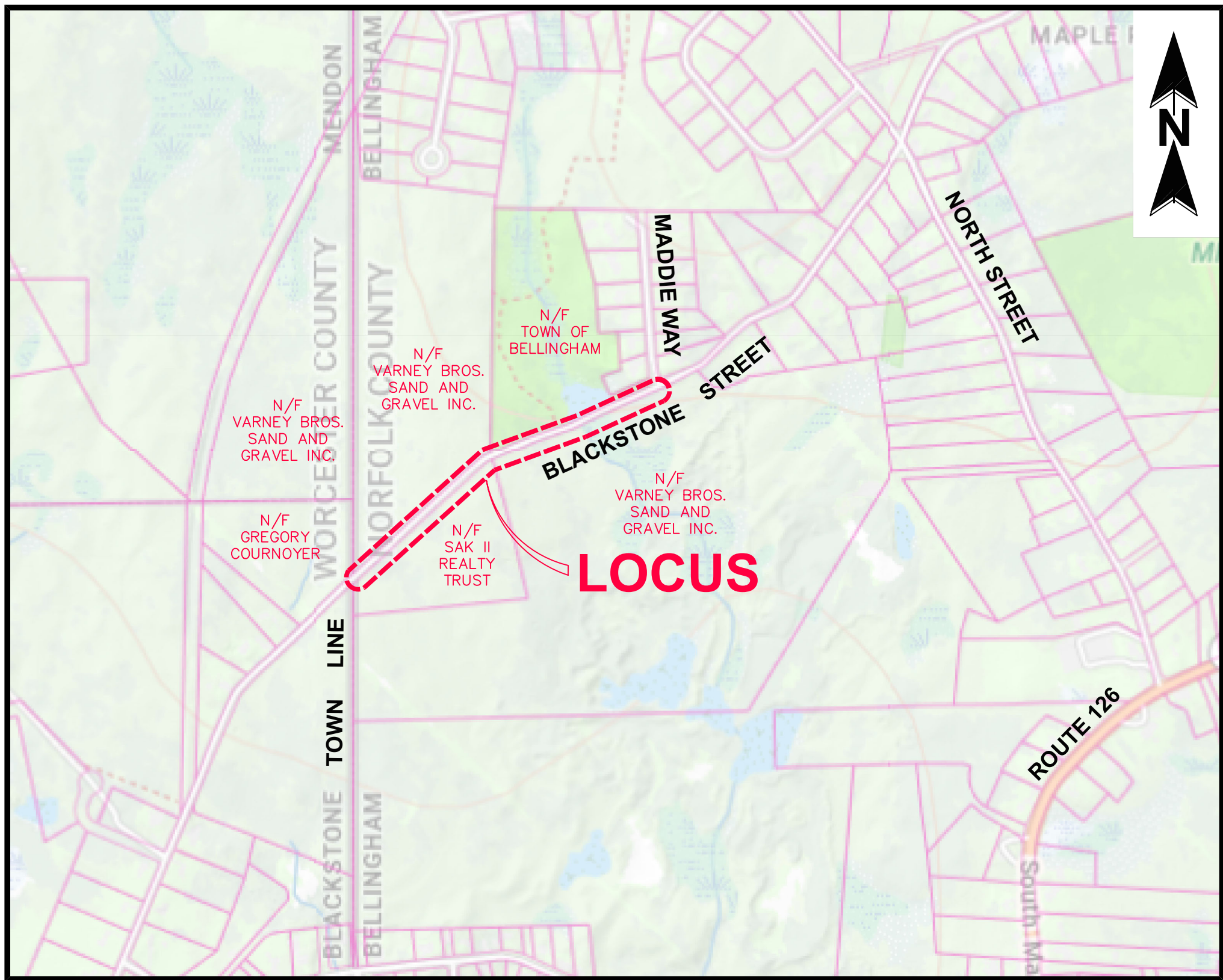


# Blackstone Street Improvements

in

## Bellingham, Massachusetts

PLAN INDEX	
TITLE	SHEET
COVER SHEET	C-1
SITE INDEX PLAN (1"=100')	C-2
EXISTING CONDITIONS PLANS (1"=40')	C-3-C4
PLAN AND PROFILES (1"=30')	C5-C7
STORMWATER BASINS (1=40')	C8-C9
CONSTRUCTION DETAILS	C10-C11
WETLAND RELICATION PLAN	C12
EROSION AND SEDIMENT CONTROL PLANS	C13-C14
PROPOSED EASEMENT PLANS	C15-C16



