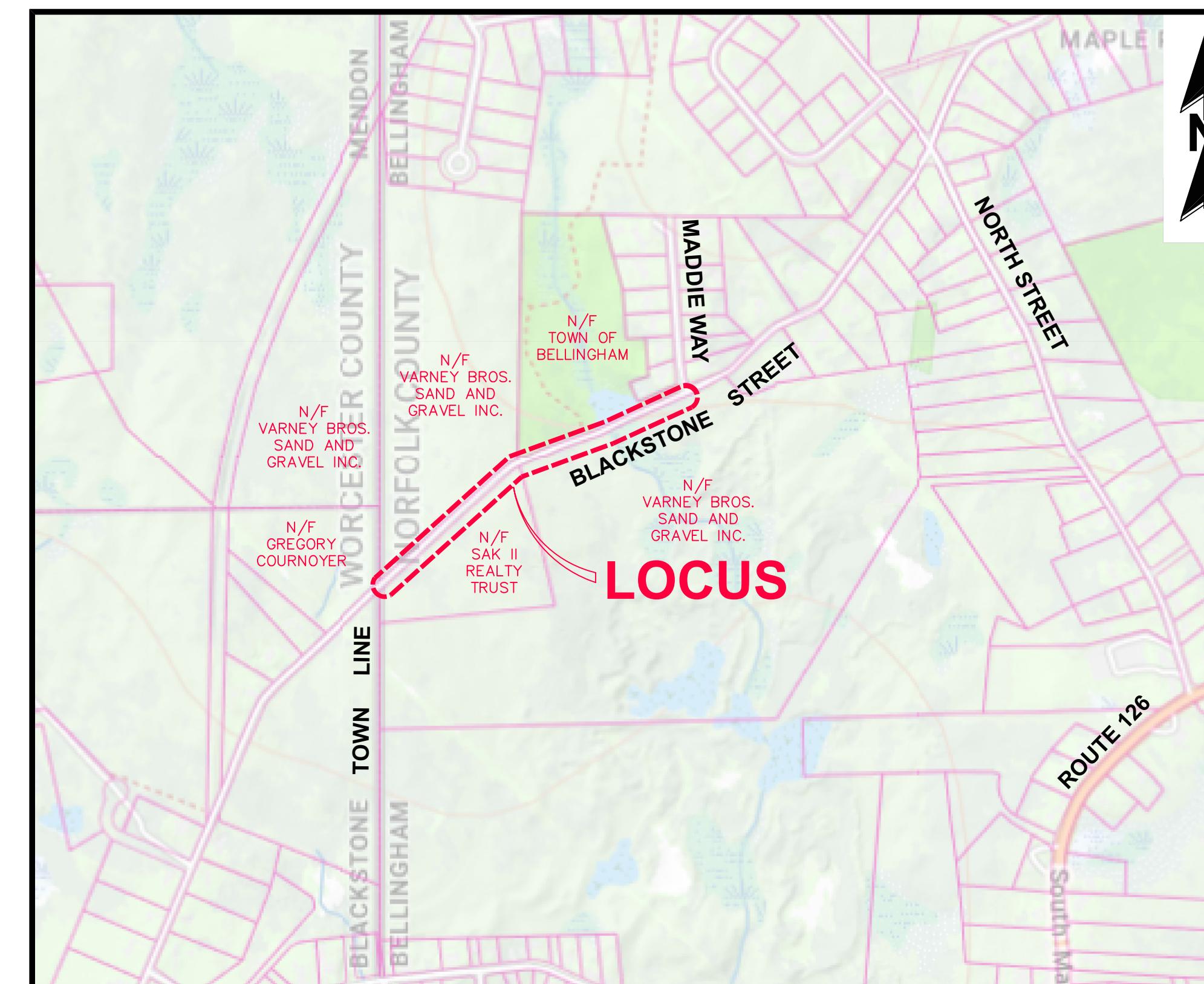


# Blackstone Street Improvements

in  
Bellingham, Massachusetts

PLAN INDEX	
TITLE	SHEET
COVER SHEET	C-1
SITE INDEX PLAN (1"=100')	C-2
EXISTING CONDITIONS PLANS (1"=40')	C-3-C4
PLAN AND PROFILES (1"=30')	C5-C7
STORMWATER BASINS (1=40')	C8-C9
CONSTRUCTION DETAILS	C10-C11
WETLAND RELICITION PLAN	C12
EROSION AND SEDIMENT CONTROL PLANS	C13-C14
PROPOSED EASEMENT PLANS	C15-C16



LOCUS MAP  
1"=800'

PREPARED BY:



**ALLEN ENGINEERING  
& ASSOCIATES, INC.**

Civil Engineers • Surveyors  
Land Development Consultants

140 Hartford Avenue East  
Hopedale, Ma 01747  
(508) 381-3212 • [www.allen-ea.com](http://www.allen-ea.com)

February 14, 2025

Revisions			
NO.	DATE	DESCRIPTION	BY
1	6-20-25	ROADWAY AND DRAINAGE	MJD
2	10-31-25	PER PEER REVIEW	MJD
3	1-22-26	PER PEER REVIEW	MJD

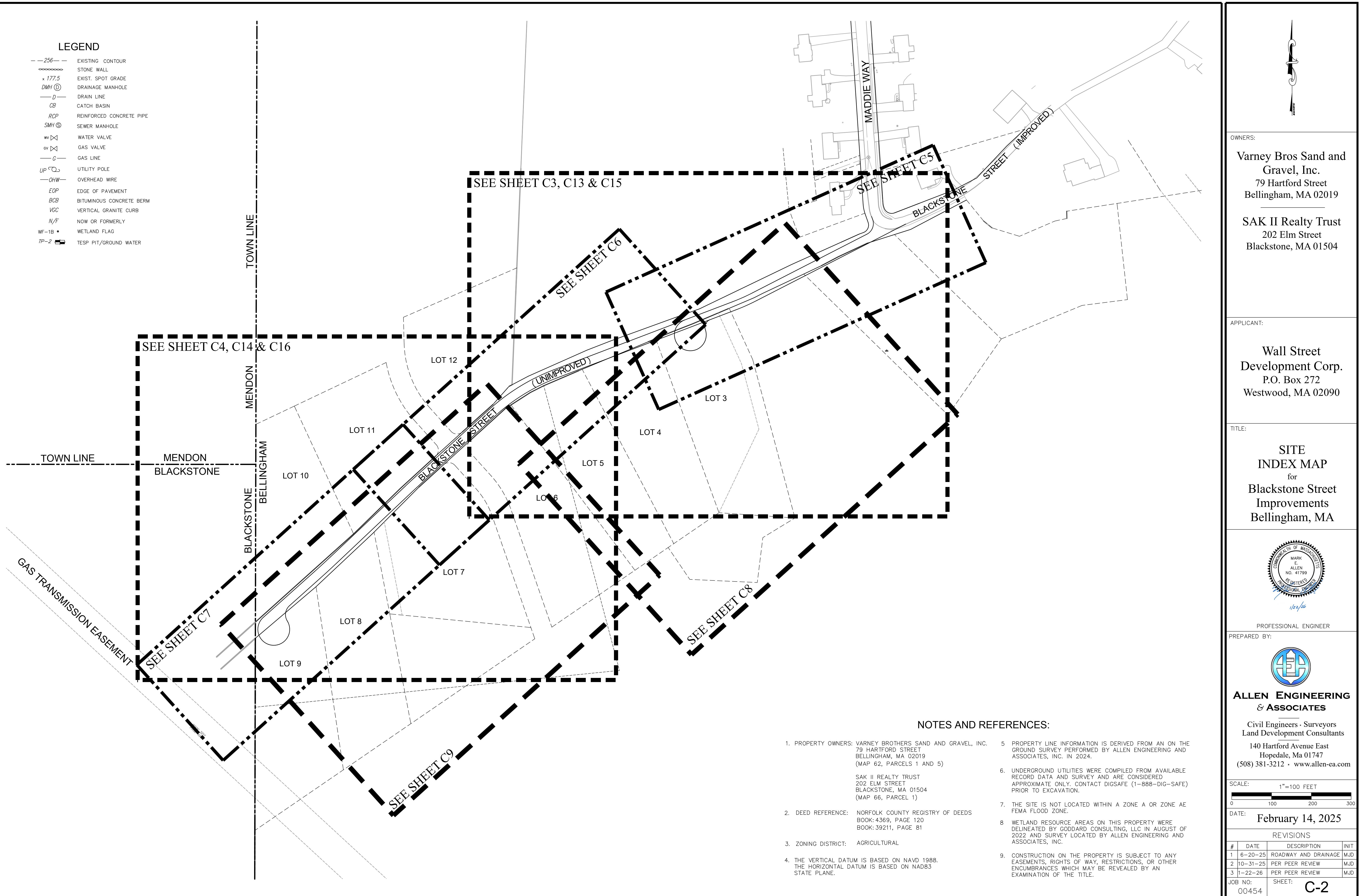
Owners:

Varney Bros Sand  
and Gravel, Inc.  
79 Hartford Street  
Bellingham, MA 02019  
(Map 62, Parcels 1 and 5)

SAK II Realty Trust  
202 Elm Street  
Blackstone, MA 01504  
(Map 66, Parcel 1)

Proponent:

Wall Street  
Development Corp.  
P.O. Box 272  
Westwood, MA 02090





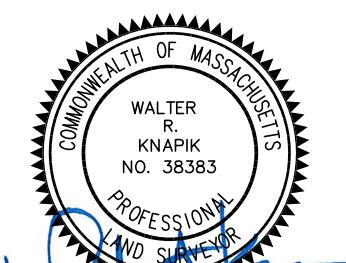
TRAVERSE

OWNERS:  
Varney Bros Sand and  
Gravel, Inc.  
79 Hartford Street  
Bellingham, MA 02109

SAK II Realty Trust  
202 Elm Street  
Blackstone, MA 01504

APPLICANT:  
Wall Street  
Development Corp.  
P.O. Box 272  
Westwood, MA 02090

TITLE:  
EXISTING  
CONDITIONS  
PLAN  
for  
Blackstone Street  
Improvements  
Bellingham, MA



PROFESSIONAL LAND SURVEYOR

PREPARED BY:



ALLEN ENGINEERING  
& ASSOCIATES

Civil Engineers - Surveyors  
Land Development Consultants  
140 Hartford Avenue East  
Hopedale, MA 01747  
(508) 381-3212 • www.allen-ea.com

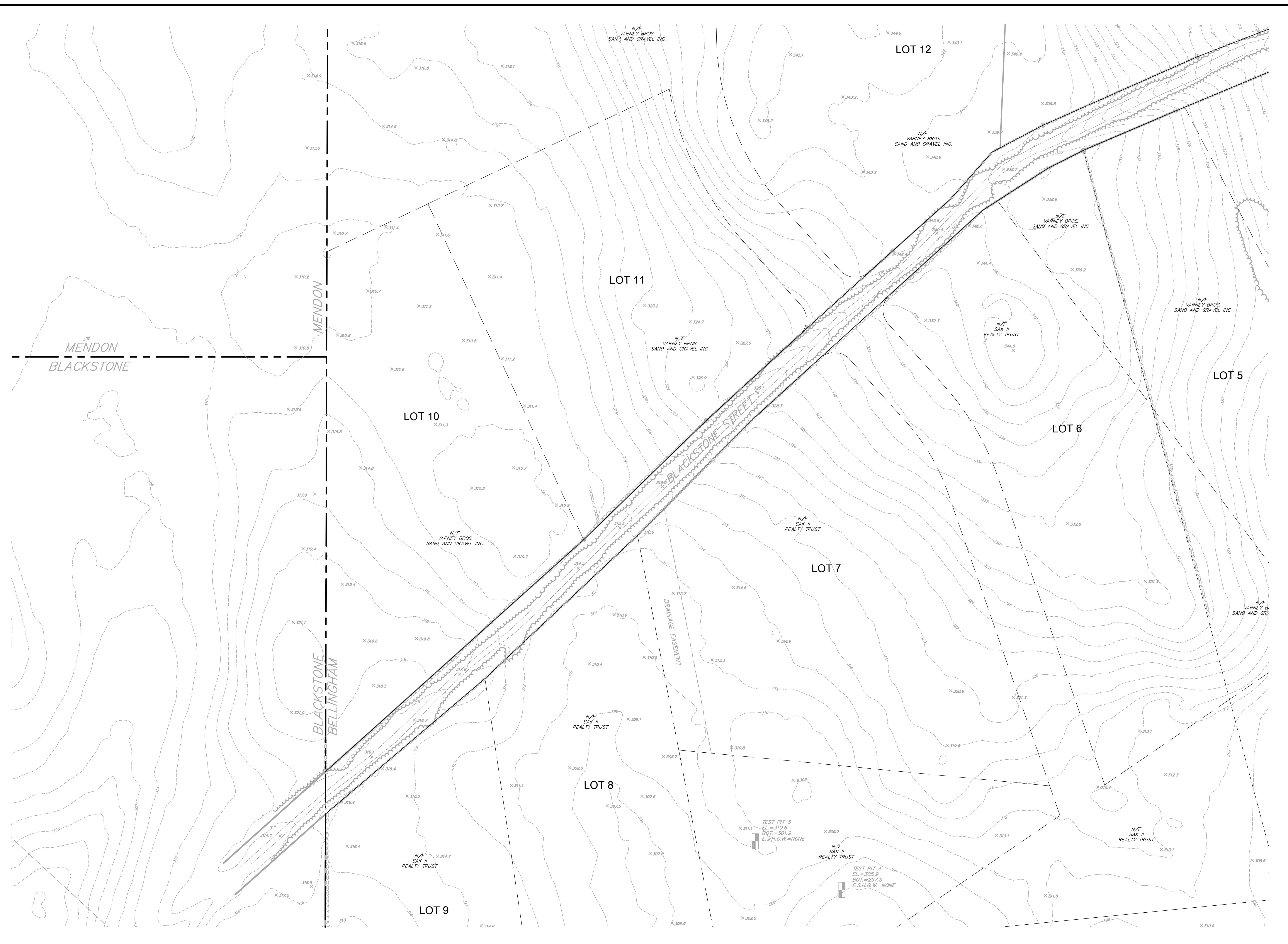
SCALE: 1"=40 FEET  
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DATE: February 14, 2025

REVISIONS

#	DATE	DESCRIPTION	INIT
1	6-20-25	ROADWAY AND DRAINAGE	MJD
2	10-31-25	PER PEER REVIEW	MJD
3	1-22-26	NO CHANGE THIS SHEET	MJD

JOB NO: 00454 SHEET: C-3



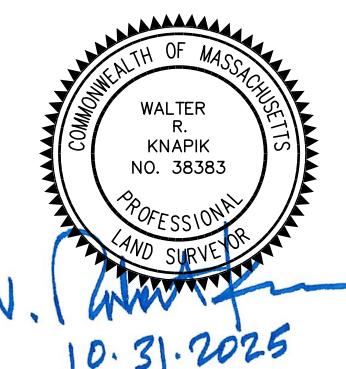
WALTER R. KNAPP  
PROFESSIONAL LAND SURVEYOR  
NO. 38383

OWNERS:  
Varney Bros Sand and Gravel, Inc.  
79 Hartford Street  
Bellingham, MA 02109

SAK II Realty Trust  
202 Elm Street  
Blackstone, MA 01504

APPLICANT:  
Wall Street Development Corp.  
P.O. Box 272  
Westwood, MA 02090

TITLE:  
EXISTING CONDITIONS PLAN for Blackstone Street Improvements Bellingham, MA



