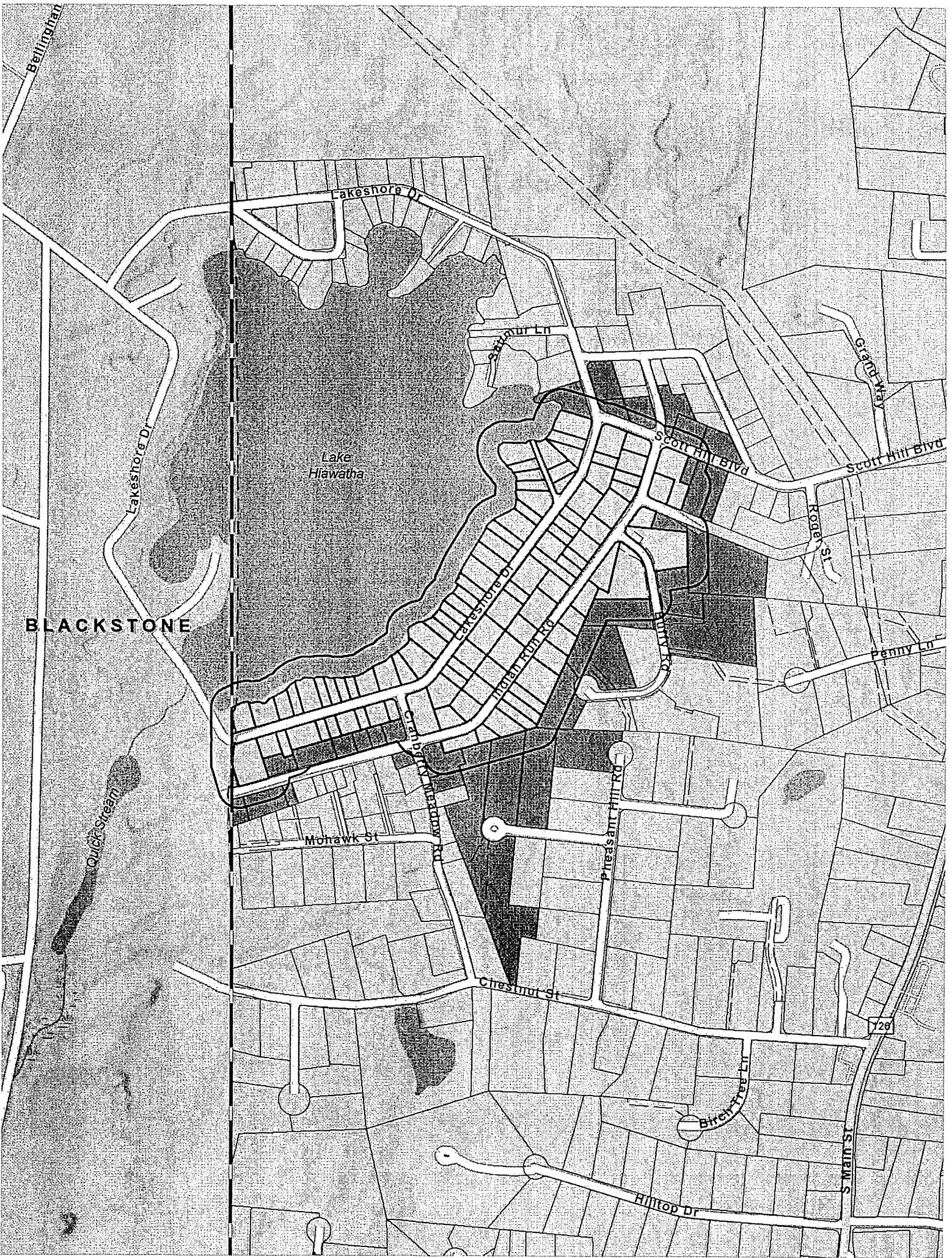
A **\$25.00 Fee PER LIST** is required to process your request. Payment is due at the time of submission of this form. Fees apply to the preparation of a new list or verification or reverification on an existing or expired list. Please allow up to 10 business days from the date of payment and submission of the form for the Assessors office to complete the processing of your request. Checks/Money Orders are made out to: "The Town of Bellingham". Cash payments are accepted in person.

Please indicate with a check

Immediate Abutters-Selectboard  
 Abutter to Abutter within 300 feet -Zoning Board  
 Abutter to Abutter within 300 feet -Planning Board  
 Abutters within 100 feet - Conservation Commission  
 Other – please specify: \_\_\_\_\_

<b>Map</b> <u>See attached figure</u>	<b>Parcel(s)</b> <u>See attached figure</u>
<hr/>	
Bellingham Department of Public Works	Lakeshore Drive, Indian Run Road, Bernier Lane
<hr/>	<hr/>
Applicant (please print)	Location of Property
<hr/>	
Emmalin Coates, Tighe & Bond on behalf of Bellingham DPW	
<hr/>	
120 Front Street Suite 700 Worcester, MA 01608	Signature of Applicant
<hr/>	<hr/>
Mailing Address of Applicant	781-375-2558
<hr/>	
Telephone Number	

**ABUTTERS LIST IS VALID FOR THIRTY (30) DAYS AFTER COMPLETION**





# 100 feet Abutters List Report

Bellingham, MA  
November 20, 2025

## Subject Properties:

Parcel Number: 0070-0004-0000  
CAMA Number: 0070-0004-0000  
Property Address: 18 INDIAN RUN RD  
Mailing Address: JENNESS, DERICK LOPES, JASMINE  
18 INDIAN RUN RD  
BELLINGHAM, MA 02019

Parcel Number: 0070-0006-0000  
CAMA Number: 0070-0006-0000  
Property Address: 16 INDIAN RUN RD  
Mailing Address: CORADO, LESTER CAMILO R HUGHES,  
JAIME E  
16 INDIAN RUN RD  
BELLINGHAM, MA 02019

Parcel Number: 0070-0007-0000  
CAMA Number: 0070-0007-0000  
Property Address: 4 ROGER ST  
Mailing Address: DESPLECHIN FAMILY TRUST THEREZA  
L DESPLECHIN-TR  
4 ROGER ST  
BELLINGHAM, MA 02019