LOCUS MAP  
1"=800'

PREPARED BY:



**ALLEN ENGINEERING  
& ASSOCIATES, INC.**

Civil Engineers • Surveyors  
Land Development Consultants

140 Hartford Avenue East  
Hopedale, Ma 01747  
(508) 381-3212 • www.allen-ea.com

February 14, 2025

Revisions			
NO.	DATE	DESCRIPTION	BY
1	6-20-25	ROADWAY AND DRAINAGE	MJD
2	10-31-25	PER PEER REVIEW	MJD
3	1-22-26	PER PEER REVIEW	MJD

**Owners:**

Varney Bros Sand  
and Gravel, Inc.  
79 Hartford Street  
Bellingham, MA 02019  
(Map 62, Parcels 1 and 5)

SAK II Realty Trust  
202 Elm Street  
Blackstone, MA 01504  
(Map 66, Parcel 1)

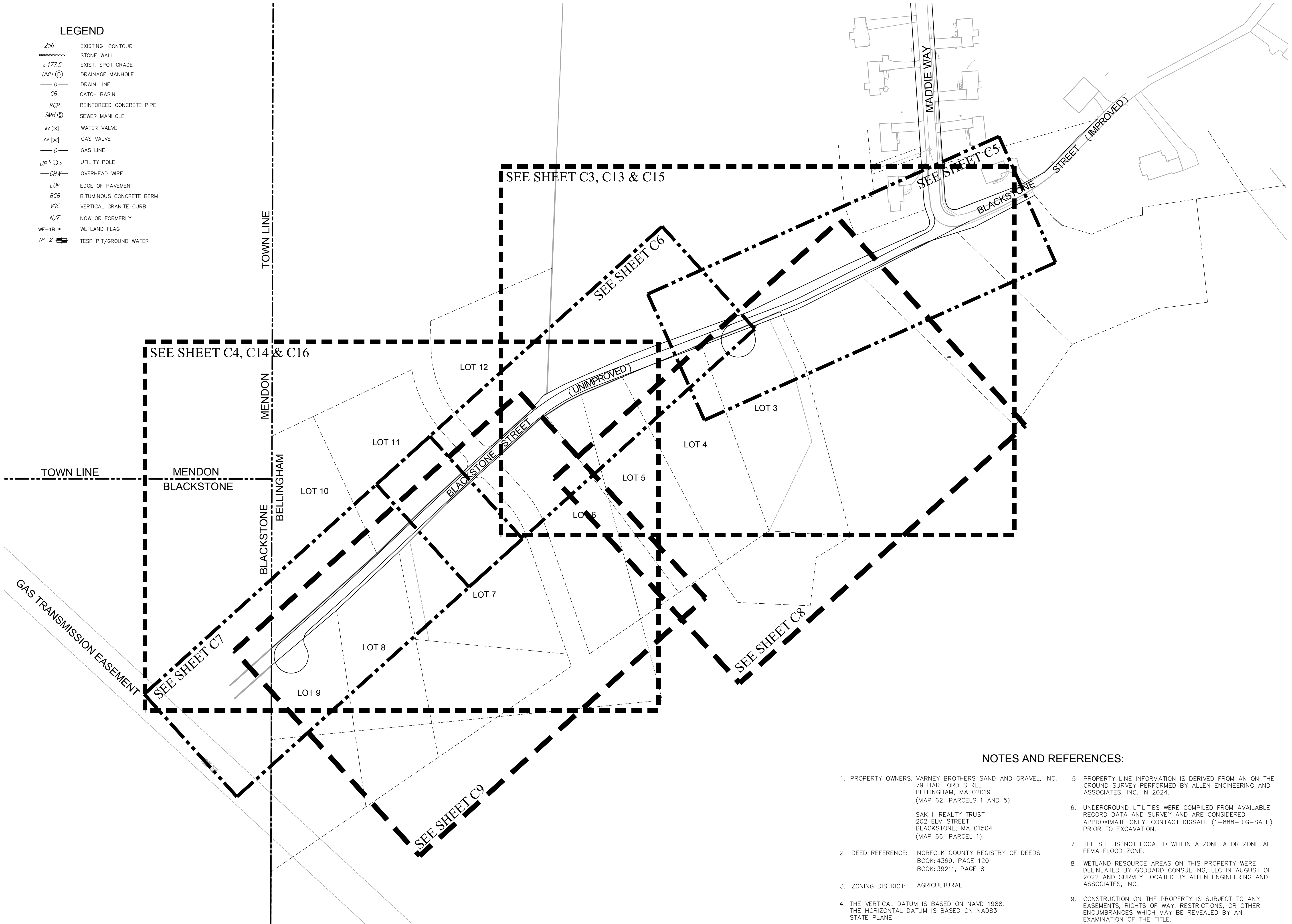
**Proponent:**

Wall Street  
Development Corp.  
P.O. Box 272  
Westwood, MA 02090



LEGEND

- 256— EXISTING CONTOUR  
STONE WALL  
x 177.5 EXIST. SPOT GRADE  
DMH (D) DRAINAGE MANHOLE  
—D— DRAIN LINE  
CB CATCH BASIN  
RCP REINFORCED CONCRETE PIPE  
SMH (S) SEWER MANHOLE  
wv (X) WATER VALVE  
gv (X) GAS VALVE  
—G— GAS LINE  
UP (C) UTILITY POLE  
—OHW— OVERHEAD WIRE  
EOP EDGE OF PAVEMENT  
BCB BITUMINOUS CONCRETE BERM  
VGC VERTICAL GRANITE CURB  
N/F NOW OR FORMERLY  
WF-1B (•) WETLAND FLAG  
TP-2 (■) TESP PIT/GROUND WATER



NOTES AND REFERENCES:

- PROPERTY OWNERS: VARNEY BROTHERS SAND AND GRAVEL, INC.  
79 HARTFORD STREET  
BELLINGHAM, MA 02019  
(MAP 62, PARCELS 1 AND 5)  
  
SAK II REALTY TRUST  
202 ELM STREET  
BLACKSTONE, MA 01504  
(MAP 66, PARCEL 1)
- DEED REFERENCE: NORFOLK COUNTY REGISTRY OF DEEDS  
BOOK: 4369, PAGE 120  
BOOK: 39211, PAGE 81
- ZONING DISTRICT: AGRICULTURAL
- THE VERTICAL DATUM IS BASED ON NAVD 1988.  
THE HORIZONTAL DATUM IS BASED ON NAD83  
STATE PLANE.
- PROPERTY LINE INFORMATION IS DERIVED FROM AN ON THE  
GROUND SURVEY PERFORMED BY ALLEN ENGINEERING AND  
ASSOCIATES, INC. IN 2024.
- UNDERGROUND UTILITIES WERE COMPILED FROM AVAILABLE  
RECORD DATA AND SURVEY AND ARE CONSIDERED  
APPROXIMATE ONLY. CONTACT DIGSAFE (1-888-DIG-SAFE)  
PRIOR TO EXCAVATION.
- THE SITE IS NOT LOCATED WITHIN A ZONE A OR ZONE AE  
FEMA FLOOD ZONE.
- WETLAND RESOURCE AREAS ON THIS PROPERTY WERE  
DELINEATED BY GODDARD CONSULTING, LLC IN AUGUST OF  
2022 AND SURVEY LOCATED BY ALLEN ENGINEERING AND  
ASSOCIATES, INC.
- CONSTRUCTION ON THE PROPERTY IS SUBJECT TO ANY  
EASEMENTS, RIGHTS OF WAY, RESTRICTIONS, OR OTHER  
ENCUMBRANCES WHICH MAY BE REVEALED BY AN  
EXAMINATION OF THE TITLE.