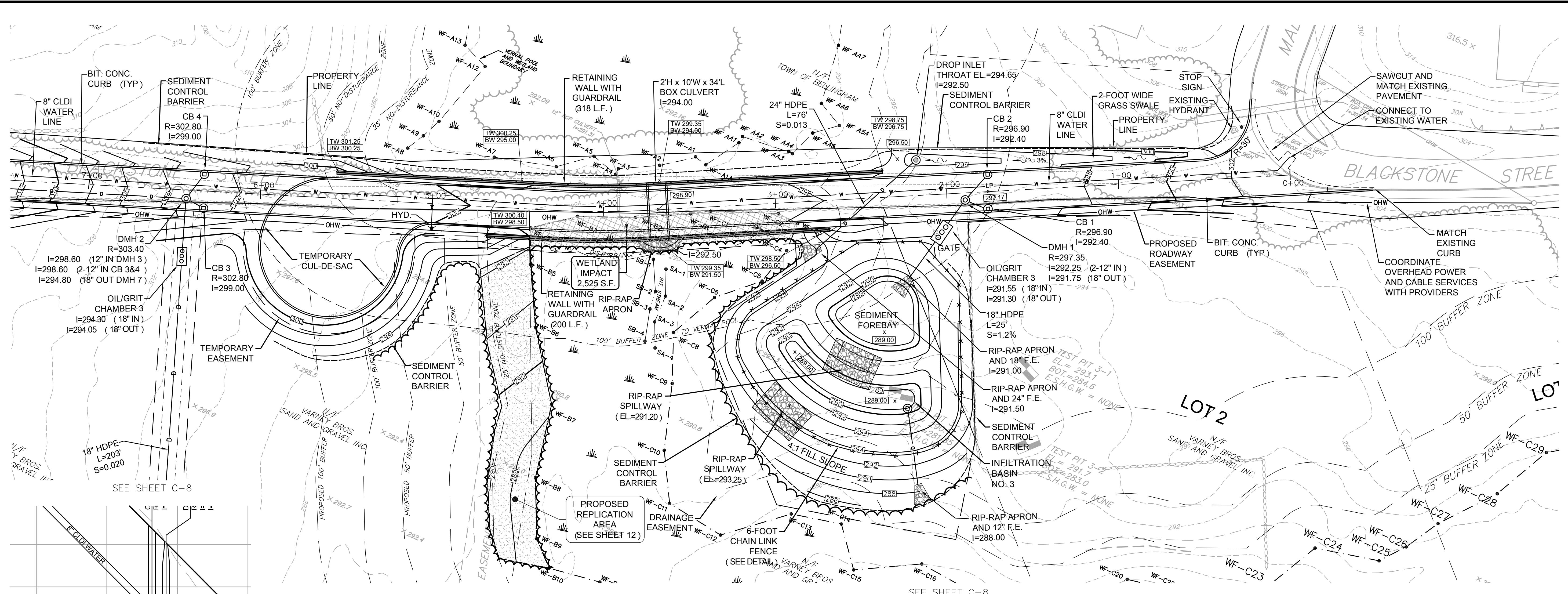
W. R. KNAPP  
10-31-2025

PROFESSIONAL LAND SURVEYOR  
PREPARED BY:



ALLEN ENGINEERING & ASSOCIATES

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Land Development Consultants  
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## PLAN VIEW

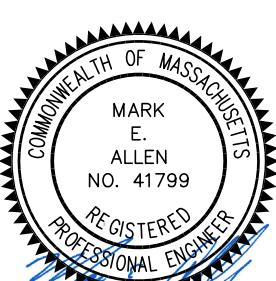
$$1'' = 30'$$

OWNERS:  
Varney Bros Sand and  
Gravel, Inc.  
79 Hartford Street  
Bellingham, MA 02019

SAK II Realty Trust  
202 Elm Street  
Blackstone, MA 01504

APPLICANT:

TITLE: PLAN AND PROFILE for Blackstone Street Improvements Bellingham, MA



PROFESSIONAL ENGINEER

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Civil Engineers • Surveyors  
Land Development Consultants

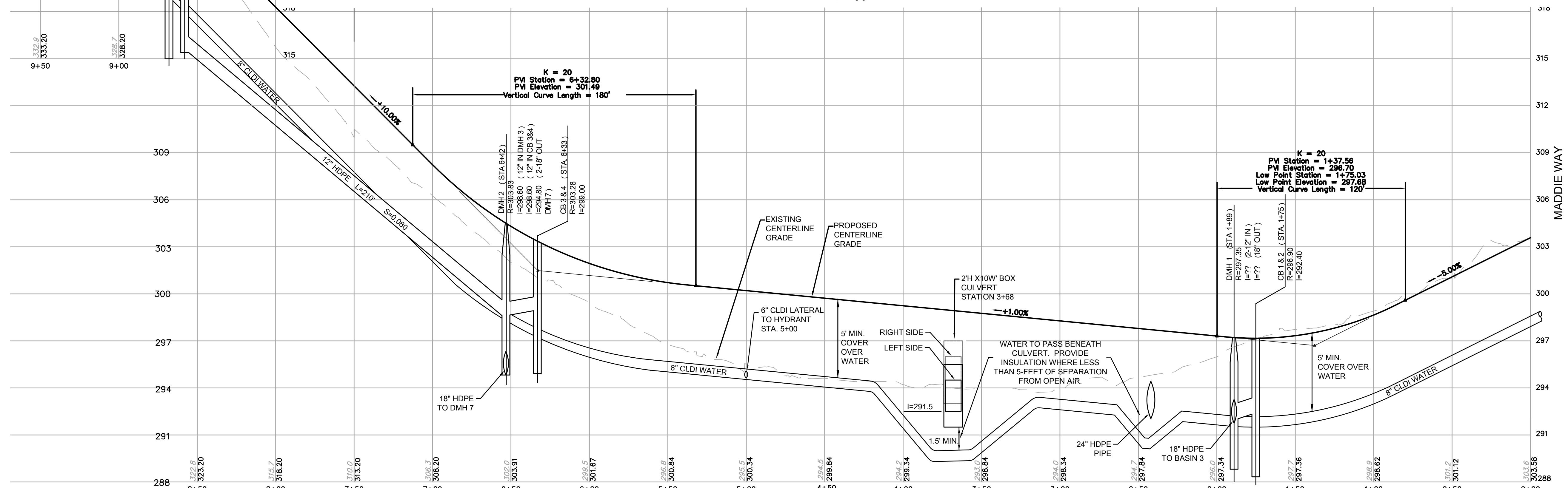
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DATE: February 14, 2025

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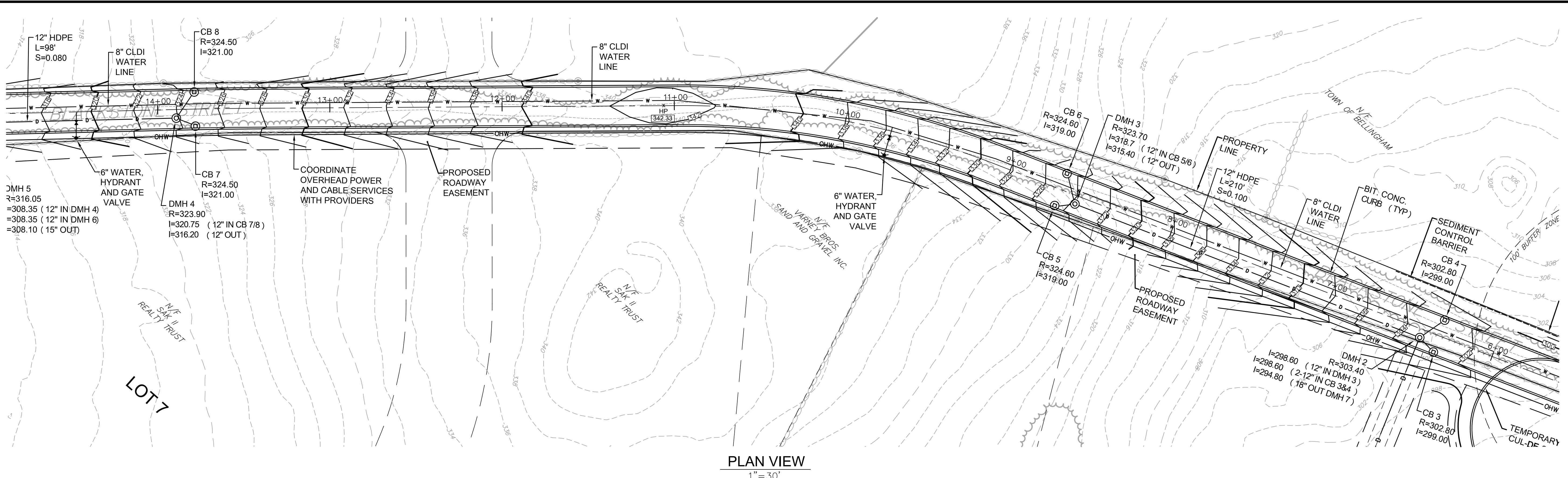
REVISIONS			
#	DATE	DESCRIPTION	INN
1	6-20-25	ROADWAY AND DRAINAGE	MJ
2	10-31-25	PER PER REVIEW	MJ

2	10	31	25	PER PEER REVIEW	MC
3	1-22-26			PER PEER REVIEW	MJ
JOB NO:		SHEET:			C-5
00454					



## PROFILE VIEW

**PROJECTION**

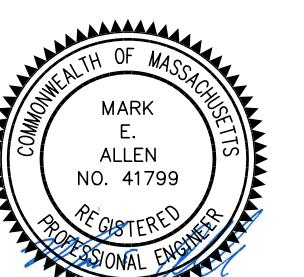


OWNERS:  
Varney Bros Sand and Gravel, Inc.  
79 Hartford Street  
Bellingham, MA 02019

SAK II Realty Trust  
202 Elm Street  
Blackstone, MA 01504

APPLICANT:  
Wall Street Development Corp.  
P.O. Box 272  
Westwood, MA 02090

TITLE:  
PLAN AND PROFILE  
for  
Blackstone Street  
Improvements  
Bellingham, MA



PROFESSIONAL ENGINEER

PREPARED BY:



ALLEN ENGINEERING & ASSOCIATES

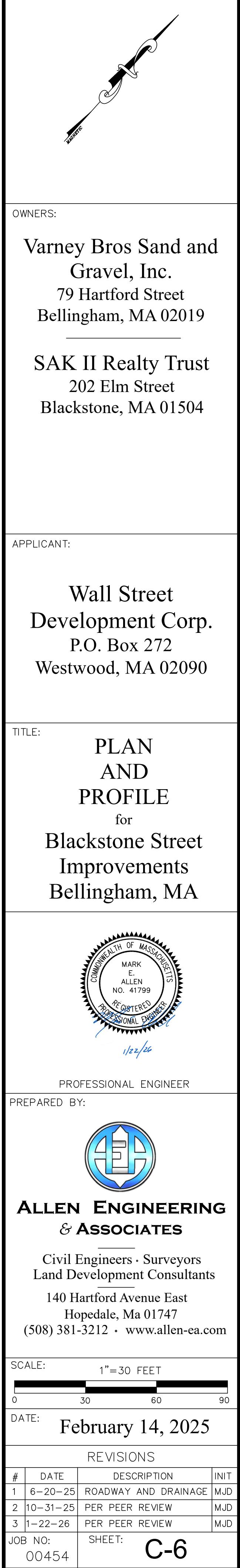
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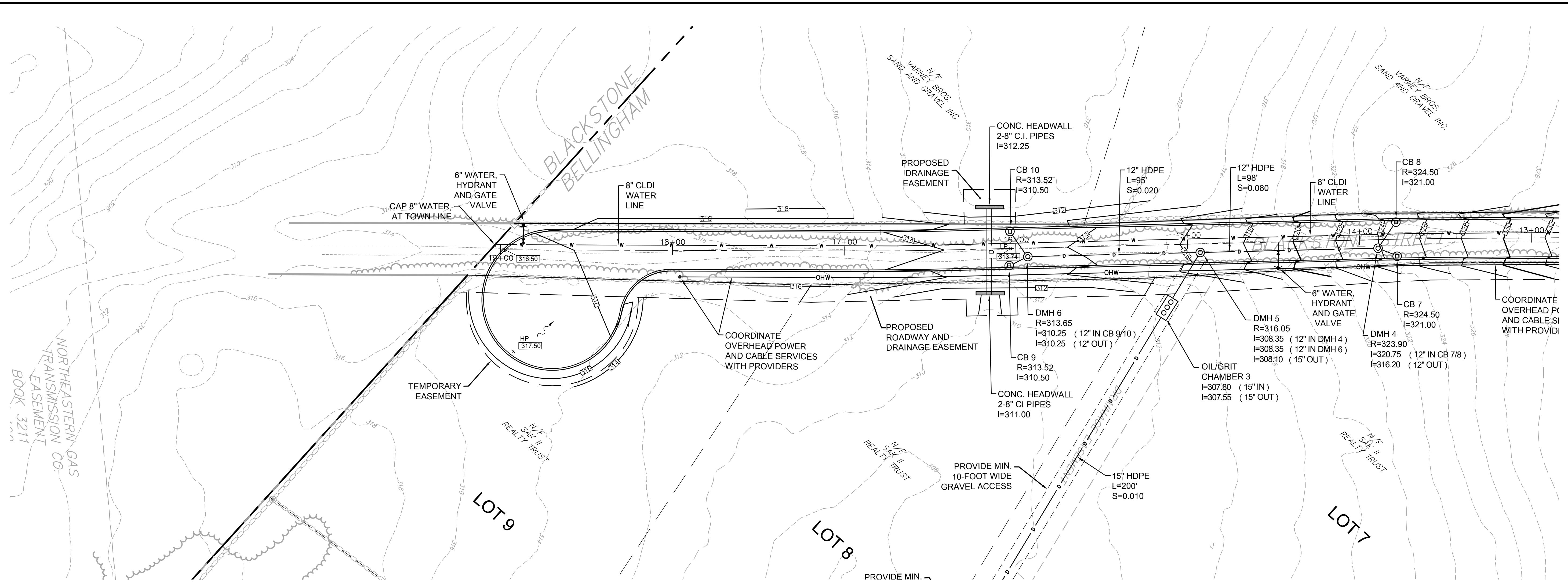
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DATE: February 14, 2025

REVISIONS			
#	DATE	DESCRIPTION	INIT
1	6-20-25	ROADWAY AND DRAINAGE	MJD
2	10-31-25	PER PEER REVIEW	MJD
3	1-22-26	PER PEER REVIEW	MJD
JOB NO:		SHEET:	C-6

00454





OWNERS:  
Varney Bros Sand and  
Gravel, Inc.  
79 Hartford Street  
Bellingham, MA 02019

SAK II Realty Trust  
202 Elm Street  
Blackstone, MA 01504

APPLICANT:  
**Wall Street  
Development Corp.  
P.O. Box 272  
Westwood, MA 02090**

TITLE: **PLAN  
AND  
PROFILE  
for  
Blackstone Street  
Improvements  
Bellingham, MA**



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PROFESSIONAL ENGINEER

---

PREPARED BY:

Civil Engineers • Surveyors  
Land Development Consultants

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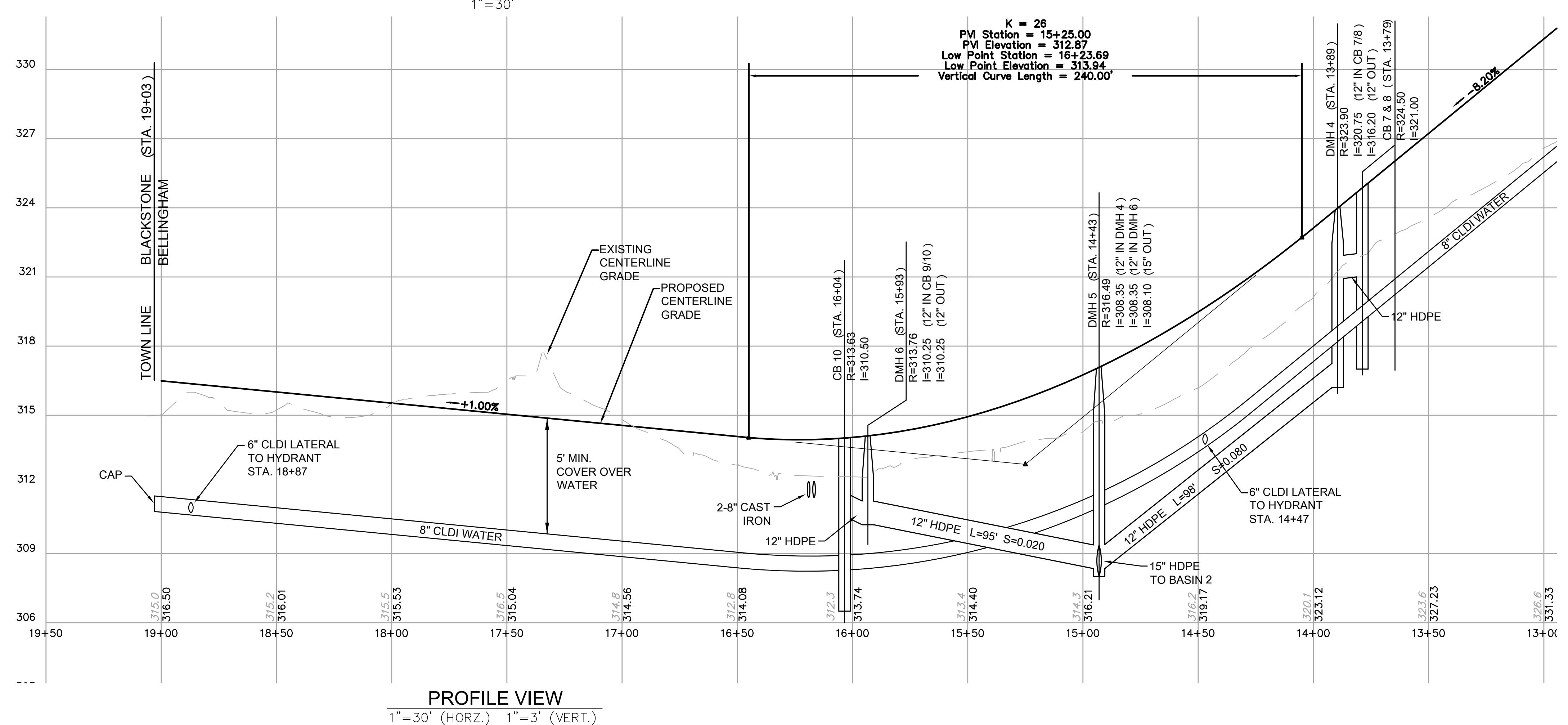
140 Hartford Avenue East  
Hopedale, Ma 01747  
(508) 281-3212

SCALE: 1" = 500'

DATE: February 14, 2025

REVISIONS			
#	DATE	DESCRIPTION	INITIALS
1	6-20-25	ROADWAY AND DRAINAGE	MJ
2	10-31-25	PER PEER REVIEW	MJ
		PER PEER REVIEW	

3	1-22-26	PER PEER REVIEW	MJ
JOB NO: 00454		SHEET:	<b>C-7</b>



NOTE: SOIL EXAMINATIONS WERE  
PERFORMED BY LANCE ANDERSON,  
CERTIFIED SOIL EVALUATOR, (LICENSE  
#SE27), ALLEN ENGINEERING &  
ASSOCIATES, INC. ON 11-5-2024.