Parcel Number: 0070-0015-0000  
CAMA Number: 0070-0015-0000  
Property Address: 21 INDIAN RUN RD  
Mailing Address: LAFOUNTAIN, KENNETH L  
LAFOUNTAIN, RUTH L  
21 INDIAN RUN ROAD  
BELLINGHAM, MA 02019

Parcel Number: 0070-0016-0000  
CAMA Number: 0070-0016-0000  
Property Address: 19 INDIAN RUN RD  
Mailing Address: HELMUTH JUDITH A  
19 INDIAN RUN RD  
BELLINGHAM, MA 02019

Parcel Number: 0070-0017-0000  
CAMA Number: 0070-0017-0000  
Property Address: 17 INDIAN RUN RD  
Mailing Address: SMITH, WILLIAM A & SUSAN-L/E  
WILSON, MELISSA M - ET AL  
17 INDIAN RUN RD  
BELLINGHAM, MA 02019

Parcel Number: 0070-0018-0000  
CAMA Number: 0070-0018-0000  
Property Address: 15 INDIAN RUN RD  
Mailing Address: DATEWOOD REALTY LLC  
PO BOX 469  
BELLINGHAM, MA 02019

Parcel Number: 0070-0019-0000  
CAMA Number: 0070-0019-0000  
Property Address: 11 INDIAN RUN RD  
Mailing Address: OUELLETTE, JOSEPH A  
11 INDIAN RUN RD  
BELLINGHAM, MA 02019

Parcel Number: 0070-0020-0000  
CAMA Number: 0070-0020-0000  
Property Address: 58 SCOTT HILL BV  
Mailing Address: BERNARDO, NICHOLAS J & GAIL  
58 SCOTT HILL BV  
BELLINGHAM, MA 02019

Parcel Number: 0070-0021-0000  
CAMA Number: 0070-0021-0000  
Property Address: 2 LAKESHORE DR  
Mailing Address: ONEAL, WILLIAM S JR & ONEAL,  
KIMBERLY  
2 LAKESHORE DR  
BELLINGHAM, MA 02019

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# 100 feet Abutters List Report

Bellingham, MA

November 20, 2025

Parcel Number: 0070-0023-0000  
CAMA Number: 0070-0023-0000  
Property Address: 4 LAKESHORE DR

Mailing Address: BESCHI GUIDO  
4 LAKESHORE DR  
BELLINGHAM, MA 02019

Parcel Number: 0070-0025-0000  
CAMA Number: 0070-0025-0000  
Property Address: 8 LAKESHORE DR

Mailing Address: JARVIS, JUSTINE  
8 LAKESHORE DR  
BELLINGHAM, MA 02019

Parcel Number: 0070-0026-0000  
CAMA Number: 0070-0026-0000  
Property Address: 10 LAKESHORE DR

Mailing Address: PICARD, RONALD + SIMONE  
100 WRENTHAM RD  
BELLINGHAM, MA 02019

Parcel Number: 0070-0027-0000  
CAMA Number: 0070-0027-0000  
Property Address: 14 LAKESHORE DR

Mailing Address: RANDAZZO KENNETH J & KATHLEEN  
14 LAKESHORE DR  
BELLINGHAM, MA 02019

Parcel Number: 0070-0028-0000  
CAMA Number: 0070-0028-0000  
Property Address: 16 LAKESHORE DR

Mailing Address: SIMKINS, GREGORY D & NICOLE E  
16 LAKESHORE DR  
BELLINGHAM, MA 02019

Parcel Number: 0070-0029-0000  
CAMA Number: 0070-0029-0000  
Property Address: 18 LAKESHORE DR

Mailing Address: LOMBARDI VICTOR J & MELISSA A  
18 LAKESHORE DR  
BELLINGHAM, MA 02019

Parcel Number: 0070-0030-0000  
CAMA Number: 0070-0030-0000  
Property Address: 21 LAKESHORE DR

Mailing Address: FERRONE, JAMES M & ALISON-L/E  
FERRONE, CLIFFORD J &  
21 LAKESHORE DR  
BELLINGHAM, MA 02019

Parcel Number: 0070-0031-0000  
CAMA Number: 0070-0031-0000  
Property Address: 17 LAKESHORE DR

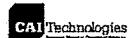
Mailing Address: FEINGOLD, JEFFREY  
17 LAKESHORE DR  
BELLINGHAM, MA 02019

Parcel Number: 0070-0032-0000  
CAMA Number: 0070-0032-0000  
Property Address: 13 LAKESHORE DR

Mailing Address: GALANTE, LORETO & MARLENA N  
13 LAKESHORE DR  
BELLINGHAM, MA 02019

Parcel Number: 0070-0033-0000  
CAMA Number: 0070-0033-0000  
Property Address: 4 BERNIER LN

Mailing Address: GASTON & PATSIE BLANCHETTE-L/T  
GASTON & PATSIE BLANCHETTE-TRS  
400 EAST PARKWOOD AV-APT 280  
FRIENDSWOOD, TX 77546



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# 100 feet Abutters List Report

Bellingham, MA

November 20, 2025

Parcel Number: 0070-0034-0000  
CAMA Number: 0070-0034-0000  
Property Address: 6 BERNIER LN

Mailing Address: CARLISLE, DUANE A + CAROL A-LE  
CARLISLE FAMILY REV LIVING TRU  
6 MILK ST  
MILLVILLE, MA 01529

Parcel Number: 0070-0035-0000  
CAMA Number: 0070-0035-0000  
Property Address: 8 BERNIER LN

Mailing Address: HANSEN, WENDY L  
8 BERNIER LN  
BELLINGHAM, MA 02019

Parcel Number: 0070-0036-0000  
CAMA Number: 0070-0036-0000  
Property Address: 10 BERNIER LN

Mailing Address: MARCHAND, LISA V  
10 BERNIER LN  
BELLINGHAM, MA 02019

Parcel Number: 0070-0037-0000  
CAMA Number: 0070-0037-0000  
Property Address: 9 BERNIER LN