OWNERS:

Varney Bros Sand and  
Gravel, Inc.  
79 Hartford Street  
Bellingham, MA 02019

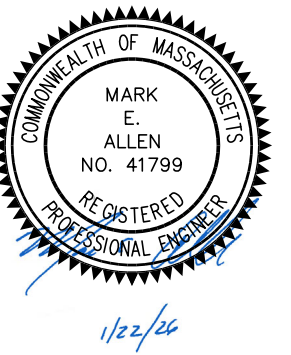
SAK II Realty Trust  
202 Elm Street  
Blackstone, MA 01504

APPLICANT:

Wall Street  
Development Corp.  
P.O. Box 272  
Westwood, MA 02090

TITLE:

SITE  
INDEX MAP  
for  
Blackstone Street  
Improvements  
Bellingham, MA



PROFESSIONAL ENGINEER

PREPARED BY:



ALLEN ENGINEERING  
& ASSOCIATES

Civil Engineers · Surveyors  
Land Development Consultants  
140 Hartford Avenue East  
Hopdale, Ma 01747  
(508) 381-3212 · www.allen-ea.com

SCALE:

1"=100 FEET



DATE:

February 14, 2025

REVISIONS

#	DATE	DESCRIPTION	INIT
1	6-20-25	ROADWAY AND DRAINAGE	MJD
2	10-31-25	PER PEER REVIEW	MJD
3	1-22-26	PER PEER REVIEW	MJD

JOB NO:  
00454

SHEET:

C-2

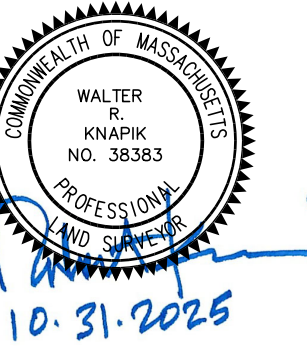




OWNERS:  
Varney Bros Sand and Gravel, Inc.  
79 Hartford Street  
Bellingham, MA 02019  
SAK II Realty Trust  
202 Elm Street  
Blackstone, MA 01504

APPLICANT:  
Wall Street Development Corp.  
P.O. Box 272  
Westwood, MA 02090

TITLE:  
EXISTING CONDITIONS PLAN  
for  
Blackstone Street Improvements  
Bellingham, MA



PROFESSIONAL LAND SURVEYOR  
PREPARED BY:



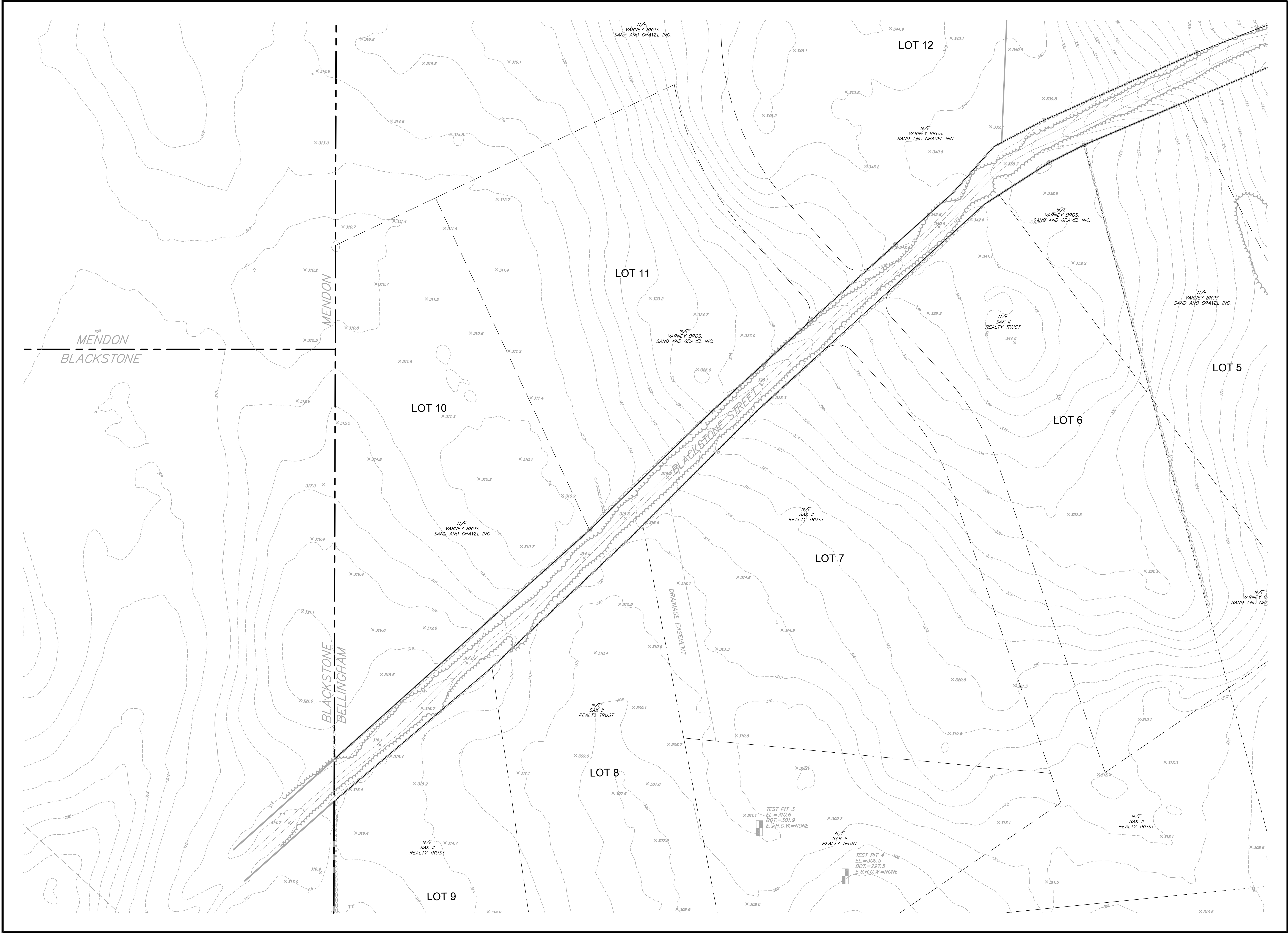
**ALLEN ENGINEERING & ASSOCIATES**  
Civil Engineers · Surveyors  
Land Development Consultants  
140 Hartford Avenue East  
Hopedale, Ma 01747  
(508) 381-3212 · www.allen-ea.com

SCALE: 1" = 40 FEET  
0 40 80 120

DATE: February 14, 2025

REVISIONS			
#	DATE	DESCRIPTION	INIT
1	6-20-25	ROADWAY AND DRAINAGE	MJD
2	10-31-25	PER PEER REVIEW	MJD
3	1-22-26	NO CHANGE THIS SHEET	MJD
JOB NO:		SHEET: C-3	
00454			





OWNERS:

Varney Bros Sand and Gravel, Inc.  
79 Hartford Street  
Bellingham, MA 02019

SAK II Realty Trust  
202 Elm Street  
Blackstone, MA 01504

APPLICANT:

Wall Street Development Corp.  
P.O. Box 272  
Westwood, MA 02090

TITLE:

EXISTING  
CONDITIONS  
PLAN  
for  
Blackstone Street  
Improvements  
Bellingham, MA