ELEV. (FT) TOP= 289.6	DEPTH (IN 0"
Ap TOP SOIL	0-8"
Bw SUBSOIL	8-31"
C LOAMY SAND	31-120"

MOTTLES/ESHGW = NONE  
WEEPING = NONE  
STANDING WATER = NONE  
REFUSAL = NONE

---

# SOIL LOG (TP-1)

---

---

ELEV. (FT)		DEPTH (IN)
TOP=283.8		0"
	Ap TOP SOIL	0-8"
	Bw SUBSOIL	8-24"
	C LOAMY SAND	
BOT= 273.8		24-119"

REFUSAL = NONE

---

# SOIL LOG (TP-2)

---

# SOIL LOG (TP-2A)

## SOIL LOG (TP 3-1)

## SOIL LOG (TP 3-2)

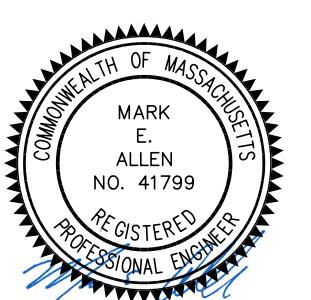
## SOIL LOG (TP 3-1)

IRS:  
Barney Bros Sand and  
Gravel, Inc.  
79 Hartford Street  
Bellingham, MA 02019

SAK II Realty Trust  
202 Elm Street  
Blackstone, MA 01504

APPLICANT:

TITLE: STORMWATER  
BASIN  
NUMBER 1 & 3  
for  
Blackstone Street  
Improvements  
Bellingham, MA



PROFESSIONAL ENGINEER  
PREPARED BY:



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SCALE: 1"=30 FEET

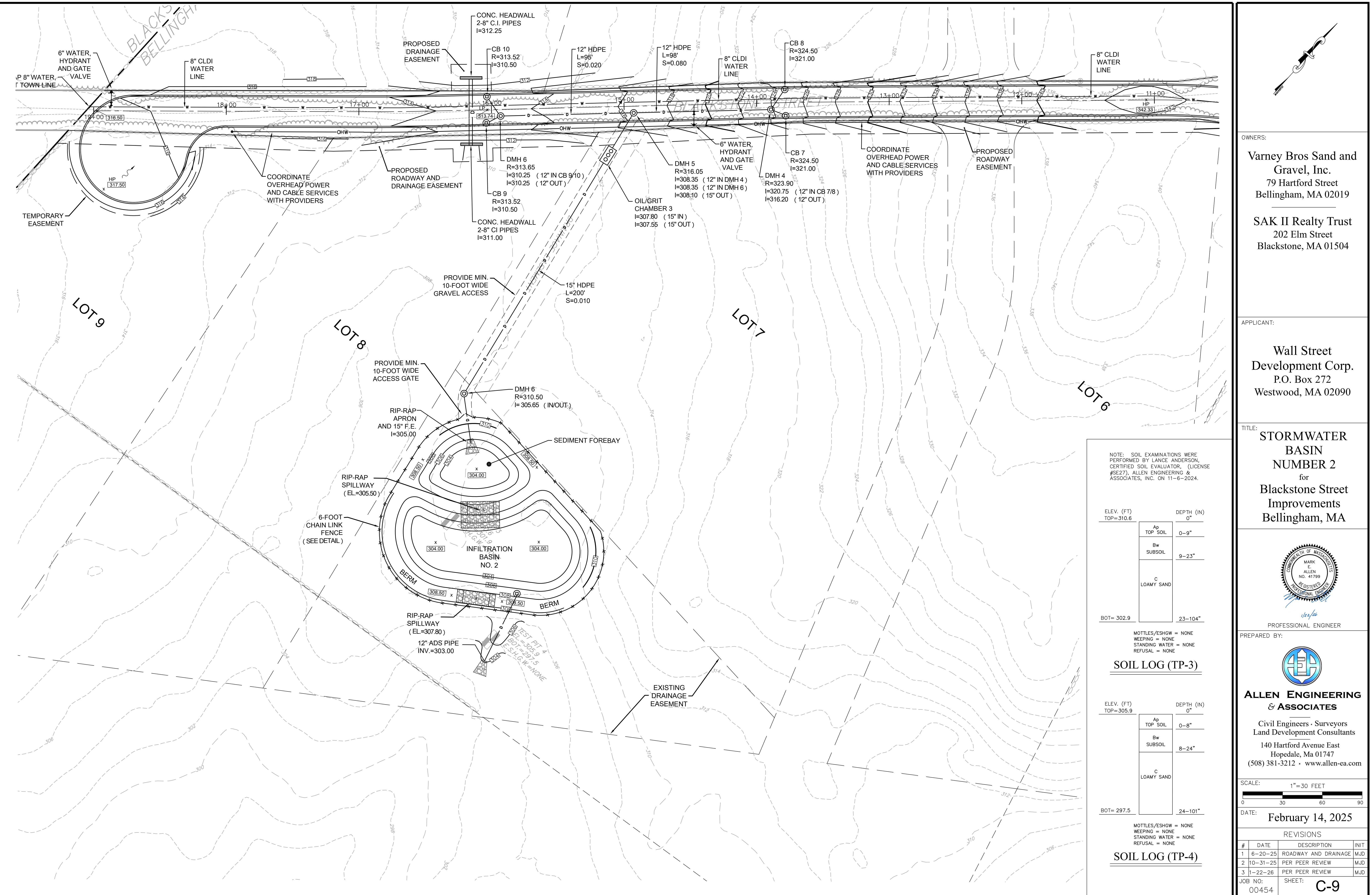


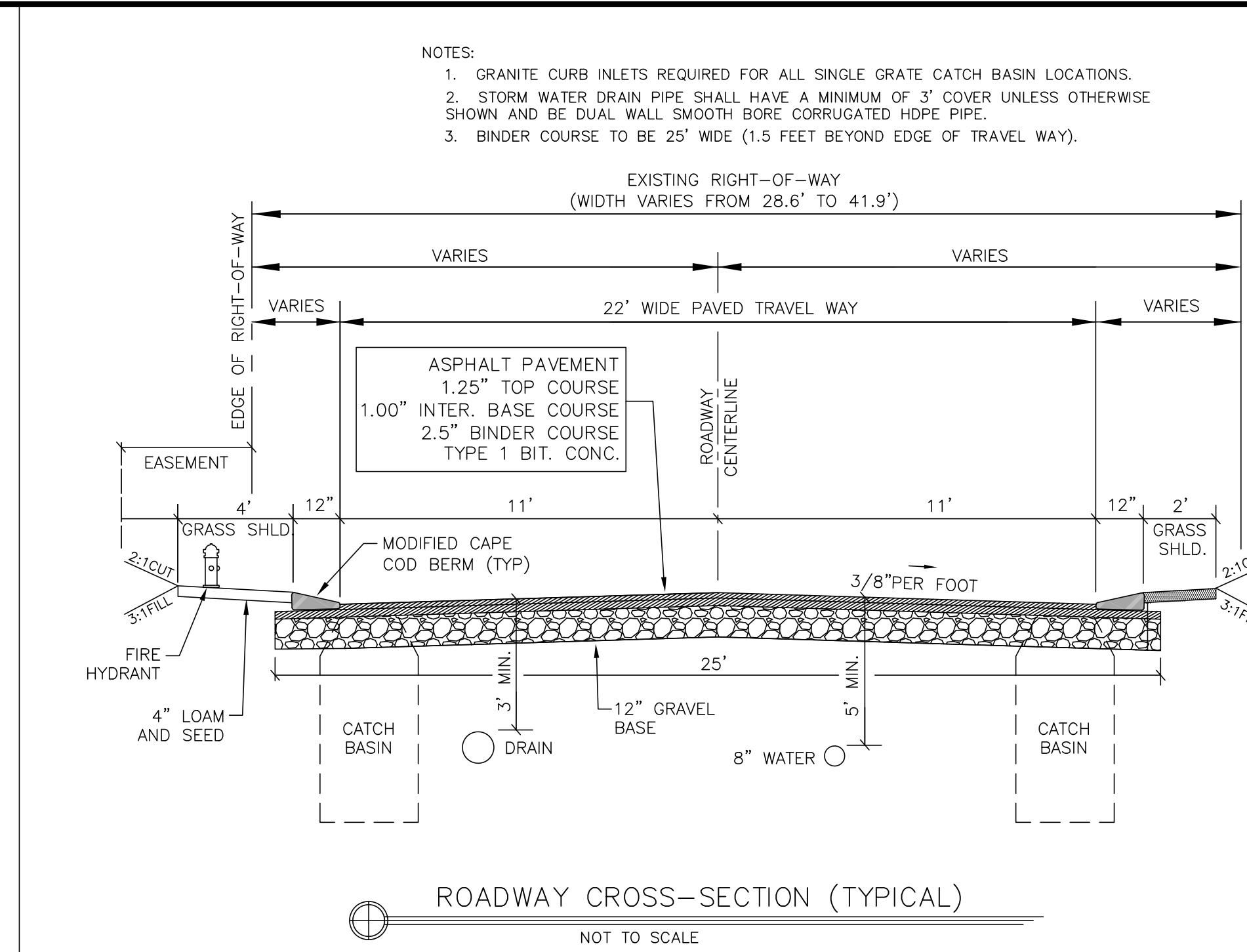
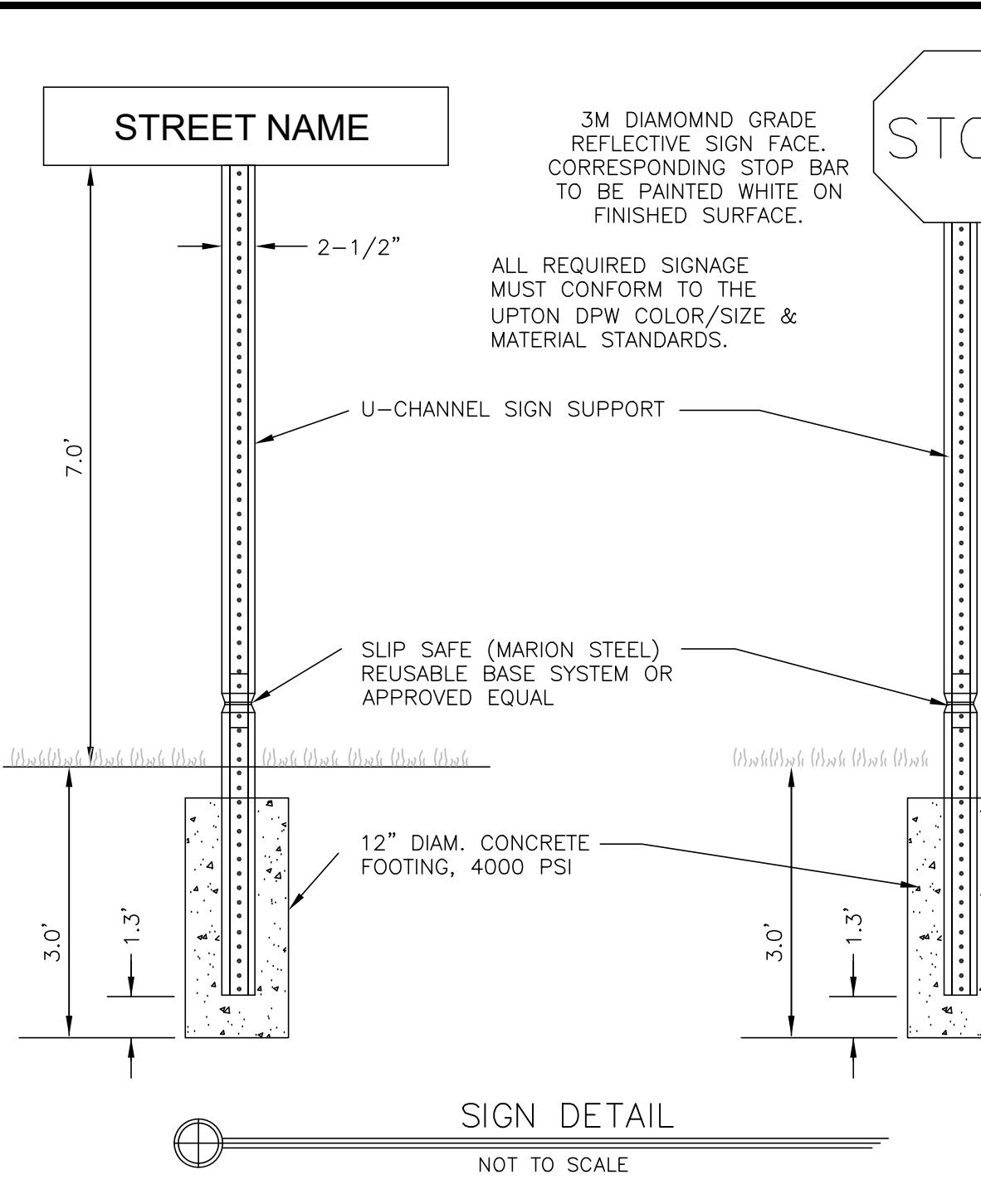
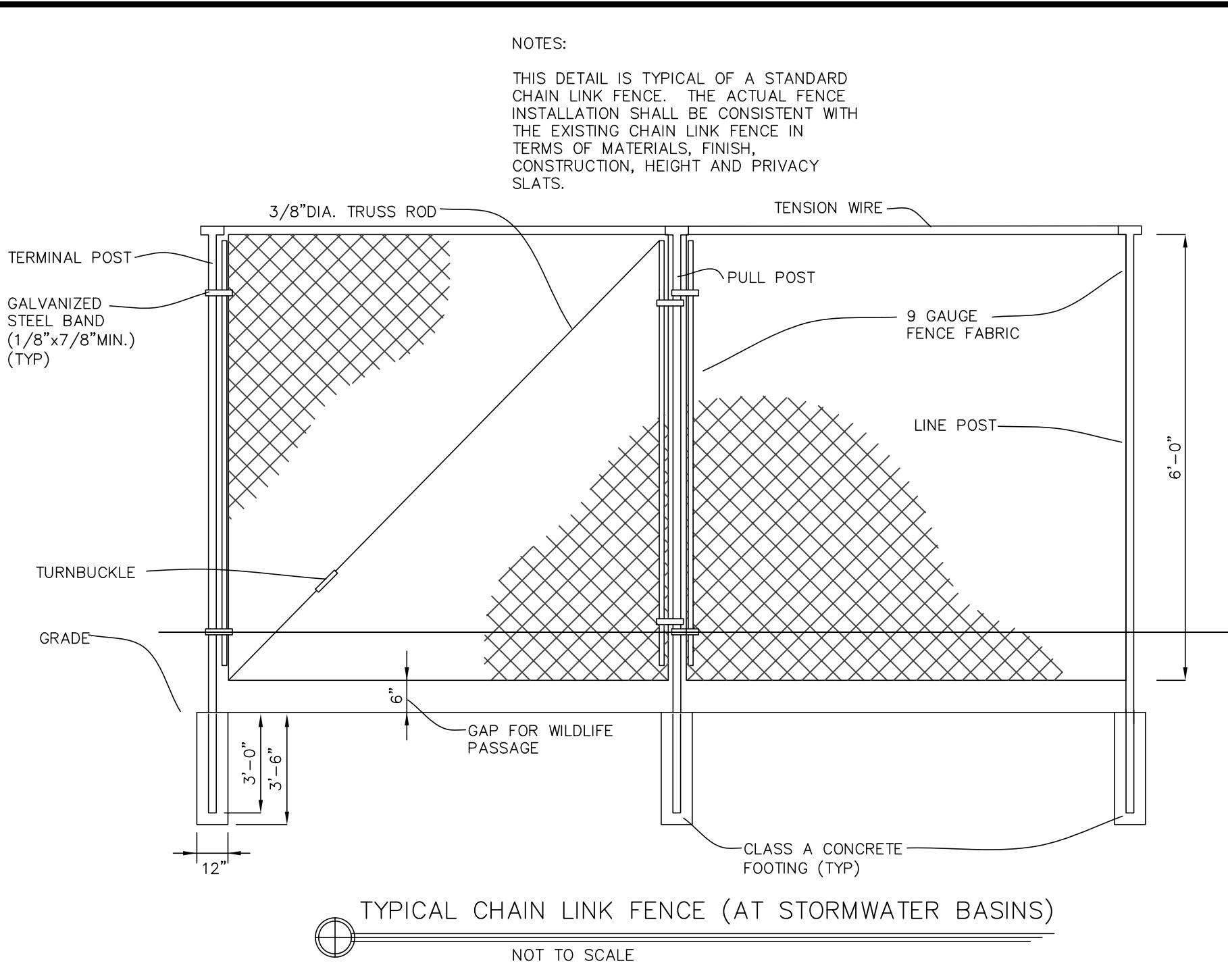
A scale bar consisting of a horizontal line with a thick black segment. Below the line, numerical markings are present at 0, 30, 60, and 90, representing feet. The thick black segment corresponds to the 30-foot mark.