Mailing Address: KACHMARSKY, JAMES + CATHY  
9 BERNIER LN  
BELLINGHAM, MA 02019

Parcel Number: 0070-0038-0000  
CAMA Number: 0070-0038-0000  
Property Address: 5 BERNIER LN

Mailing Address: BISH, MARSHA R - L/E TYLER V & BRIAN  
E BISH  
5 BERNIER LN  
BELLINGHAM, MA 02019

Parcel Number: 0070-0039-0000  
CAMA Number: 0070-0039-0000  
Property Address: 9 LAKESHORE DR

Mailing Address: CARLISLE, WANDA J + JUDY A  
9 LAKESHORE DR  
BELLINGHAM, MA 02019

Parcel Number: 0070-0040-0000  
CAMA Number: 0070-0040-0000  
Property Address: 7 LAKESHORE DR

Mailing Address: DAIGLE LIVING TRUST DAIGLE, J SCOTT  
& SUZANNE-TRS  
7 LAKESHORE DR  
BELLINGHAM, MA 02019

Parcel Number: 0070-0041-0000  
CAMA Number: 0070-0041-0000  
Property Address: 5 LAKESHORE DR

Mailing Address: SHEPARD, DAVID  
5 LAKESHORE DR  
BELLINGHAM, MA 02019

Parcel Number: 0070-0042-0000  
CAMA Number: 0070-0042-0000  
Property Address: 3 LAKESHORE DR

Mailing Address: LACOMBE, ROMEO & GERTRUDE-L/E  
LACOMBE FAMILY TRUST  
90 MAIN ST-PO BOX 152  
ALBION, RI 02802

Parcel Number: 0074-0033-0000  
CAMA Number: 0074-0033-0000  
Property Address: 94 LAKESHORE DR

Mailing Address: CONNOLLY, MATTHEW W & LAURIE A  
94 LAKESHORE DR  
BELLINGHAM, MA 02019

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# 100 feet Abutters List Report

Bellingham, MA

November 20, 2025

Parcel Number: 0074-0035-0000  
CAMA Number: 0074-0035-0000  
Property Address: 86 LAKESHORE DR

Mailing Address: KFLOANDO LLC  
11 TEAL CR  
MASPEE, MA 02649

Parcel Number: 0074-0041-0000  
CAMA Number: 0074-0041-0000  
Property Address: 64 LAKESHORE DR

Mailing Address: BLANCHARD, SHARON L  
64 LAKESHORE DR  
BELLINGHAM, MA 02019

Parcel Number: 0074-0043-0000  
CAMA Number: 0074-0043-0000  
Property Address: 68 LAKESHORE DR

Mailing Address: NALLY, MICHAEL P  
68 LAKESHORE DR  
BELLINGHAM, MA 02019

Parcel Number: 0074-0044-0000  
CAMA Number: 0074-0044-0000  
Property Address: 72 LAKESHORE DR

Mailing Address: NATALE, KATHLEEN  
72 LAKESHORE DR  
BELLINGHAM, MA 02019

Parcel Number: 0074-0045-0000  
CAMA Number: 0074-0045-0000  
Property Address: 74 LAKESHORE DR

Mailing Address: BARBOUR, DAVID & NICOLE  
74 LAKESHORE DR  
BELLINGHAM, MA 02019

Parcel Number: 0074-0046-0000  
CAMA Number: 0074-0046-0000  
Property Address: 76 LAKESHORE DR

Mailing Address: DUNN, MYLES SANETTI, REGINA  
76 LAKESHORE DR  
BELLINGHAM, MA 02019

Parcel Number: 0074-0047-0000  
CAMA Number: 0074-0047-0000  
Property Address: 78 LAKESHORE DR

Mailing Address: MOHAWK REALTY TRUST RAINVILLE,  
THOMAS P, TR  
80 LAKESHORE DR  
BELLINGHAM, MA 02019

Parcel Number: 0074-0048-0000  
CAMA Number: 0074-0048-0000  
Property Address: 80 LAKESHORE DR

Mailing Address: RAINVILLE, THOMAS  
80 LAKESHORE DR  
BELLINGHAM, MA 02019

Parcel Number: 0074-0050-0000  
CAMA Number: 0074-0050-0000  
Property Address: 90 LAKESHORE DR

Mailing Address: FRASCA LOUIS R JR & PATRICIA A  
90 LAKESHORE DR  
BELLINGHAM, MA 02019

Parcel Number: 0074-0051-0000  
CAMA Number: 0074-0051-0000  
Property Address: 99 LAKESHORE DR

Mailing Address: LINDA + FAMILY REALTY TRUST  
LUCHUK, MICHAEL J, TRUSTEE  
99 LAKESHORE DR  
BELLINGHAM, MA 02019

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# 100 feet Abutters List Report

Bellingham, MA

November 20, 2025

Parcel Number: 0074-0052-0000  
CAMA Number: 0074-0052-0000  
Property Address: 89 LAKESHORE DR

Mailing Address: HICKEY, THOMAS M & DONNA M  
26 NORTH MEAD ST  
BOSTON, MA 02129

Parcel Number: 0074-0053-0000  
CAMA Number: 0074-0053-0000  
Property Address: 85 LAKESHORE DR

Mailing Address: JONES, STEPHANIE CARMEN  
85 LAKESHORE DR  
BELLINGHAM, MA 02019

Parcel Number: 0074-0054-0000  
CAMA Number: 0074-0054-0000  
Property Address: 83 LAKESHORE DR

Mailing Address: PAUL D EVERETT JR PROPERTY TR  
HOLLY A EVERETT, TR  
83 LAKESHORE DR  
BELLINGHAM, MA 02019

Parcel Number: 0074-0055-0000  
CAMA Number: 0074-0055-0000  
Property Address: 81 LAKESHORE DR

Mailing Address: THOMPSON, MEGHAN A MCCORMACK,  
STEPHEN R  
81 LAKESHORE DRIVE  
BELLINGHAM, MA 02019

Parcel Number: 0074-0057-0000  
CAMA Number: 0074-0057-0000  
Property Address: 77 LAKESHORE DR

Mailing Address: BERNARD, JERREMY C & SARA E  
77 LAKESHORE DR  
BELLINGHAM, MA 02019