DATE: February 14, 2025

REVISIONS				
#	DATE	DESCRIPTION	INIT	
1	6-20-25	ROADWAY AND DRAINAGE	MJD	
2	10-31-25	PER PEER REVIEW	MJD	
3	1-22-26	PER PEER REVIEW	MJD	

C-8





OWNERS:  
Varney Bros Sand and  
Gravel, Inc.  
79 Hartford Street  
Bellingham, MA 02019

SAK II Realty Trust  
202 Elm Street  
Blackstone, MA 01504

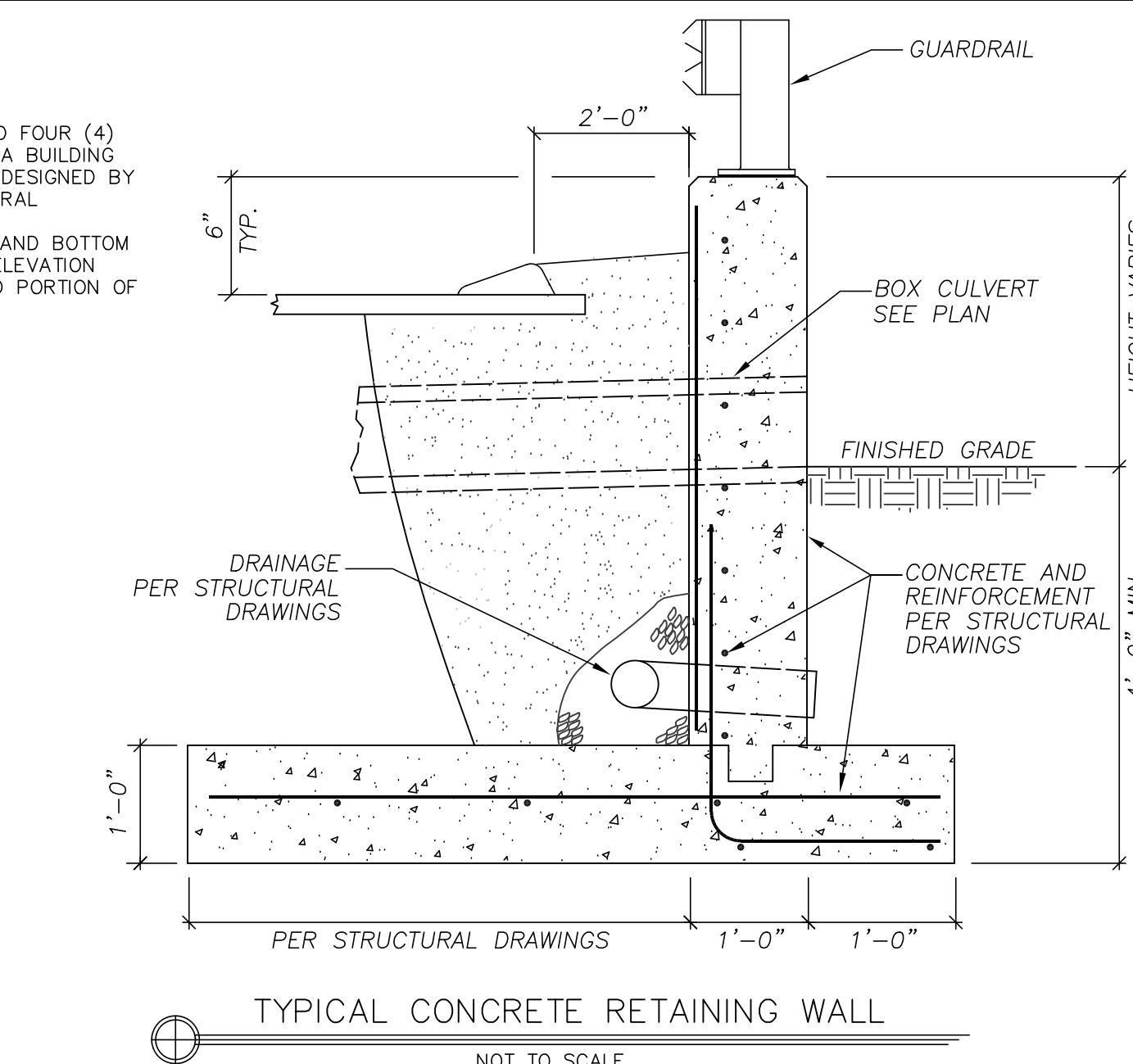
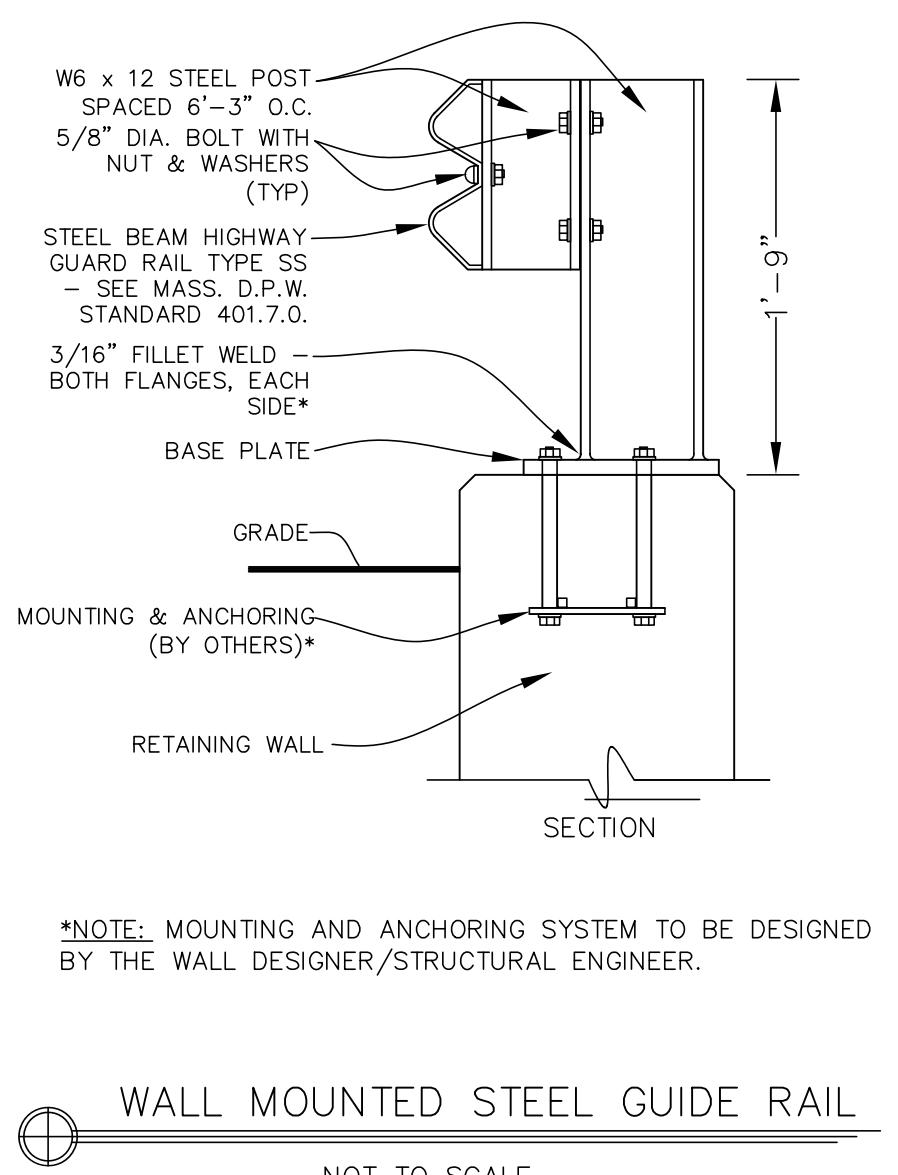
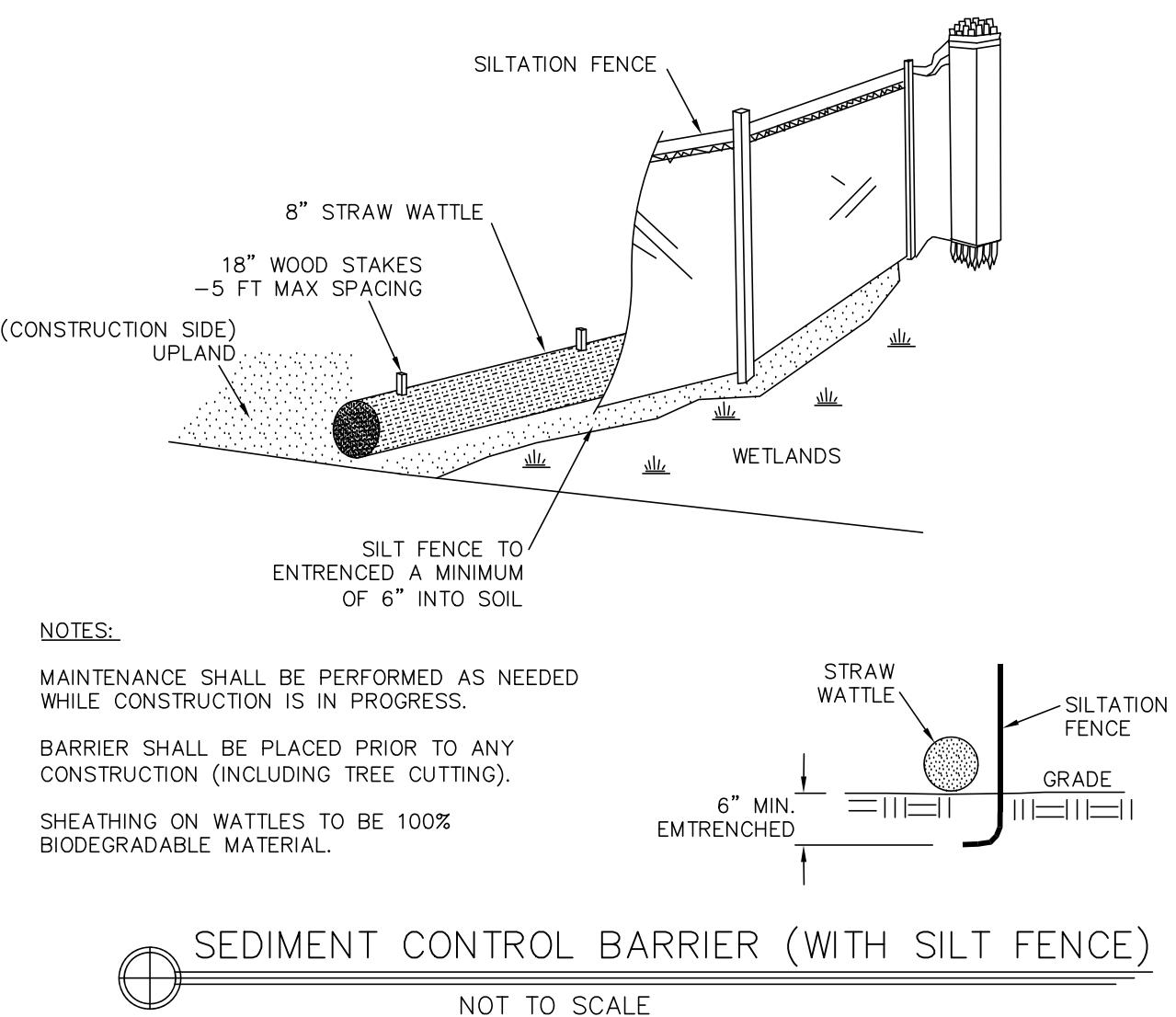
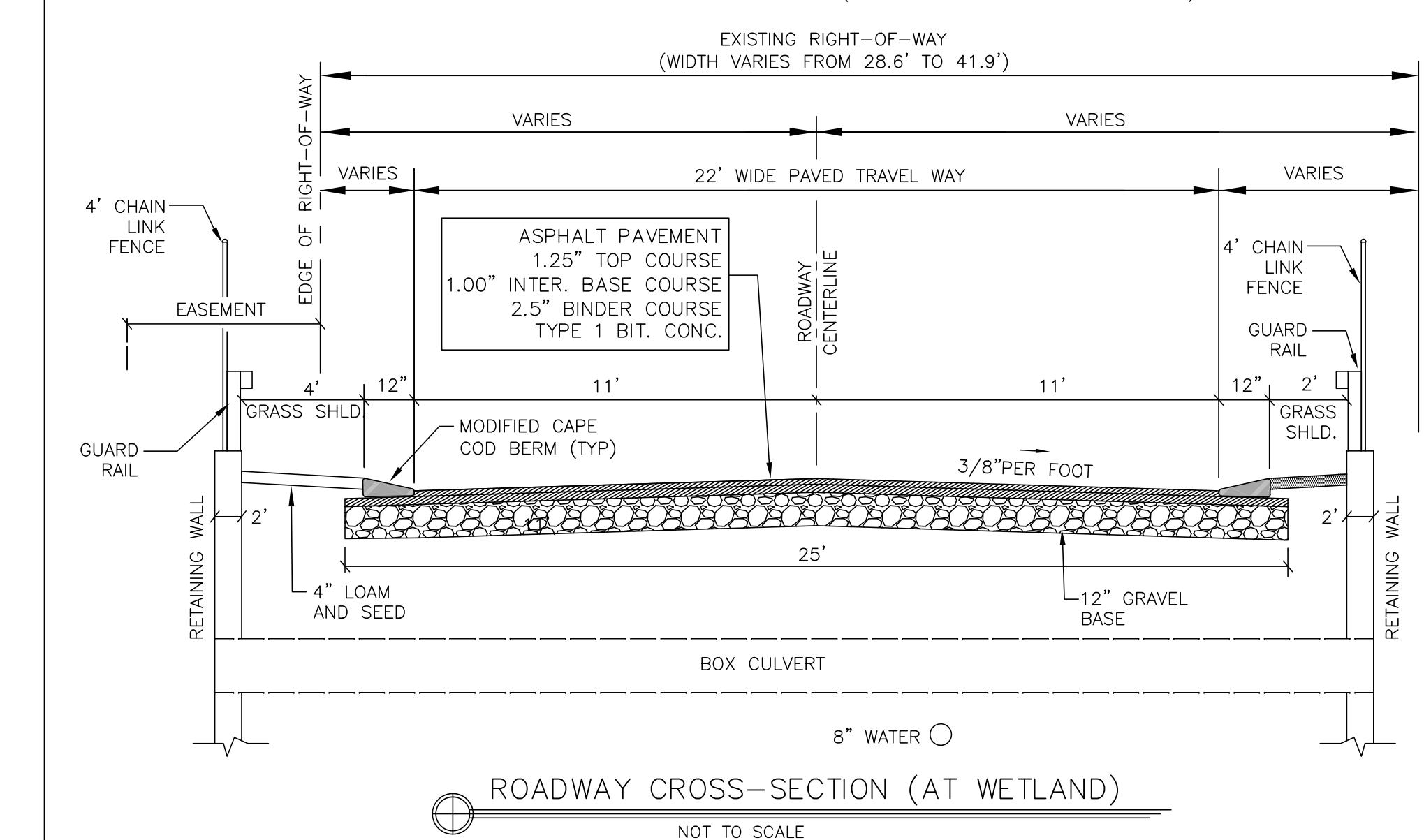
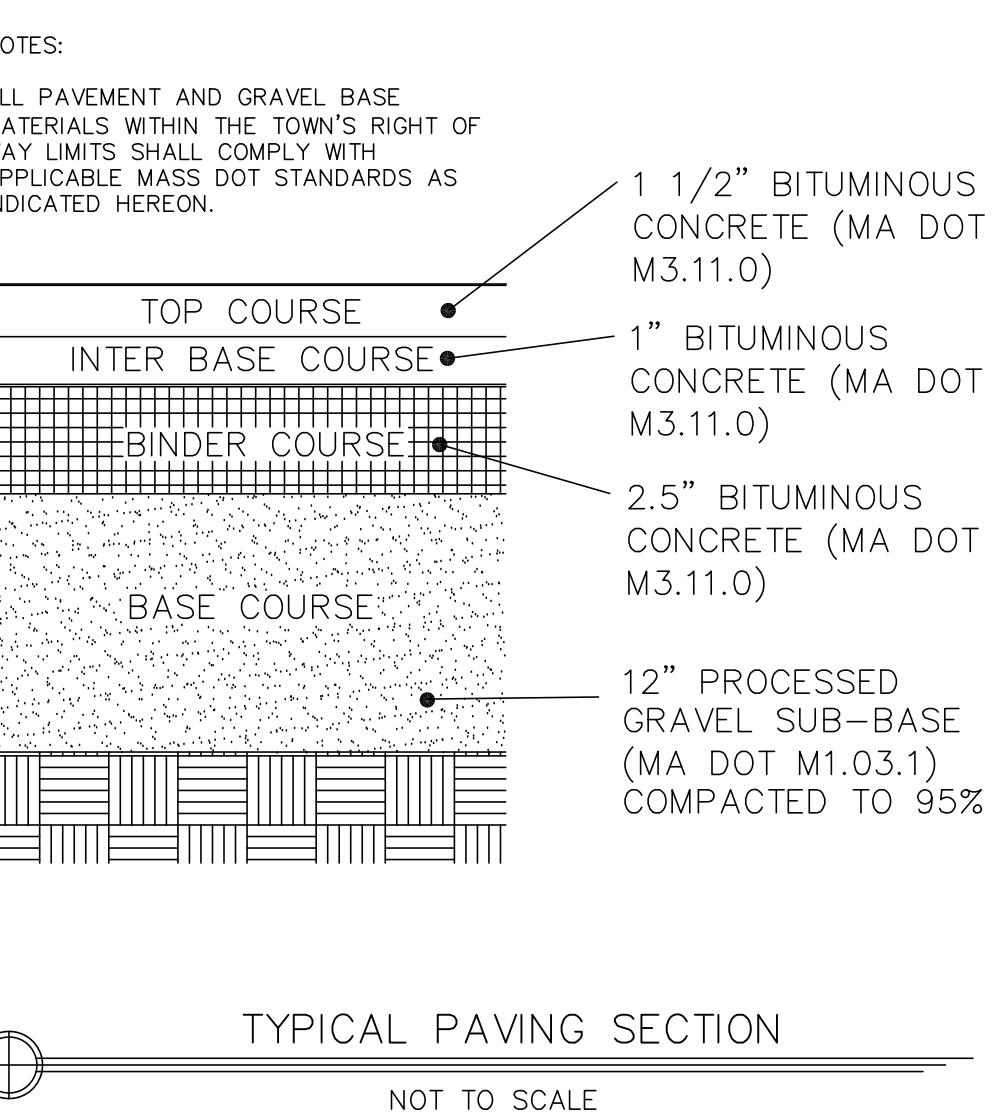
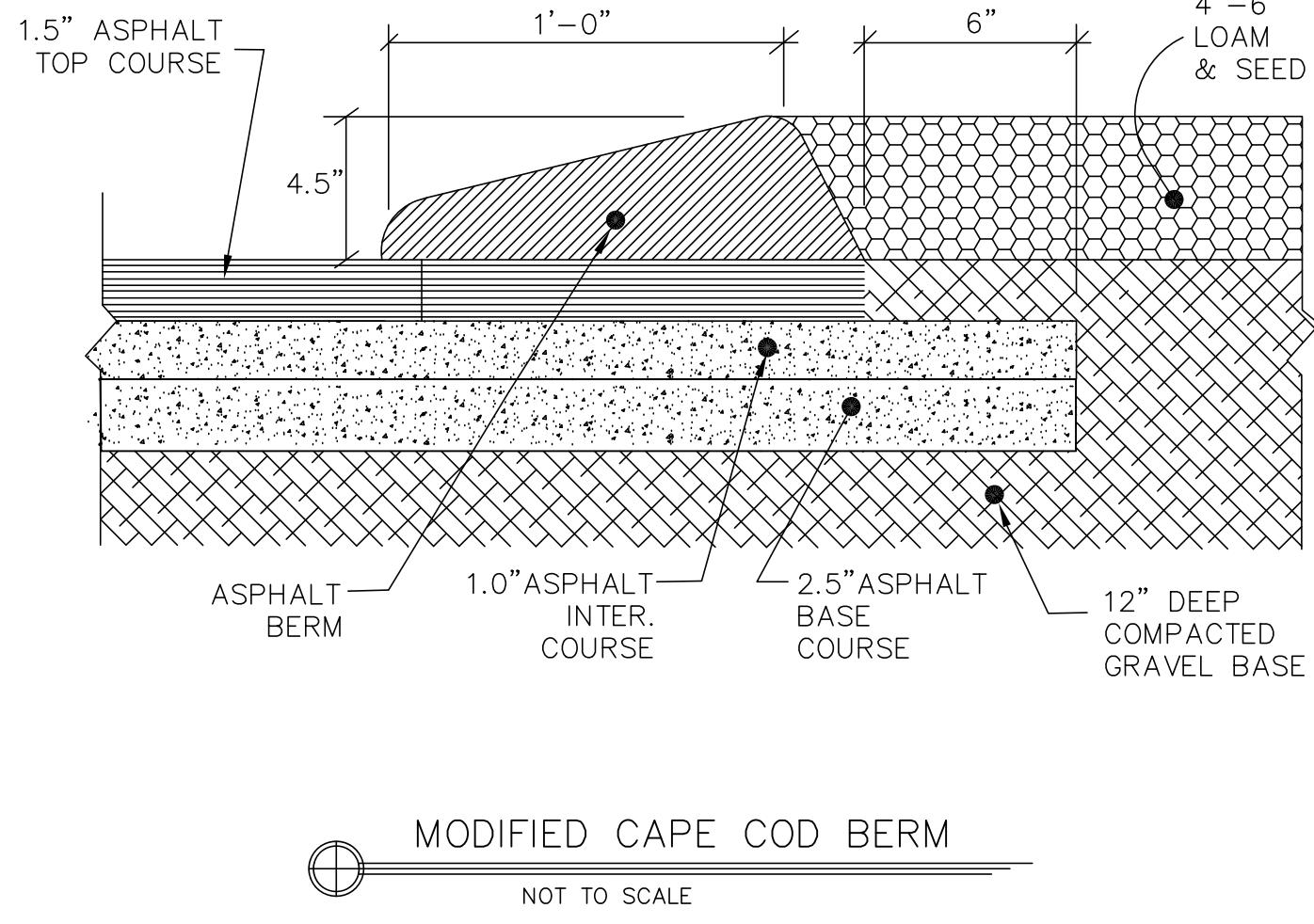
APPLICANT:

TITLE:

# CONSTRUCTION DETAILS

for

## Blackstone Street Improvements Bellingham, MA



PROFESSIONAL ENGINEER

PREPARED BY:

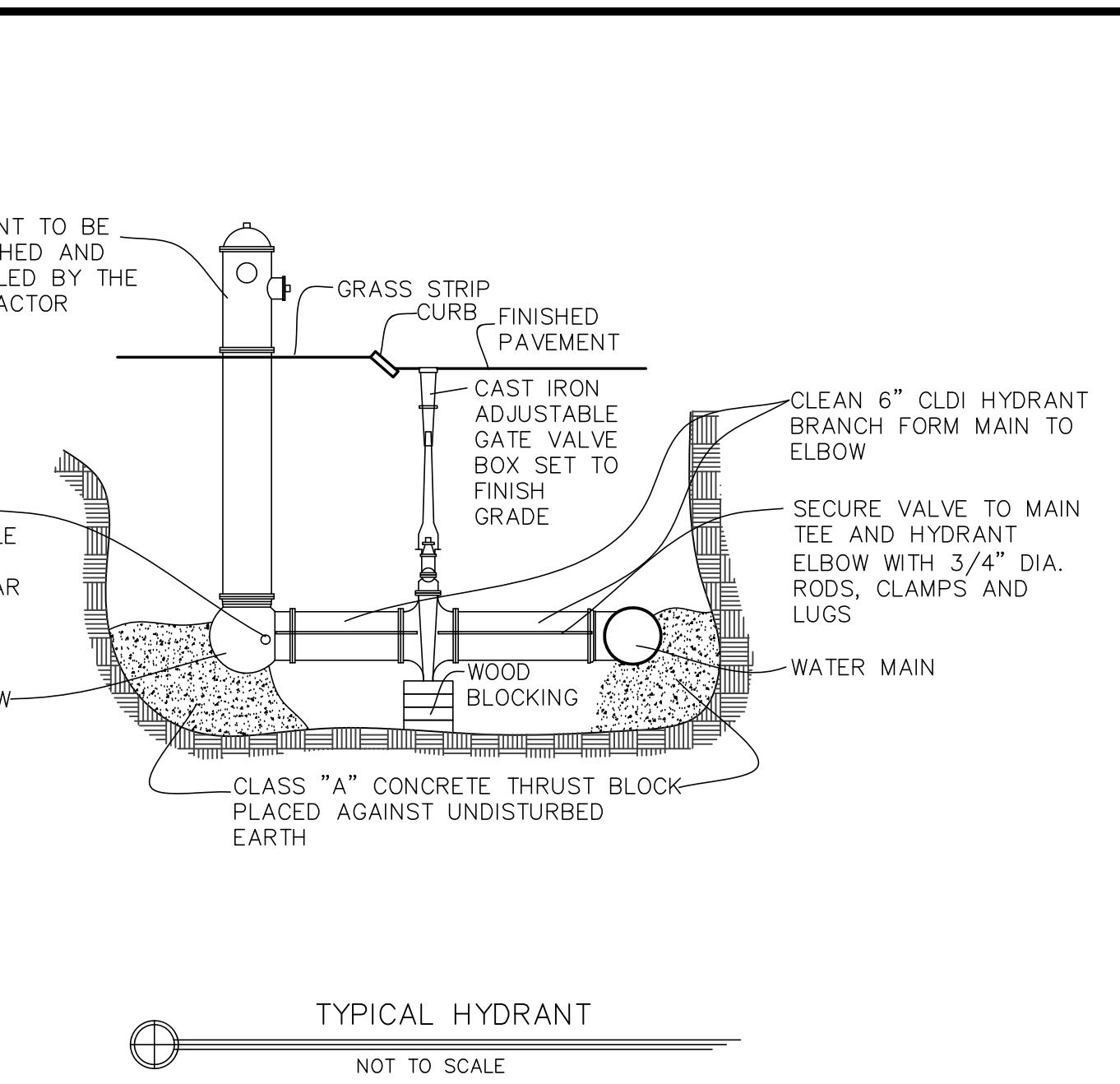
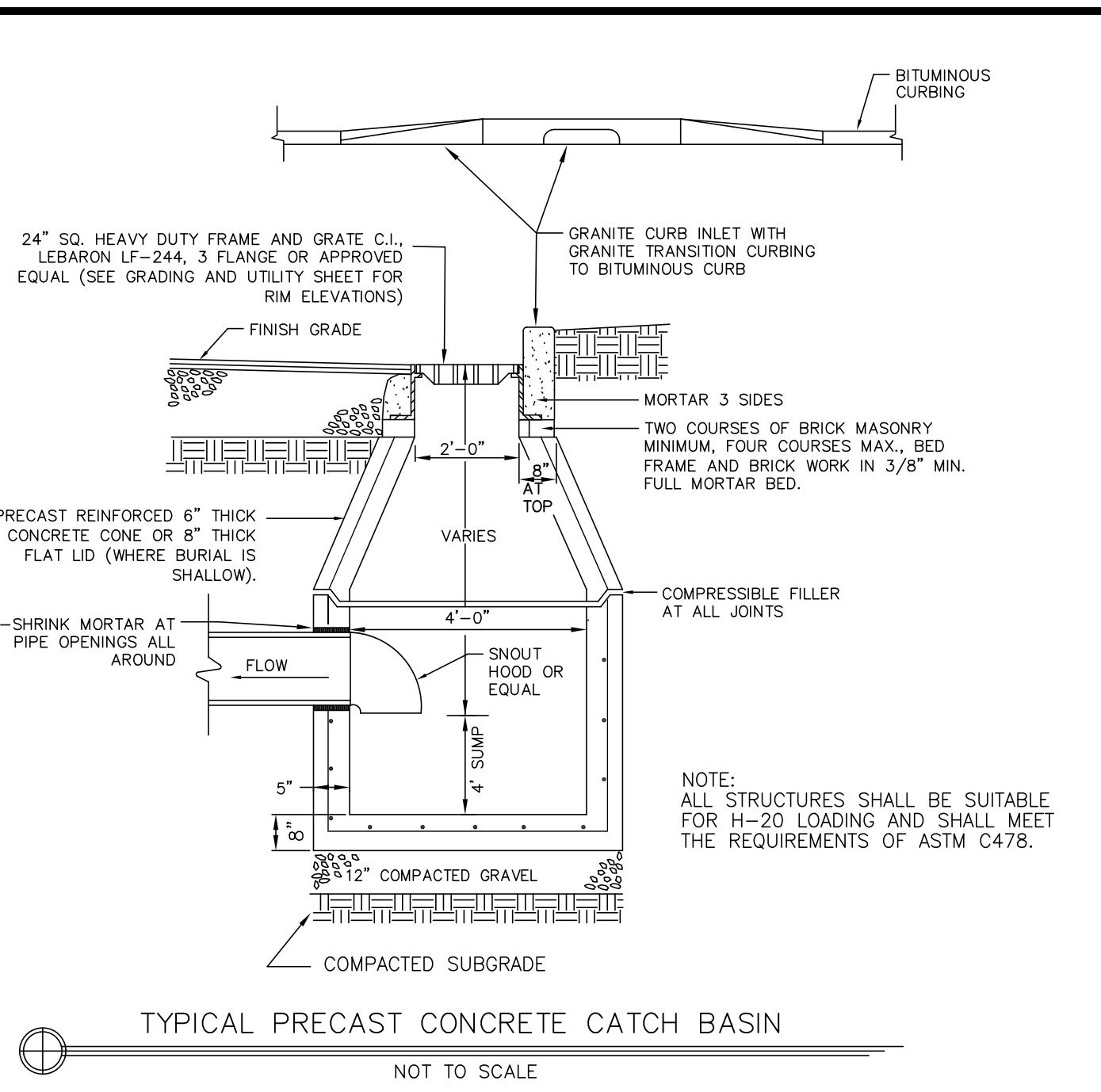
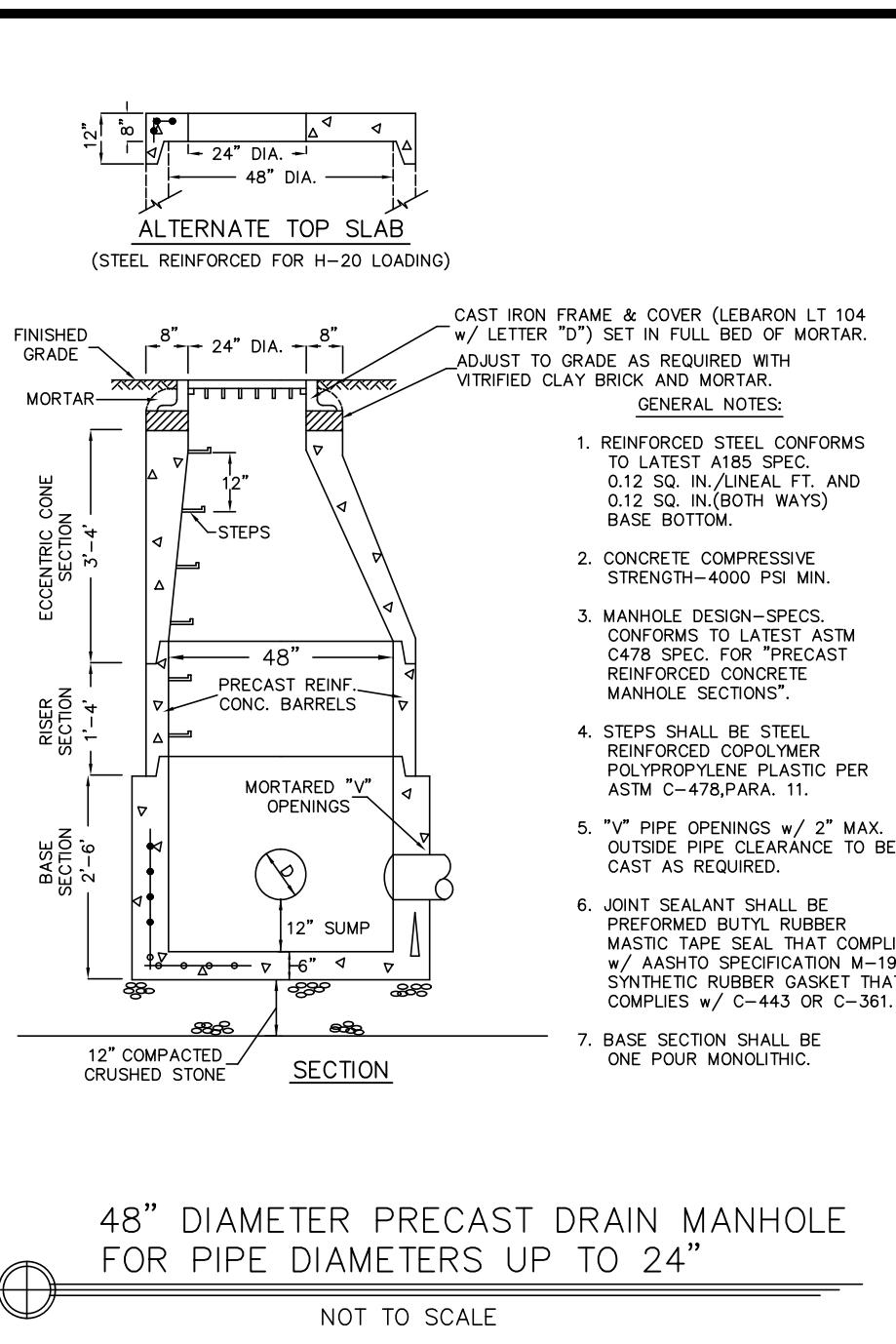
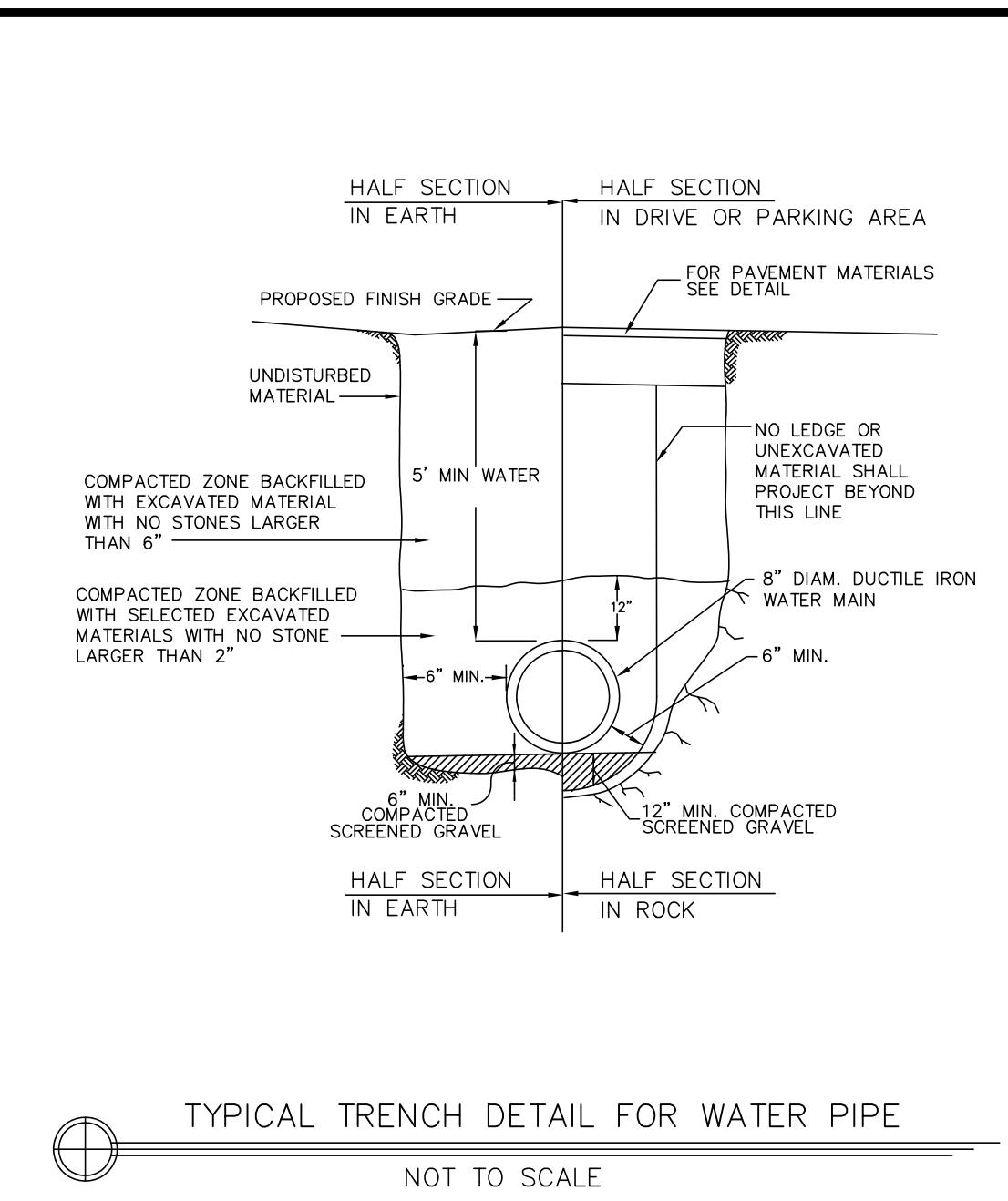
**ALLEN ENGINEERING  
& ASSOCIATES**