Parcel Number: 0074-0058-0000  
CAMA Number: 0074-0058-0000  
Property Address: 75 LAKESHORE DR

Mailing Address: 2025 LEAH C HULTSTROM REVOC LV  
LEAH C HULTSTROM - TR  
75 LAKESHORE DR  
BELLINGHAM, MA 02019

Parcel Number: 0074-0059-0000  
CAMA Number: 0074-0059-0000  
Property Address: 71 LAKESHORE DR

Mailing Address: WOOD, JAMES BRANDON  
71 LAKESHORE DR  
BELLINGHAM, MA 02019

Parcel Number: 0074-0060-0000  
CAMA Number: 0074-0060-0000  
Property Address: 69 LAKESHORE DR

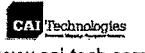
Mailing Address: W E BUDZINSKI LIVING TRUST WALTER  
V & ELIZ BUDZINSKI-TRS  
69 LAKESHORE DR  
BELLINGHAM, MA 02019

Parcel Number: 0074-0061-0000  
CAMA Number: 0074-0061-0000  
Property Address: 65 LAKESHORE DR

Mailing Address: LEDOUX, JOHN & DONNA  
65 LAKESHORE DR  
BELLINGHAM, MA 02019

Parcel Number: 0074-0063-0000  
CAMA Number: 0074-0063-0000  
Property Address: LAKESHORE DR

Mailing Address: LAKE HIAWATHA ASSOCIATION INC  
ATTN: MARK POULIOT  
51 LAKESHORE DR  
BELLINGHAM, MA 02019





# 100 feet Abutters List Report

Bellingham, MA

November 20, 2025

Parcel Number: 0074-0064-0000  
CAMA Number: 0074-0064-0000  
Property Address: 57 LAKESHORE DR

Mailing Address: RIBEIRO, RENILTON S & RIBEIRO,  
DANIELA FERREIRA S  
57 LAKESHORE DR  
BELLINGHAM, MA 02019

Parcel Number: 0074-0065-0000  
CAMA Number: 0074-0065-0000  
Property Address: 53 LAKESHORE DR

Mailing Address: EGAN RICHARD J & DENISE A  
53 LAKESHORE DR  
BELLINGHAM, MA 02019

Parcel Number: 0074-0066-0000  
CAMA Number: 0074-0066-0000  
Property Address: 51 LAKESHORE DR

Mailing Address: POULIOT MARK DUPREE TRACEE A  
51 LAKESHORE DR  
BELLINGHAM, MA 02019

Parcel Number: 0074-0067-0000  
CAMA Number: 0074-0067-0000  
Property Address: 49 LAKESHORE DR

Mailing Address: DAMATO, DANIELLE  
49 LAKESHORE DR  
BELLINGHAM, MA 02019

Parcel Number: 0074-0068-0000  
CAMA Number: 0074-0068-0000  
Property Address: 47 LAKESHORE DR

Mailing Address: DATEWOOD REALTY LLC  
56A BELLINGHAM ST  
BLACKSTONE, MA 01504

Parcel Number: 0074-0069-0000  
CAMA Number: 0074-0069-0000  
Property Address: 45 LAKESHORE DR

Mailing Address: EVERETT, HOLLY A & KEVIN M  
83 LAKESHORE DR  
BELLINGHAM, MA 02019

Parcel Number: 0074-0070-0000  
CAMA Number: 0074-0070-0000  
Property Address: 43 LAKESHORE DR

Mailing Address: FERREIRA WILLIAM E & KERRY A  
43 LAKESHORE DR  
BELLINGHAM, MA 02019

Parcel Number: 0074-0071-0000  
CAMA Number: 0074-0071-0000  
Property Address: 41 LAKESHORE DR

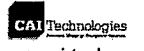
Mailing Address: SHAW, MELODY M-L/E CHRISTOPHER D  
HENSON  
41 LAKESHORE DR  
BELLINGHAM, MA 02019

Parcel Number: 0074-0072-0000  
CAMA Number: 0074-0072-0000  
Property Address: 37 LAKESHORE DR

Mailing Address: DOWD, KENNETH & KACI  
37 LAKESHORE DR  
BELLINGHAM, MA 02019

Parcel Number: 0074-0073-0000  
CAMA Number: 0074-0073-0000  
Property Address: 33 LAKESHORE DR

Mailing Address: PATETE JOHN D  
33 LAKESHORE DR  
BELLINGHAM, MA 02019



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# 100 feet Abutters List Report

Bellingham, MA

November 20, 2025

Parcel Number: 0074-0074-0000  
CAMA Number: 0074-0074-0000  
Property Address: 29 LAKESHORE DR

Mailing Address: SCAPPATICCI, GERALDINE A.  
29 LAKESHORE DR  
BELLINGHAM, MA 02019

Parcel Number: 0074-0075-0000  
CAMA Number: 0074-0075-0000  
Property Address: 25 LAKESHORE DR

Mailing Address: FREGEOLLE FAM REVOC LVG TRUST  
FREGEOLLE, MAURICE G JR - TR &  
40 OLD LOUIS PIKE UNIT 601F  
NORTH SMITHFIELD, RI 02896

Parcel Number: 0074-0077-0000  
CAMA Number: 0074-0077-0000  
Property Address: 22 LAKESHORE DR

Mailing Address: SIMPSON JAMES W & DONNA  
22 LAKESHORE DR  
BELLINGHAM, MA 02019

Parcel Number: 0074-0078-0000  
CAMA Number: 0074-0078-0000  
Property Address: LAKESHORE DR

Mailing Address: TOWN OF BELLINGHAM  
10 MECHANIC STREET  
BELLINGHAM, MA 02019

Parcel Number: 0074-0079-0000  
CAMA Number: 0074-0079-0000  
Property Address: 30 LAKESHORE DR

Mailing Address: POULIOT, MICHAEL J + KIMBERLY  
30 LAKESHORE DR  
BELLINGHAM, MA 02019

Parcel Number: 0074-0080-0000  
CAMA Number: 0074-0080-0000  
Property Address: 34 LAKESHORE DR