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Land Development Consultants

140 Hartford Avenue East  
Hopedale, Ma 01747  
(508) 381-3212 • [www.alien-ea.com](http://www.alien-ea.com)

SCALE:	
0	
DATE:	February 14, 2025

REVISIONS				
#	DATE	DESCRIPTION		INIT
1	6-20-25	ROADWAY AND DRAINAGE		MJD
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3	1-22-26	PER PEER REVIEW		MJD
JOB NO: 00454		SHEET:	C-10	

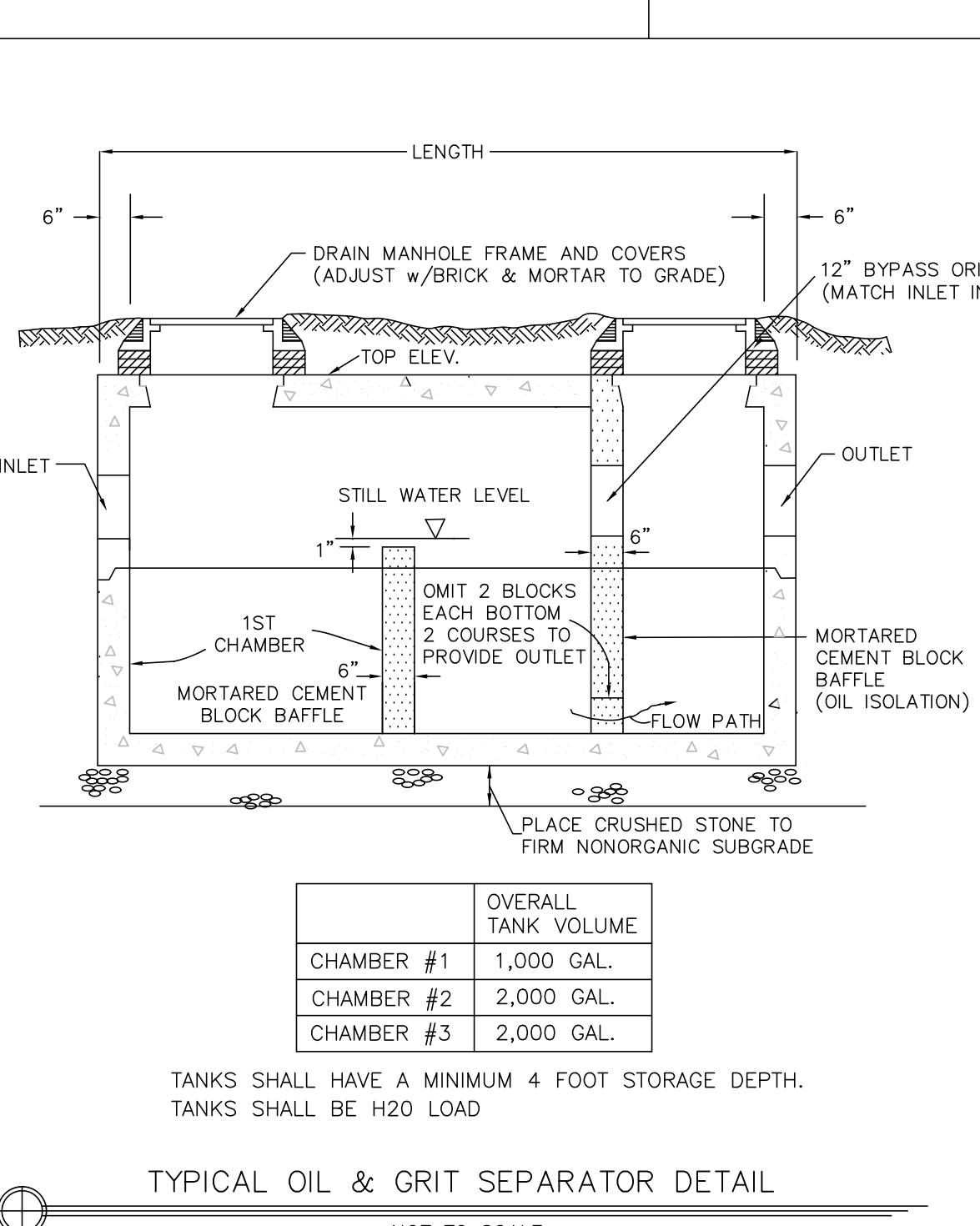
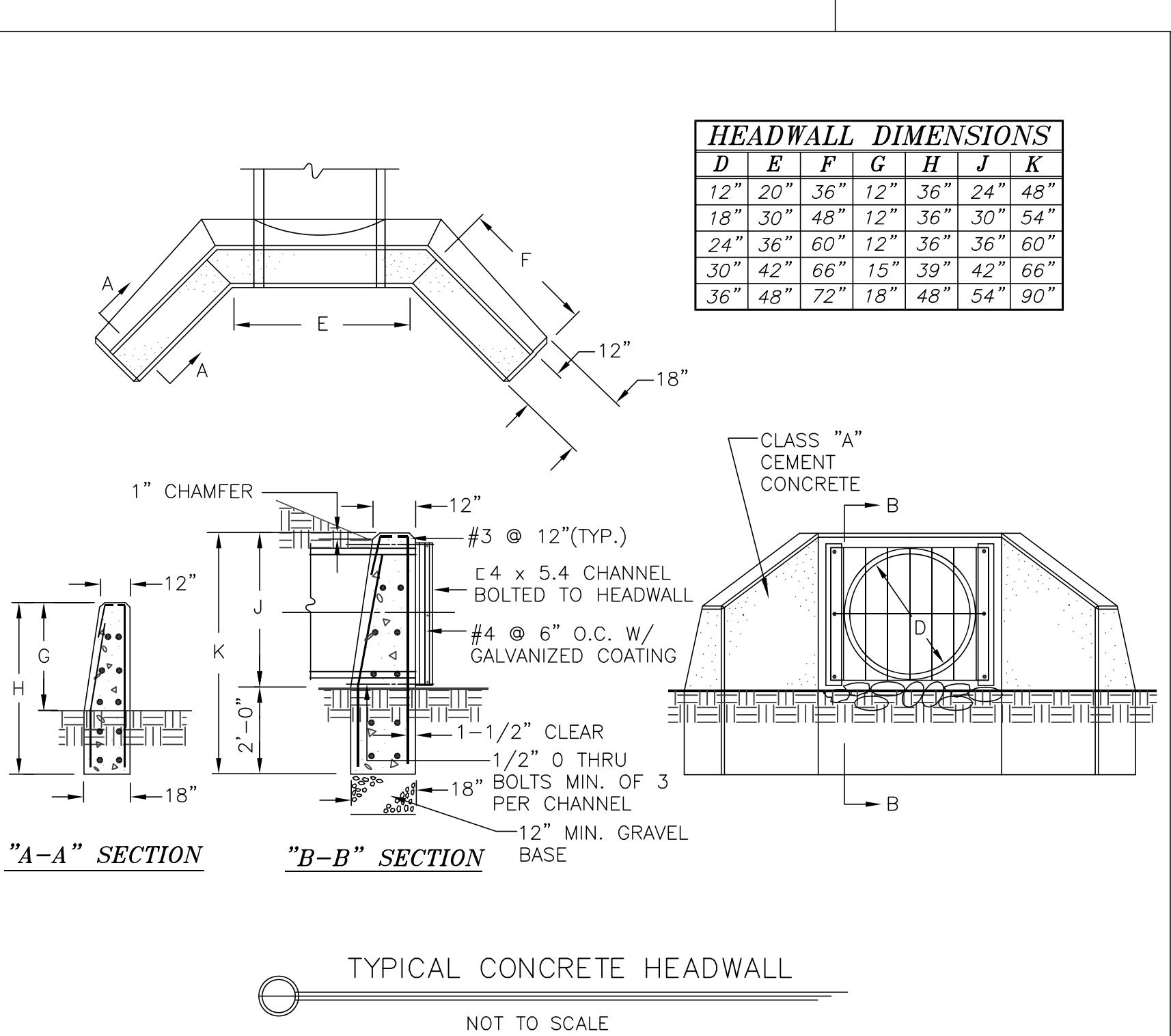
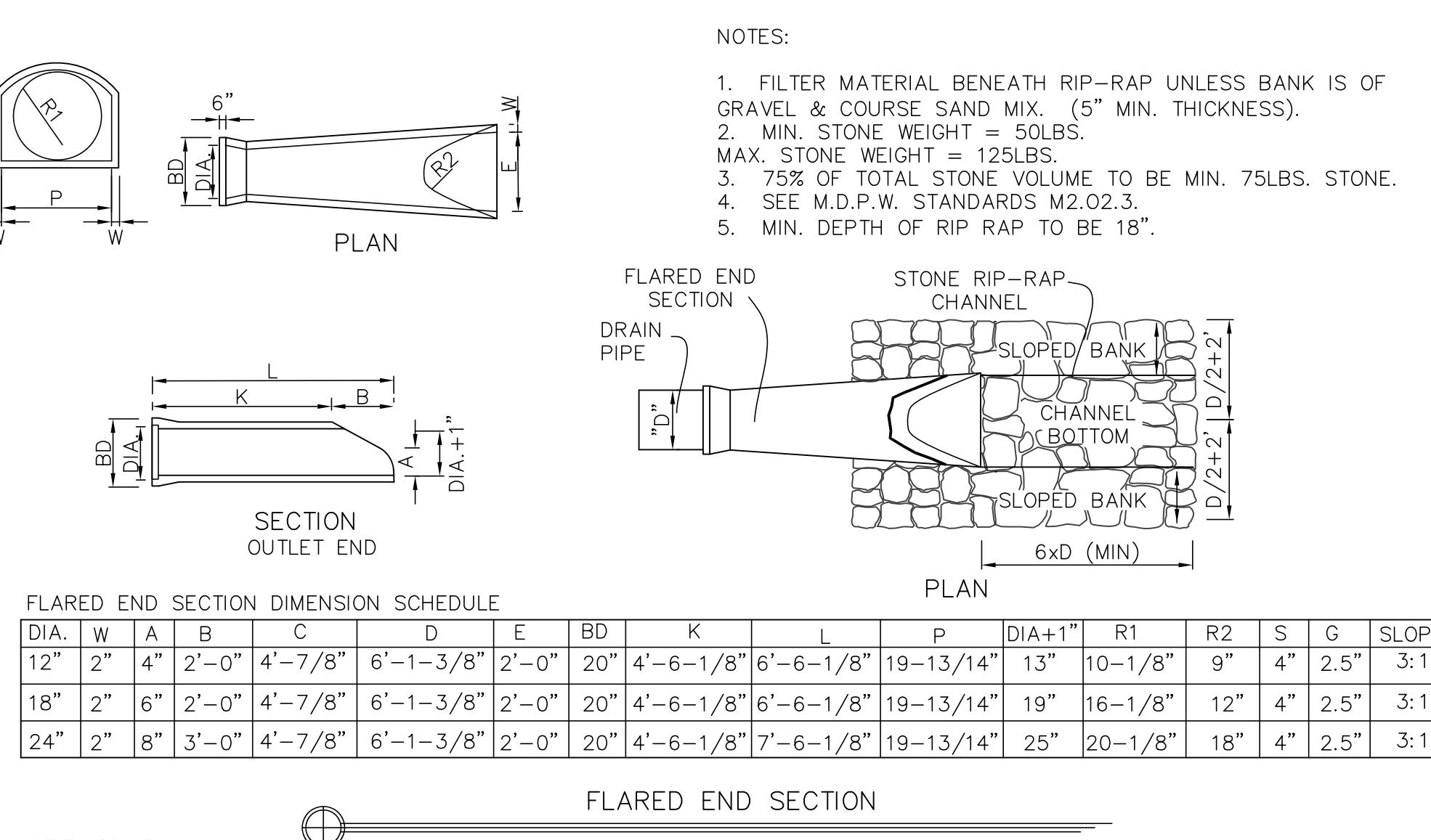
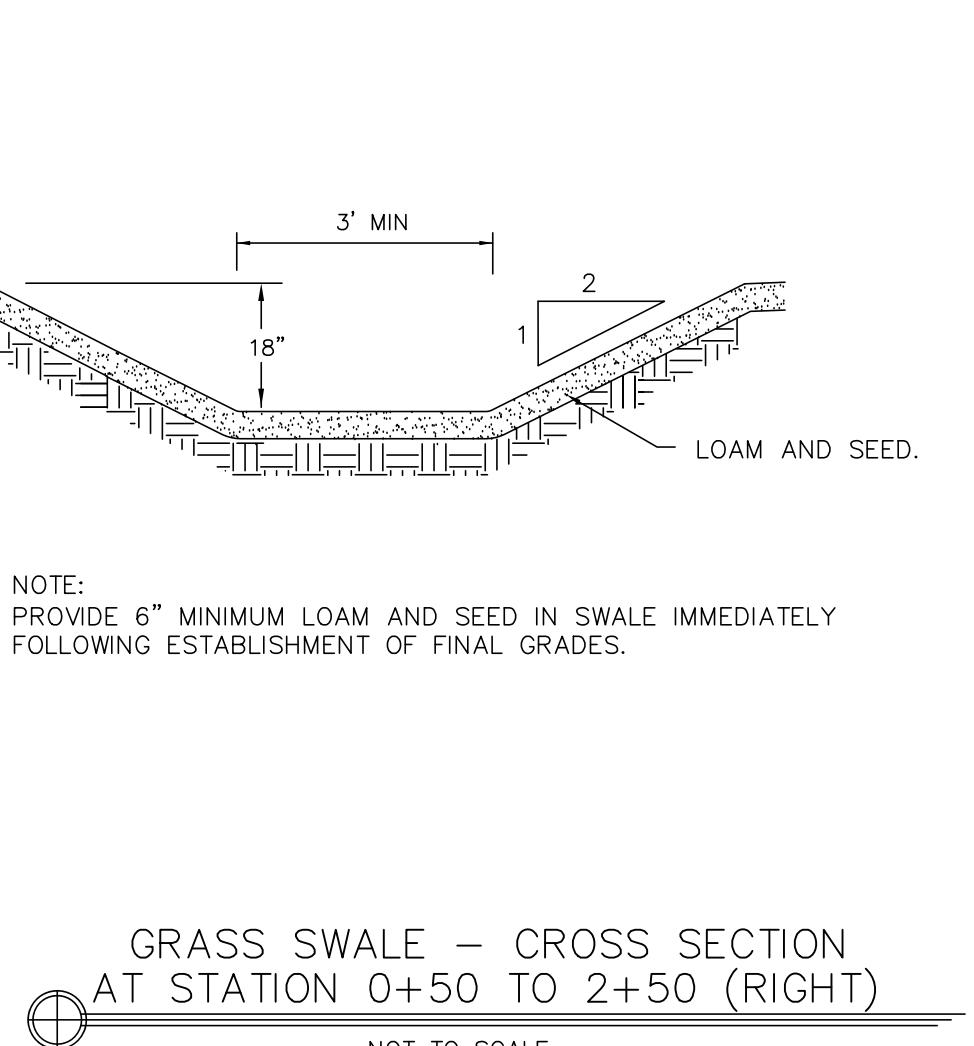
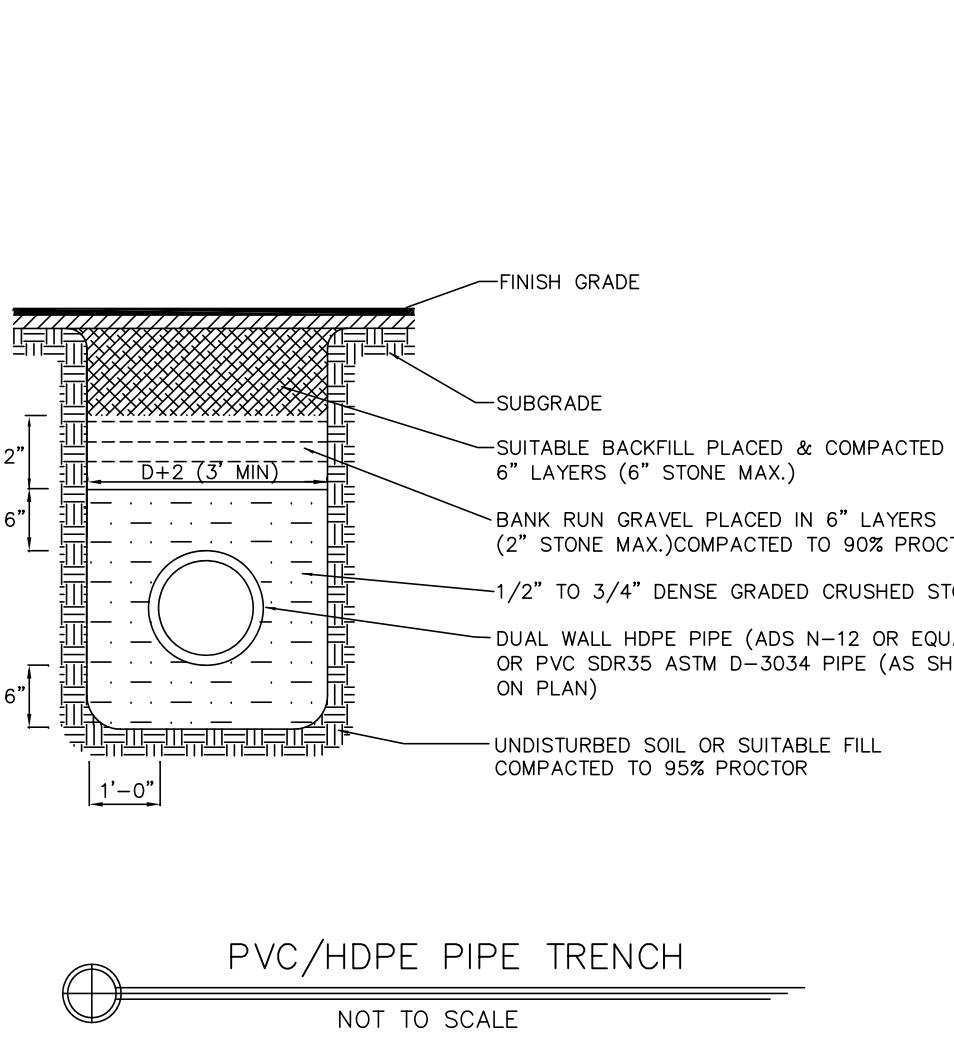
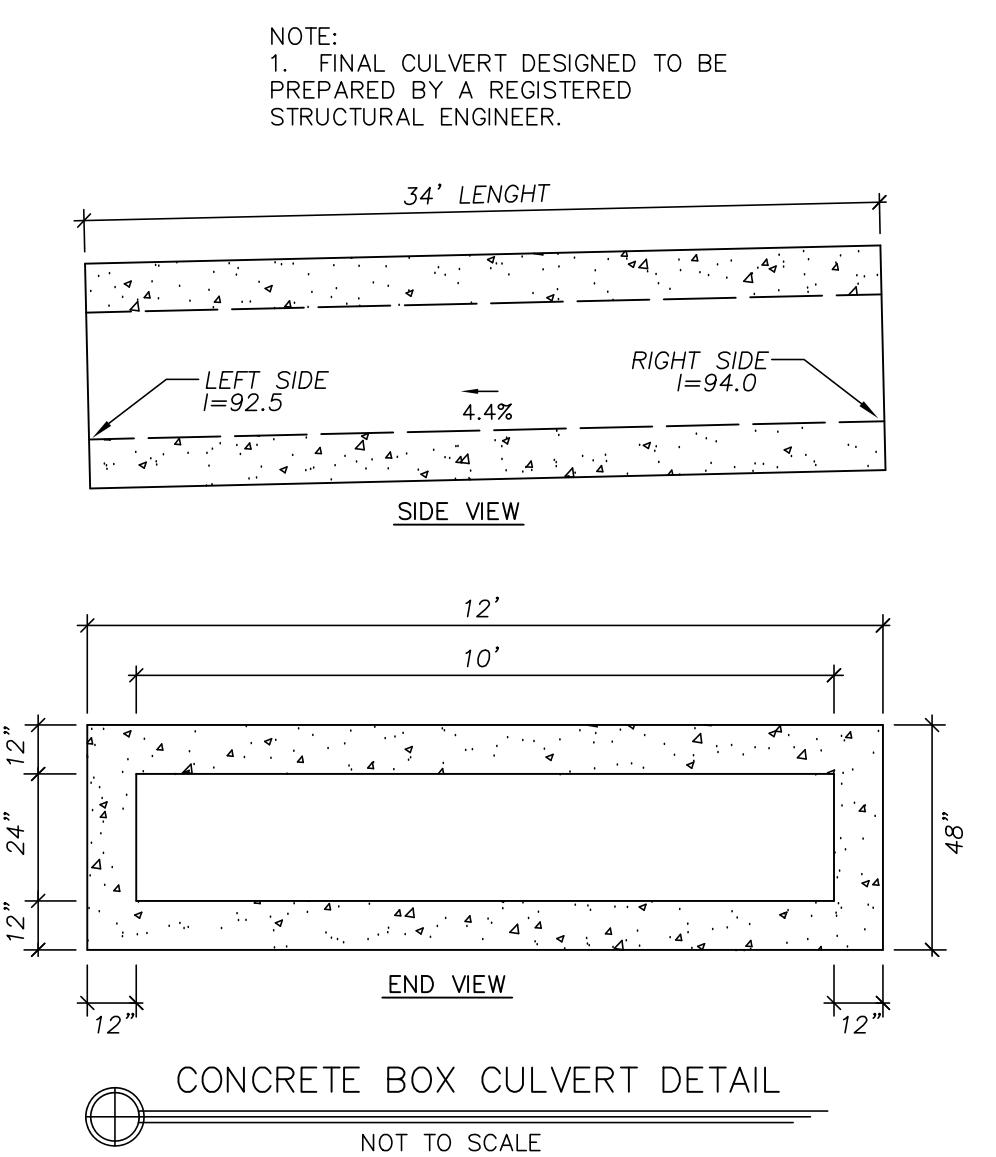


OWNERS:  
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Bellingham, MA 02019

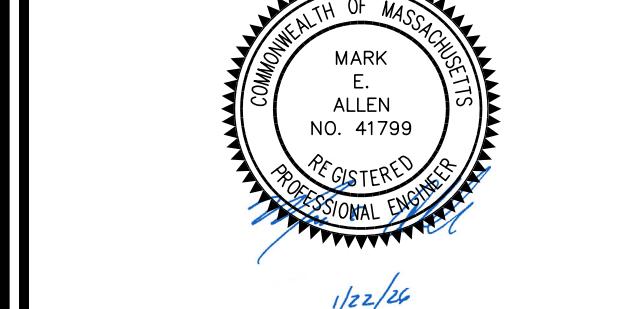
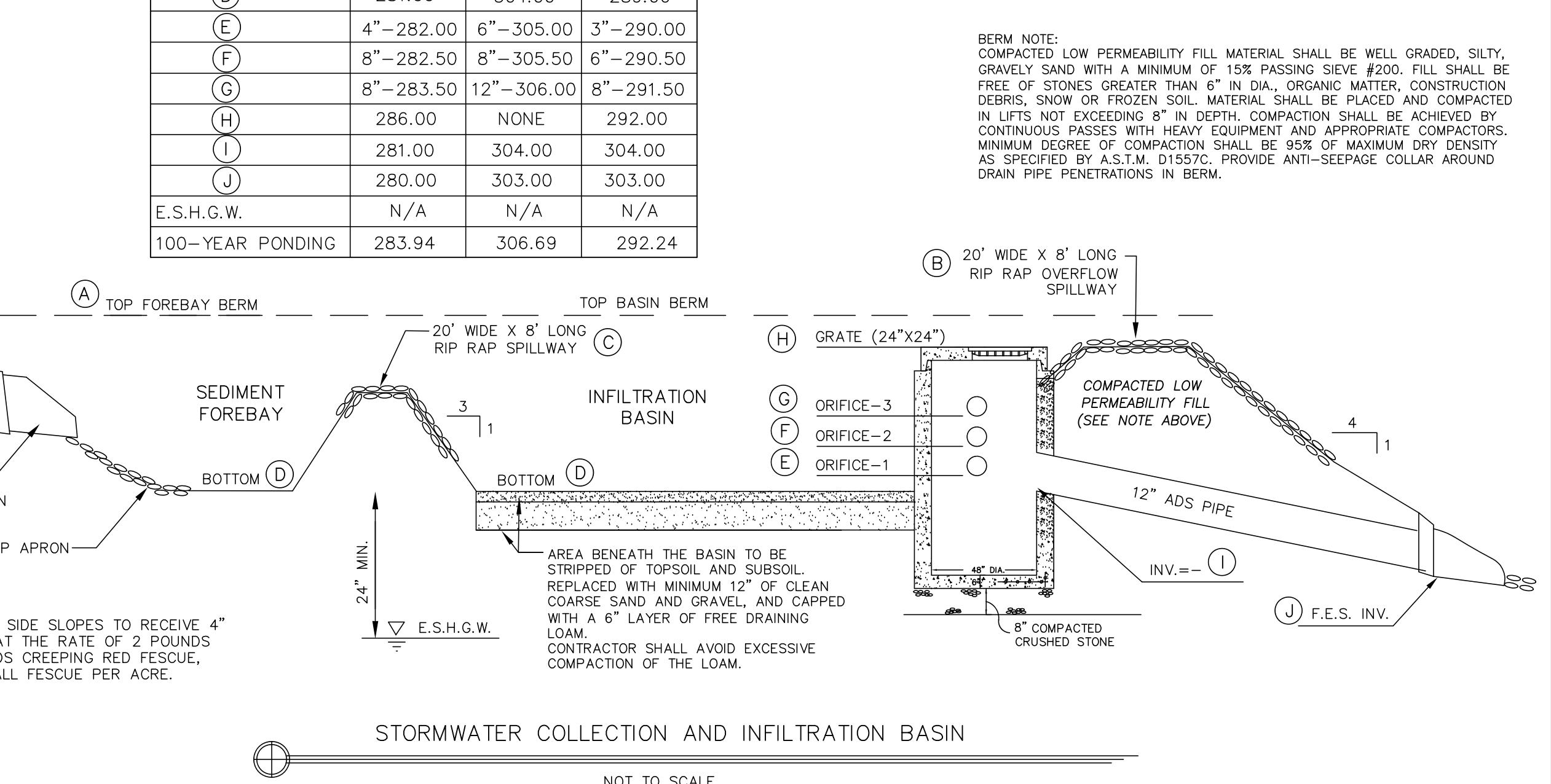
SAK II Realty Trust  
202 Elm Street  
Blackstone, MA 01504

APPLICANT:  
Wall Street Development Corp.  
P.O. Box 272  
Westwood, MA 02090

TITLE:  
CONSTRUCTION DETAILS for Blackstone Street Improvements Bellingham, MA



BASIN ELEVATION SCHEDULE										
	BASIN #1		BASIN #2		BASIN #3					
(A)	288.50	308.50	294.00							
(B)	287.50	307.70	293.25							
(C)	282.50	305.50	291.20							
(D)	281.00	304.00	289.00							
(E)	4"-282.00	6"-305.00	3"-290.00							
(F)	8"-282.50	8"-305.50	6"-290.50							
(G)	8"-283.50	12"-306.00	8"-291.50							
(H)	286.00	NONE	292.00							
(I)	281.00	304.00	304.00							
(J)	280.00	303.00	303.00							
E.S.H.G.W.	N/A	N/A	N/A							
100-YEAR PONDING	283.94	306.69	292.24							