Mailing Address: RICHARD R HAYWARD REV LIV TRST  
RICHARD R HAWARD SR-TR  
34 LAKESHORE DR  
BELLINGHAM, MA 02019

Parcel Number: 0074-0081-0000  
CAMA Number: 0074-0081-0000  
Property Address: 38 LAKESHORE DR

Mailing Address: JACQUES LIVING TRUST PAUL R &  
DIANE M JACQUES-TRS  
38 LAKESHORE DR  
BELLINGHAM, MA 02019

Parcel Number: 0074-0082-0000  
CAMA Number: 0074-0082-0001  
Property Address: 46 LAKESHORE DR

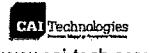
Mailing Address: BOUDROT GERALD  
46 LAKESHORE DR  
BELLINGHAM, MA 02019

Parcel Number: 0074-0082-0000  
CAMA Number: 0074-0082-0002  
Property Address: 48 LAKESHORE DR

Mailing Address: PEDONE, LAURA A  
48 LAKESHORE DR  
BELLINGHAM, MA 02019

Parcel Number: 0074-0083-0000  
CAMA Number: 0074-0083-0000  
Property Address: 50 LAKESHORE DR

Mailing Address: MARINELLI, MARCIA A & CHIACCHIA,  
LORRAINE A  
50 LAKESHORE DR  
BELLINGHAM, MA 02019



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# 100 feet Abutters List Report

Bellingham, MA

November 20, 2025

Parcel Number: 0074-0085-0000  
CAMA Number: 0074-0085-0000  
Property Address: LAKESHORE DR

Mailing Address: PAUKOVITS, DIANE  
56 LAKESHORE DR  
BELLINGHAM, MA 02019

Parcel Number: 0074-0086-0000  
CAMA Number: 0074-0086-0000  
Property Address: 56 LAKESHORE DR

Mailing Address: PAUKOVITS, DIANE PAUKOVITS,  
WILLIAM A  
56 LAKESHORE DR  
BELLINGHAM, MA 02019

Parcel Number: 0074-0088-0000  
CAMA Number: 0074-0088-0000  
Property Address: 60 LAKESHORE DR

Mailing Address: GARCIA, DAVID ANTHONY  
60 LAKESHORE DR  
BELLINGHAM, MA 02019

Parcel Number: 0074-0091-0000  
CAMA Number: 0074-0091-0000  
Property Address: 67 INDIAN RUN RD

Mailing Address: FLEURY FAMILY IRREVOC TRUST  
KRISTEN F WILLIFORD, TR  
67 INDIAN RUN RD  
BELLINGHAM, MA 02019

Parcel Number: 0074-0092-0000  
CAMA Number: 0074-0092-0000  
Property Address: 65 INDIAN RUN RD

Mailing Address: KENNEY FAMILY IRREV TRUST JAMES J  
KENNEY-TR  
65 INDIAN RUN RD  
BELLINGHAM, MA 02019

Parcel Number: 0074-0094-0000  
CAMA Number: 0074-0094-0000  
Property Address: 61 INDIAN RUN RD

Mailing Address: GUTIERREZ, HILDA & ARRIETA, JOSE  
DE JESUS & KIMB  
61 INDIAN RUN RD  
BELLINGHAM, MA 02019

Parcel Number: 0074-0095-0000  
CAMA Number: 0074-0095-0000  
Property Address: 57 INDIAN RUN RD

Mailing Address: DIPIRO, JILLIAN  
57 INDIAN RUN RD  
BELLINGHAM, MA 02019

Parcel Number: 0074-0095-0000  
CAMA Number: 0074-0095-0001  
Property Address: 59 INDIAN RUN RD

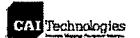
Mailing Address: MCPHEE, SAMANTHA M HANRAHAN,  
JOSEPH B  
59 INDIAN RUN RD  
BELLINGHAM, MA 02019

Parcel Number: 0074-0096-0000  
CAMA Number: 0074-0096-0000  
Property Address: 55 INDIAN RUN RD

Mailing Address: ROLI REALTY TRUST RONALD R &  
LINDA A BEAULIEU-TR  
55 INDIAN RUN RD  
BELLINGHAM, MA 02019

Parcel Number: 0074-0098-0000  
CAMA Number: 0074-0098-0000  
Property Address: 43 INDIAN RUN RD

Mailing Address: THIBAULT, THOMAS O-L/E THIBAULT,  
JESSICA J &  
43 INDIAN RUN RD  
BELLINGHAM, MA 02019



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# 100 feet Abutters List Report

Bellingham, MA

November 20, 2025

Parcel Number: 0074-0099-0000  
CAMA Number: 0074-0099-0001  
Property Address: 39 INDIAN RUN RD

Mailing Address: PERKINS, MATTHEW S  
39 INDIAN RUN RD  
BELLINGHAM, MA 02019

Parcel Number: 0074-0099-0000  
CAMA Number: 0074-0099-0002  
Property Address: 37 INDIAN RUN RD

Mailing Address: CHIODETTI CORRIE LAPP MICHAEL  
37 INDIAN RUN RD  
BELLINGHAM, MA 02019

Parcel Number: 0074-0100-0000  
CAMA Number: 0074-0100-0000  
Property Address: 29 INDIAN RUN RD

Mailing Address: DOURE, MARCEL & CHRISTINE R  
29 INDIAN RUN RD  
BELLINGHAM, MA 02019

Parcel Number: 0074-0101-0000  
CAMA Number: 0074-0101-0000  
Property Address: 27 INDIAN RUN RD

Mailing Address: HOLLOVARY JOHN P & ROSARIA  
27 INDIAN RUN RD  
BELLINGHAM, MA 02019

Parcel Number: 0074-0102-0000  
CAMA Number: 0074-0102-0000  
Property Address: 25 INDIAN RUN RD

Mailing Address: CORREIA, FABRICIO & ILMA  
25 INDIAN RUN RD  
BELLINGHAM, MA 02019

Parcel Number: 0074-0104-0000  
CAMA Number: 0074-0104-0000  
Property Address: 36 INDIAN RUN RD

Mailing Address: CLINTON, MITCHELL J + LINDA J  
36 INDIAN RUN RD  
BELLINGHAM, MA 02019

Parcel Number: 0074-0105-0000  
CAMA Number: 0074-0105-0000  
Property Address: 40 INDIAN RUN RD

Mailing Address: BUCKLEY, EUGENE F  
PO BOX 272  
BELLINGHAM, MA 02019

Parcel Number: 0074-0106-0000  
CAMA Number: 0074-0106-0000  
Property Address: 46 INDIAN RUN RD

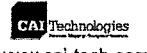
Mailing Address: PETROV GEORGIY ZUSMAN YELENA  
46 INDIAN RUN RD  
BELLINGHAM, MA 02019

Parcel Number: 0074-0107-0000  
CAMA Number: 0074-0107-0000  
Property Address: 52 INDIAN RUN RD

Mailing Address: NOWLAN, ROGER J & MICHELLE L  
52 INDIAN RUN RD  
BELLINGHAM, MA 02019

Parcel Number: 0074-0108-0000  
CAMA Number: 0074-0108-0000  
Property Address: 56 INDIAN RUN RD

Mailing Address: ANDERSON, ERIC A  
56 INDIAN RUN RD  
BELLINGHAM, MA 02019





# 100 feet Abutters List Report

Bellingham, MA  
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Parcel Number: 0074-0109-0000  
CAMA Number: 0074-0109-0000  
Property Address: 58 INDIAN RUN RD

Mailing Address: TYLER, DERWOOD R & CHRISTINE F  
58 INDIAN RUN RD  
BELLINGHAM, MMA 02019

Parcel Number: 0074-0110-0000  
CAMA Number: 0074-0110-0000  
Property Address: 60 INDIAN RUN RD

Mailing Address: RICHARD & HELEN MARCOUX FAM TR  
RICHARD D & HELEN M MARCOUX-TR  
60 INDIAN RUN RD  
BELLINGHAM, MA 02019-0393

Parcel Number: 0074-0111-0000  
CAMA Number: 0074-0111-0000  
Property Address: 62 INDIAN RUN RD

Mailing Address: AWAD, MINA FARID & REZKALLAH,  
HEBA MILAD  
62 INDIAN RUN RD  
BELLINGHAM, MA 02019

Parcel Number: 0074-0112-0000  
CAMA Number: 0074-0112-0000  
Property Address: 64 INDIAN RUN RD

Mailing Address: COOPER, MICHELE  
64B INDIAN RUN RD  
BELLINGHAM, MA 02019

Parcel Number: 0074-0113-0000  
CAMA Number: 0074-0113-0000  
Property Address: 64 INDIAN RUN RD

Mailing Address: ZAKHAROV, ALEKSEY V ZAKHAROVA,  
LYUDMILA A  
64A INDIAN RUN RD  
BELLINGHAM, MA 02019

Parcel Number: 0074-0114-0000  
CAMA Number: 0074-0114-0000  
Property Address: INDIAN RUN RD

Mailing Address: MOLINARI, MICHAEL F MOLINARI, ROSE  
MARIE L  
68 INDIAN RUN RD  
BELLINGHAM, MA 02019

Parcel Number: 0074-0115-0000  
CAMA Number: 0074-0115-0000  
Property Address: 68 INDIAN RUN RD

Mailing Address: MOLINARI, MICHAEL F MOLINARI, ROSE  
MARIE L  
68 INDIAN RUN RD  
BELLINGHAM, MA 02019

Parcel Number: 0074-059A-0000  
CAMA Number: 0074-059A-0000  
Property Address: 73 LAKESHORE DR

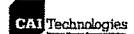
Mailing Address: IZZO, DAVID M JR  
73 LAKESHORE DR  
BELLINGHAM, MA 02019

Parcel Number: 0074-090A-0000  
CAMA Number: 0074-090A-0000  
Property Address: 45 CRANBERRY MEADOW RD

Mailing Address: COSKIE, ANNA THERESA & BEGIN,  
DYLAN  
45 CRANBERRY MEADOW RD  
BELLINGHAM, MA 02019

Parcel Number: 0075-007A-0009  
CAMA Number: 0075-007A-0009  
Property Address: 2 BUFFY RD

Mailing Address: BUDZINSKI JOSEPH J & LISA M  
2 BUFFY RD  
BELLINGHAM, MA 02019



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# 100 feet Abutters List Report

Bellingham, MA  
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Parcel Number: 0075-007A-0019  
CAMA Number: 0075-007A-0019  
Property Address: 3 BUFFY RD

Mailing Address: HANSEN THOMAS G  
3 BUFFY RD  
BELLINGHAM, MA 02019

## Abutters:

Parcel Number: 0070-0003-0000  
CAMA Number: 0070-0003-0000  
Property Address: 3 ROGER ST

Mailing Address: DISHBERGER, GARY W & PAMELA L  
3 ROGER ST  
BELLINGHAM, MA 02019

Parcel Number: 0070-0008-0000  
CAMA Number: 0070-0008-0000  
Property Address: 48 SCOTT HILL BV

Mailing Address: CRONIN FAMILY IRREV TRUST CRONIN,  
PHYLLIS M - TR &  
48 SCOTT HILL BV  
BELLINGHAM, MA 02019

Parcel Number: 0070-0013-0000  
CAMA Number: 0070-0013-0000  
Property Address: 50 SCOTT HILL BV

Mailing Address: GORANSON, KAREN L  
50 SCOTT HILL BV  
BELLINGHAM, MA 02019

Parcel Number: 0070-0043-0000  
CAMA Number: 0070-0043-0000  
Property Address: 337 LAKESHORE DR

Mailing Address: HAYWARD, RICHARD JR  
337 LAKESHORE DR  
BELLINGHAM, MA 02019

Parcel Number: 0070-0101-0000  
CAMA Number: 0070-0101-0000  
Property Address: 47 SCOTT HILL BV

Mailing Address: COTE, JEFFREY J + JACQUELINE  
47 SCOTT HILL BV  
BELLINGHAM, MA 02019

Parcel Number: 0070-0106-0000  
CAMA Number: 0070-0106-0000  
Property Address: 6 INDIAN RUN RD

Mailing Address: BURBANK, JULIE & HEDGES, DANIEL G  
6 INDIAN RUN RD  
BELLINGHAM, MA 02019

Parcel Number: 0070-0107-0000  
CAMA Number: 0070-0107-0000  
Property Address: 53 SCOTT HILL BV