PROFESSIONAL ENGINEER

PREPARED BY:



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Hopedale, Ma 01747  
(508) 381-3212 • www.allen-ea.com

SCALE:  
0

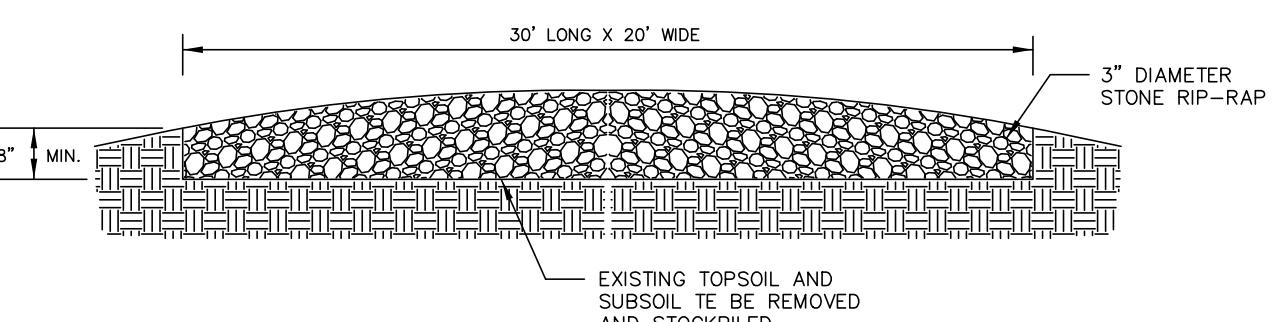
DATE: February 14, 2025

REVISIONS

#	DATE	DESCRIPTION	INIT
1	6-20-25	ROADWAY AND DRAINAGE	MJD
2	10-31-25	PER PEER REVIEW	MJD
3	1-22-26	PER PEER REVIEW	MJD

JOB NO: 00454 SHEET: C-11



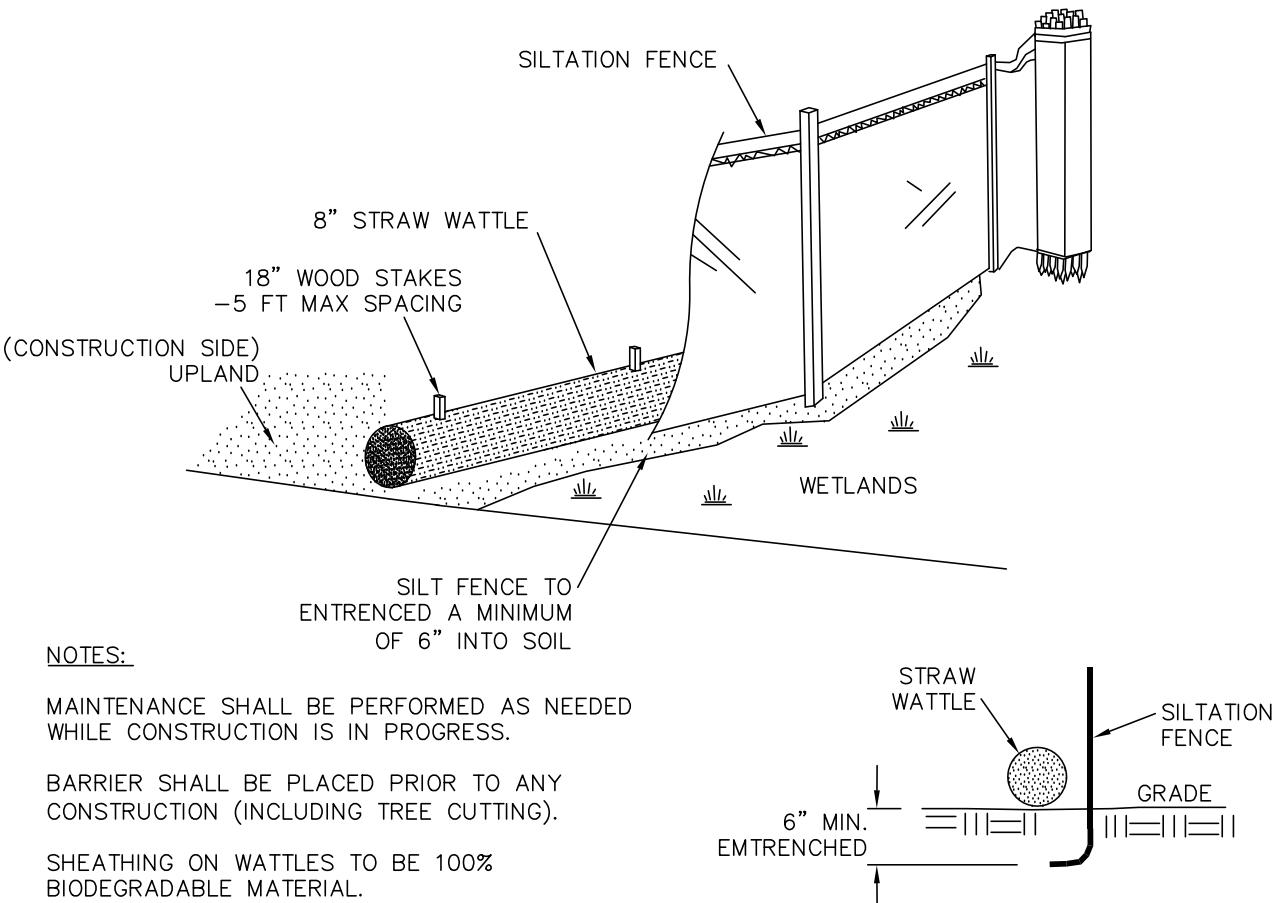


NOTES:

1. MINIMUM DEPTH OF RIP-RAP TO BE 18".
2. RIP-RAP TO BE SHARP ANGULAR ROCK APPROXIMATELY 3" IN DIAMETER.
3. SIZE OF ENTRANCE TO BE A MINIMUM OF 30 FEET LONG AND 20 FEET WIDE.
4. ENTRANCE IS TO BE CLEANED OF SILT AND DEBRIS AFTER EACH MAJOR STORM EVENT.
5. RIP-RAP IS TO BE REMOVED PRIOR TO ACTUAL ROADWAY CONSTRUCTION. THE INTENT OF THIS RIP-RAP ENTRANCE IS TO KEEP EXISTING PUBLIC STREETS FREE OF SILT DURING THE BEGINNING OF CONSTRUCTION.

#### RIP-RAP CONSTRUCTION ENTRANCE

NOT TO SCALE



#### SEDIMENT CONTROL BARRIER (WITH SILT FENCE)

NOT TO SCALE

#### CONSTRUCTION SEQUENCING

THE FOLLOWING IS A TYPICAL CONSTRUCTION SEQUENCING PLAN. THE SEQUENCING MAY BE ADJUSTED BASED UPON SPECIFIC FIELD CONDITIONS ENCOUNTERED.

- ESTABLISH THE LIMIT OF WORK VIA SURVEY AND INSTALL EROSION CONTROLS PER THE PLANS.
- SATISFY ALL PRE-CONSTRUCTION CONDITIONS INCLUDING NOTIFICATION TO TOWN OFFICIALS PRIOR TO THE START OF WORK.
- OBTAIN NOTICE OF INTENT PERMIT COVERAGE UNDER THE USA EPA CONSTRUCTION GENERAL PERMIT, INCLUDING A STORMWATER POLLUTION PREVENTION PLAN.
- CUT TREES AND REMOVE STUMPS WITHIN THE ESTABLISHED WORK LINE. STRAW TOP AND SOIL WHERE APPLICABLE.
- ESTABLISH STORMWATER BASINS AND OUTLET CONTROLS.
- INSTALL UNDERGROUND UTILITIES AND DRAINAGE SYSTEM.
- COMPLETE EARTHWORK ACTIVITIES AND PLACEMENT OF IMPORTED BASE MATERIALS FOR THE ROADWAY.
- INSTALL CURBING AND BINDER COURSE PAVEMENT. COMPLETE STABILIZATION OF GRADE AREAS, GRASS STRIP AND BASINS WITH LOAM AND SEED WHERE NOTED ON THE PLANS.
- CONDUCT SITE WORK AND HOME CONSTRUCTION.
- INSTALL FINAL WEARING COURSE PAVEMENT.

#### CONSTRUCTION MAINTENANCE AND INSPECTION

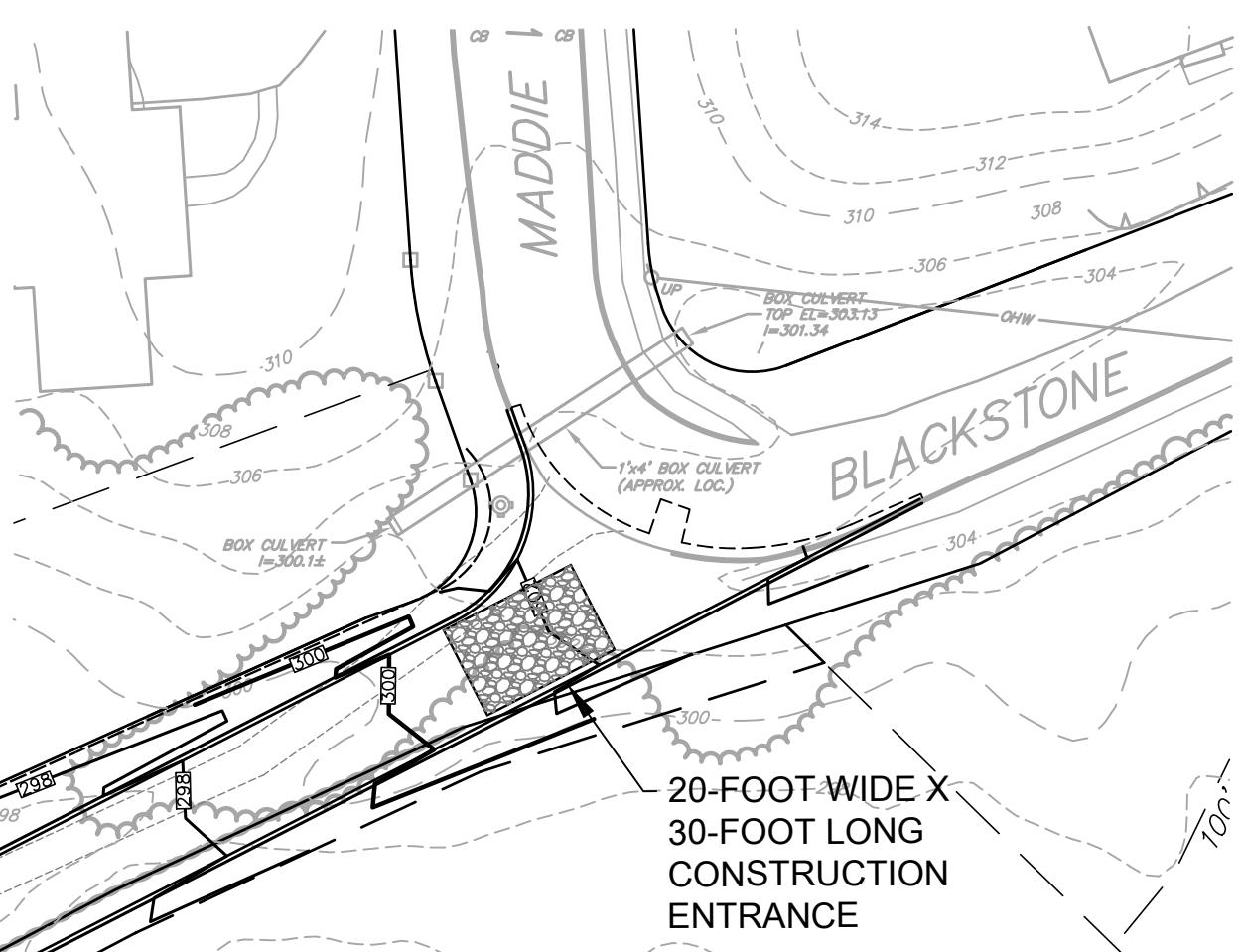
THE FOLLOWING IS A TYPICAL MAINTENANCE AND INSPECTION PLAN TO BE ADHERED TO DURING THE CONSTRUCTION PERIOD. THIS SHALL BE CONSIDERED THE MINIMUM AND MAY REQUIRE MORE INTENSIVE ATTENTION BASED ON SPECIFIC WEATHER AND FIELD CONDITIONS ENCOUNTERED.

- AN ADEQUATE SUPPLY OF SEDIMENT CONTROL BARRIER SHALL BE KEPT ON SITE FOR EMERGENCY REPAIRS.
- EROSION CONTROL DEVICES SHALL BE INSPECTED WEEKLY AND AFTER EACH RAIN EVENT.
- DAMAGED, DETERIORATED OR BREACHED SEDIMENT BARRIERS SHALL BE ADDRESSED IMMEDIATELY UPON DISCOVERY.
- INSPECTIONS SHALL BE DOCUMENTED PER THE CONSTRUCTION GENERAL PERMIT STORMWATER POLLUTION PREVENTION PLAN TO BE ISSUED PRIOR TO CONSTRUCTION.
- INSPECT AND MAINTAIN THE STABILIZED CONSTRUCTION ENTRANCE ON A DAILY BASIS OR MORE FREQUENTLY IF WARRANTED.
- ANY SEDIMENT, SOIL OR DEBRIS TRACKED ON TO THE PUBLIC ROADWAY SHALL BE SWEEPED ON A DAILY BASIS.
- ALL MATERIAL STOCKPILES SHALL BE SURROUNDED BY SEDIMENT CONTROL BARRIERS.
- THE CONSTRUCTION SITE SHALL BE KEPT CLEAR OF TRASH AND DEBRIS AT ALL TIMES.

#### ANTICIPATED WASTE MATERIALS

THE FOLLOWING IS A LIST OF WASTE MATERIALS ANTICIPATED TO BE GENERATED AND STORED ON THE SITE DURING CONSTRUCTION.

- BRICK, CONCRETE, GYPSUM WALLBOARD, WOOD, METAL AND ASPHALT ROOFING MATERIALS WILL BE SEPARATED AND RECYCLED.
- OTHER SOLID WASTE SUCH AS TRASH, MISCELLANEOUS DEBRIS, MACHINERY WILL BE DISPOSED OF OFF-SITE. NO BURNING OR WASTED MATERIALS OF ANY KIND IS NOT ALLOWED. ALL MATERIALS SHALL BE STORED IN PROPER CONTAINERS PRIOR TO DISPOSAL.
- HAZARDOUS MATERIALS ARE NOT ANTICIPATED TO BE STORED ON SITE; HOWEVER, ANY MATERIALS THAT POSE A RISK TO THE ENVIRONMENT, SUCH AS PAINTS AND SOLVENTS MUST BE PROPERLY STORED AND COVERED FROM THE ELEMENTS.
- CONCRETE WASHOUT SHALL OCCUR IN A CONTROLLED FASHION IN DESIGNATED AREAS LOCATED OUTSIDE OF THE 100-FOOT BUFFER ZONE.
- A SANITARY WASTE STATION SHALL BE PROVIDED AND DISPOSED OF BY A LICENSED SANITARY HAULER.

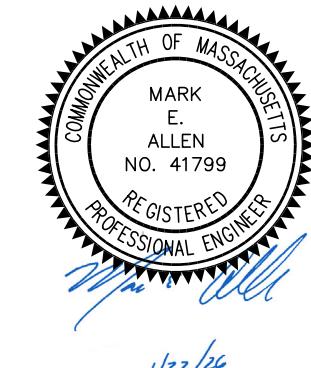


OWNERS:  
Varney Bros Sand and Gravel, Inc.  
79 Hartford Street  
Bellingham, MA 02019

SAK II Realty Trust  
202 Elm Street  
Blackstone, MA 01504

APPLICANT:  
Wall Street Development Corp.  
P.O. Box 272  
Westwood, MA 02090

TITLE: EROSION AND SEDIMENT CONTROL PLAN for Blackstone Street Improvements Bellingham, MA



PROFESSIONAL ENGINEER

PREPARED BY:  
ALLEN ENGINEERING & ASSOCIATES

Civil Engineers · Surveyors  
Land Development Consultants  
140 Hartford Avenue East  
Hopedale, Ma 01747  
(508) 381-3212 · www.allen-ea.com

SCALE: 1"=40 FEET  
0 40 80 120

DATE: February 14, 2025

REVISIONS

#	DATE	DESCRIPTION	INIT
1	6-20-25	ROADWAY AND DRAINAGE	MJD
2	10-31-25	PER PEER REVIEW	MJD
3	1-22-26	PER PEER REVIEW	MJD

JOB NO: 00454 SHEET: C-13

SEE INSET FOR CONTINUATION