Mailing Address: MAFHOUM RACHID  
53 SCOTT HILL BV  
BELLINGHAM, MA 02019

Parcel Number: 0070-0108-0000  
CAMA Number: 0070-0108-0000  
Property Address: 57 SCOTT HILL BV

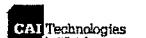
Mailing Address: DOHERTY, MATTHEW  
57 SCOTT HILL BV  
BELLINGHAM, MA 02019

Parcel Number: 0070-0113-0000  
CAMA Number: 0070-0113-0000  
Property Address: 336 LAKESHORE DR

Mailing Address: D`ASTI, TINA MARIE & STEPHEN  
336 LAKESHORE DR  
BELLINGHAM, MA 02019

Parcel Number: 0070-0114-0000  
CAMA Number: 0070-0114-0000  
Property Address: 61 SCOTT HILL BV

Mailing Address: SHAMAS, RAYAN  
61 SCOTT HILL BV  
BELLINGHAM, MA 02019



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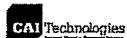


# 100 feet Abutters List Report

Bellingham, MA

November 20, 2025

Parcel Number: 0074-0021-0000 CAMA Number: 0074-0021-0000 Property Address: 36 CRANBERRY MEADOW RD	Mailing Address: HUTCHESON, MICHELLE 36 CRANBERRY MEADOW RD BELLINGHAM, MA 02019
Parcel Number: 0074-0029-0000 CAMA Number: 0074-0029-0000 Property Address: 98 INDIAN RUN RD	Mailing Address: PHANEUF, ALLEN B & SHANNON M 98 INDIAN RUN RD BELLINGHAM, MA 02019
Parcel Number: 0074-0030-0000 CAMA Number: 0074-0030-0000 Property Address: 100 INDIAN RUN RD	Mailing Address: CHAMPEAU, ROBERT R & CANDICE M 100 INDIAN RUN RD BELLINGHAM, MA 02019
Parcel Number: 0074-0031-0000 CAMA Number: 0074-0031-0000 Property Address: 102 INDIAN RUN RD	Mailing Address: LINDA & FAMILY REALTY TRUST MICHAEL J LUCHUK-TR 99 LAKESHORE DR BELLINGHAM, MA 02019
Parcel Number: 0074-0032-0000 CAMA Number: 0074-0032-0000 Property Address: 105 INDIAN RUN RD	Mailing Address: DUPUIS, CHAD J 105 INDIAN RUN RD BLACKSTONE, MA 01504
Parcel Number: 0074-0034-0000 CAMA Number: 0074-0034-0000 Property Address: 99 INDIAN RUN RD	Mailing Address: MAHER, JAMES R & GALE A 99 INDIAN RUN RD BELLINGHAM, MA 02019
Parcel Number: 0074-0036-0000 CAMA Number: 0074-0036-0000 Property Address: 87 INDIAN RUN RD	Mailing Address: SANTOS, RICHARD W + DEBRA A 87 INDIAN RUN RD BELLINGHAM, MA 02019
Parcel Number: 0074-0037-0000 CAMA Number: 0074-0037-0000 Property Address: 85 INDIAN RUN RD	Mailing Address: DOUBLE E REALTY TRUST JOSHUA E HARRIS - TR 38 WILLIAM WY BELLINGHAM, MA 02019
Parcel Number: 0074-0038-0000 CAMA Number: 0074-0038-0001 Property Address: 83 A INDIAN RUN RD	Mailing Address: SVM PARTNERS LLC ATTN SVM HOLDINGS LLC 430 FRANKLIN VILLAGE DR 298 FRANKLIN, MA 02038
Parcel Number: 0074-0038-0000 CAMA Number: 0074-0038-0002 Property Address: 83 B INDIAN RUN RD	Mailing Address: DATEWOOD REALTY LLC 56A BELLINGHAM RD BLACKSTONE, MA 01504
Parcel Number: 0074-0039-0000 CAMA Number: 0074-0039-0001 Property Address: 81 B INDIAN RUN RD	Mailing Address: NATALE, STEVEN M 81B INDIAN RUN RD UNIT A BELLINGHAM, MA 02019
Parcel Number: 0074-0039-0000 CAMA Number: 0074-0039-0002 Property Address: 81 A INDIAN RUN RD	Mailing Address: WALLACE GRAYLING & DONNA 81A INDIAN RUN RD UNIT B BELLINGHAM, MA 02019



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Bellingham, MA

November 20, 2025

Parcel Number: 0074-0040-0000  
CAMA Number: 0074-0040-0001  
Property Address: 79 INDIAN RUN RD

Mailing Address: PENDOLA, ROSALBA  
79 INDIAN RUN RD  
BELLINGHAM, MA 02019

Parcel Number: 0074-0040-0000  
CAMA Number: 0074-0040-0002  
Property Address: 77 INDIAN RUN RD

Mailing Address: MCCARRICK, TERESA  
77 INDIAN RUN RD  
BELLINGHAM, MA 02019

Parcel Number: 0074-0118-0000  
CAMA Number: 0074-0118-0000  
Property Address: 29 CRANBERRY MEADOW RD

Mailing Address: CORBETT, GLENN W + JOYCE H  
29 CRANBERRY MEADOW RD  
BELLINGHAM, MA 02019

Parcel Number: 0074-0126-0001  
CAMA Number: 0074-0126-0001  
Property Address: ROGER ST

Mailing Address: SURRETTE, RICHARD D & LISA E  
7 ROGER ST  
BELLINGHAM, MA 02019

Parcel Number: 0074-0127-0000  
CAMA Number: 0074-0127-0000  
Property Address: 5 ROGER ST

Mailing Address: MARINO FAMILY TRUST STEVEN &  
THERESA MARINO-TRS  
5 ROGER ST  
BELLINGHAM, MA 02019

Parcel Number: 0075-007A-0010  
CAMA Number: 0075-007A-0010  
Property Address: 4 BUFFY RD

Mailing Address: SAVAGE, BRENDON & MEGHAN  
4 BUFFY RD  
BELLINGHAM, MA 02019

Parcel Number: 0075-007A-0011  
CAMA Number: 0075-007A-0011  
Property Address: 8 BUFFY RD

Mailing Address: GALLAGHER DAVID S & MARIA L  
8 BUFFY RD  
BELLINGHAM, MA 02019

Parcel Number: 0075-007A-0015  
CAMA Number: 0075-007A-0015  
Property Address: 24 BUFFY RD

Mailing Address: DIXON, JAMES M & BRENDA Y THOM  
24 BUFFY RD  
BELLINGHAM, MA 02019

Parcel Number: 0075-007A-0016  
CAMA Number: 0075-007A-0016  
Property Address: 19 BUFFY RD

Mailing Address: HOLDEN, BENJAMIN E & HOLDEN,  
CHRISTINE M  
19 BUFFY RD  
BELLINGHAM, MA 02019

Parcel Number: 0075-007A-0018  
CAMA Number: 0075-007A-0018  
Property Address: 7 BUFFY RD

Mailing Address: TAYLOR, NICHOLAS J & ANDREA C  
7 BUFFY RD  
BELLINGHAM, MA 02019

Parcel Number: 0078-076R-0000  
CAMA Number: 0078-076R-0000  
Property Address: 22 PHEASANT HILL RD

Mailing Address: DRAKE, MICHAEL ROSS DRAKE,  
KATHRYN JOAN  
22 PHEASANT HILL RD  
BELLINGHAM, MA 02019

Parcel Number: 0078-076W-0000  
CAMA Number: 0078-076W-0000  
Property Address: 7 QUAIL RUN RD

Mailing Address: LAMOTHE, RICHARD F + LINDA M  
7 QUAIL RUN RD  
BELLINGHAM, MA 02019

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# 100 feet Abutters List Report

Bellingham, MA

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Parcel Number: 0078-076X-0000  
CAMA Number: 0078-076X-0000  
Property Address: 11 QUAIL RUN RD

Mailing Address: DANIELS RAYMOND J & THU HAT  
11 QUAIL RUN RD  
BELLINGHAM, MA 02019

Parcel Number: 0078-076Y-0000  
CAMA Number: 0078-076Y-0000  
Property Address: 10 QUAIL RUN RD

Mailing Address: RUSSELL, WILLIAM F & RAMEY,  
SHANNON C  
10 QUAIL RUN RD  
BELLINGHAM, MA 02019

## **Copy of Abutter Notification**

**NOTIFICATION TO ABUTTERS UNDER THE  
MASSACHUSETTS WETLANDS PROTECTION ACT  
CHAPTER 131, SECTION 40  
AND  
THE TOWN OF BELLINGHAM WETLANDS PROTECTION BY LAW**

In accordance with the second paragraph of Massachusetts General Laws Chapter 131, Section 40, and the Bellingham Wetlands Protection Bylaw, you are hereby notified of the following:

Town of Bellingham DPW has filed a Notice of Intent/Abbreviated Notice of  
(Applicant)

Intent/ Abbreviated Notice of Resource Area Delineation/Request for Amendment;  
with the Bellingham Conservation Commission for review of the following activity:

**Description of Project:**

Update existing stormwater management infrastructure in the Lake Hiawatha area for flood mitigation and water quality improvement and make improvements to the water main in Lakeshore Drive, Indian Run Road and Bernier Lane. Drainage improvements include replacing the existing drainage system within Lake Shore Drive to address flooding concerns and treat stormwater runoff. Water main improvements include replacing the existing 6-inch asbestos concrete (AC) water main along Lakeshore Drive, Bernier Lane, Indian Run Road. The existing 6-inch AC water main will be abandoned in place.

The location of the proposed activity is

Assessors Map 74 Lot 78

Street address: Lake Shore Drive, Indian Run Road, and Bernier Lane

Copies of the filing may be examined at the Bellingham Conservation Commission office during their normal business hours(please call 508-657-2858) OR at the following

Applicant or representative name Jean Christy, Tighe & Bond

Address: 53 Southampton Road, Westfield, MA 01085

Phone number: (413) 572-3238

Questions regarding the filing may be directed to the Conservation Commission at 508-657-2858 OR the Applicant's representative (Please see above)

The public hearing will be held at the Bellingham Municipal Center, 10 Mechanic Street, Bellingham. Information on the date and time of the hearing may be directed to the Conservation Commission or the applicant's representative at the above numbers.

**NOTE: Notice of the public hearing, including date, time and place:**

1. Will be published at least five (5) days in advance in the Woonsocket Call
2. Will be posted at the Town Clerk's Office and on the town web site no less than forty-eight (48) hours in advance of the public hearing.

**NOTE: You may also contact the nearest Department of Environmental Protection Regional Office for more information about this application or the Wetlands Protection Act. To contact DEP, call Central Regional (508)-792-7650**

# **Affidavit of Service**

**Affidavit of Service  
Under the Massachusetts Wetlands Protection Act &  
Bellingham Wetlands Protection Bylaw**

I, Jean Christy, Senior Engineer, Tighe & Bond, Inc., hereby certify

Name of person making Affidavit

under pains and penalties of perjury that on November 25, 2025

Date

I gave notification to abutters in compliance with the second paragraph of Massachusetts General Law Chapter 131, Section 40, and the DEP Guide to Abutter Notification dated April 8, 1994, in the connection with the following matter:

A Notice of Intent/Abbreviated Notice of Resource Area Delineation/Request for Amendment was filed under the Massachusetts Wetlands Protection Act and the Bellingham Wetlands Protection Bylaw, by

Town of Bellingham Department of Public Works with the

Bellingham Name of applicant

Conservation Commission on

Name of Municipality

November 25, 2025 for property located at \_\_\_\_\_

Date

Lake Shore Drive, Indian Run Road, and Bernier Lane

Address of land where work is proposed

The form of notification and a certified list of the abutters to whom it was given and their addresses, are attached to the Affidavit of Service.

  
\_\_\_\_\_  
Signature

November 25, 2025

Date

**APPENDIX E**

# **Stormwater Management Report (Bound Separately)**

[www.tighebond.com](http://www.tighebond.com)

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