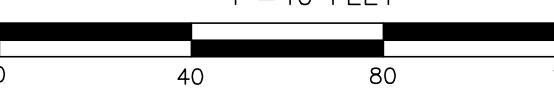
W. Knapik  
10.31.2025

PROFESSIONAL LAND SURVEYOR

PREPARED BY:

  
**ALLEN ENGINEERING  
& ASSOCIATES**  
Civil Engineers · Surveyors  
Land Development Consultants  
140 Hartford Avenue East  
Hopdale, Ma 01747  
(508) 381-3212 · www.allen-ea.com

SCALE: 1"=40 FEET

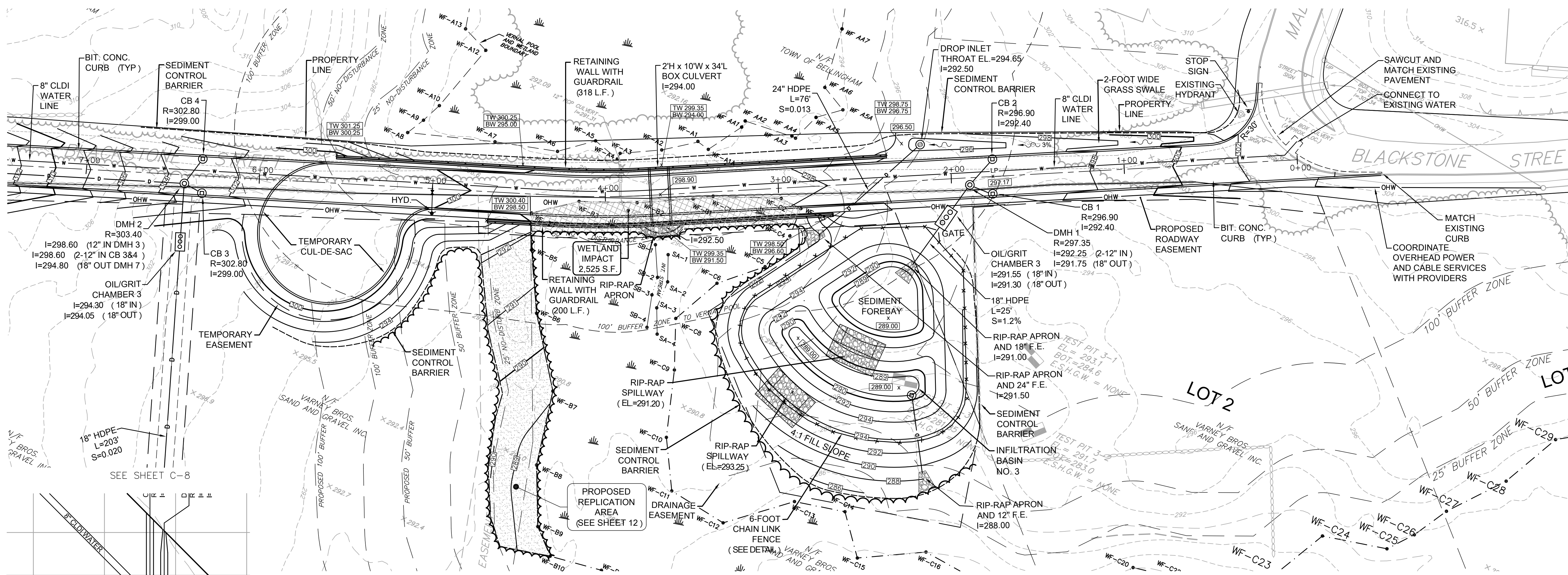


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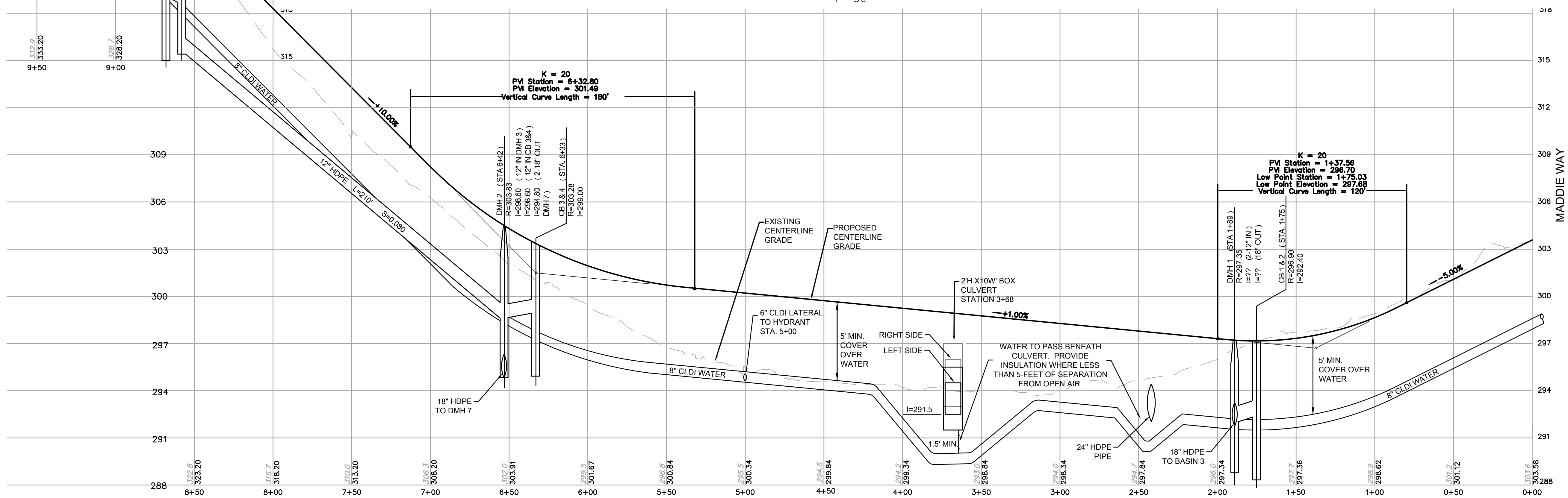
REVISIONS			
#	DATE	DESCRIPTION	INIT
1	6-20-25	ROADWAY AND DRAINAGE	MJD
2	10-31-25	PER PEER REVIEW	MJD
3	1-22-26	NO CHANGE THIS SHEET	MJD

JOB NO: 00454 SHEET: C-4



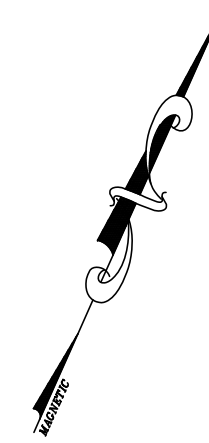


PLAN VIEW  
1" = 30'



PROFILE VIEW

1" = 30' (HORZ.) 1" = 3' (VERT.)



OWNERS:

Varney Bros Sand and Gravel, Inc.  
79 Hartford Street  
Bellingham, MA 02019

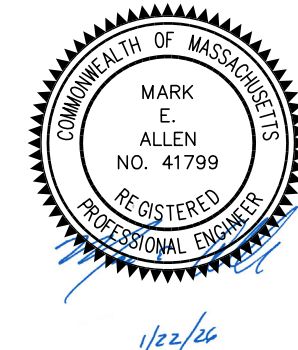
SAK II Realty Trust  
202 Elm Street  
Blackstone, MA 01504

APPLICANT:

Wall Street Development Corp.  
P.O. Box 272  
Westwood, MA 02090

TITLE:

PLAN AND PROFILE  
for  
Blackstone Street Improvements  
Bellingham, MA



PROFESSIONAL ENGINEER

PREPARED BY:



ALLEN ENGINEERING & ASSOCIATES

Civil Engineers · Surveyors  
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140 Hartford Avenue East  
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SCALE:

1" = 30' FEET

DATE:

February 14, 2025

REVISIONS

#	DATE	DESCRIPTION	INIT
1	6-20-25	ROADWAY AND DRAINAGE	MJD
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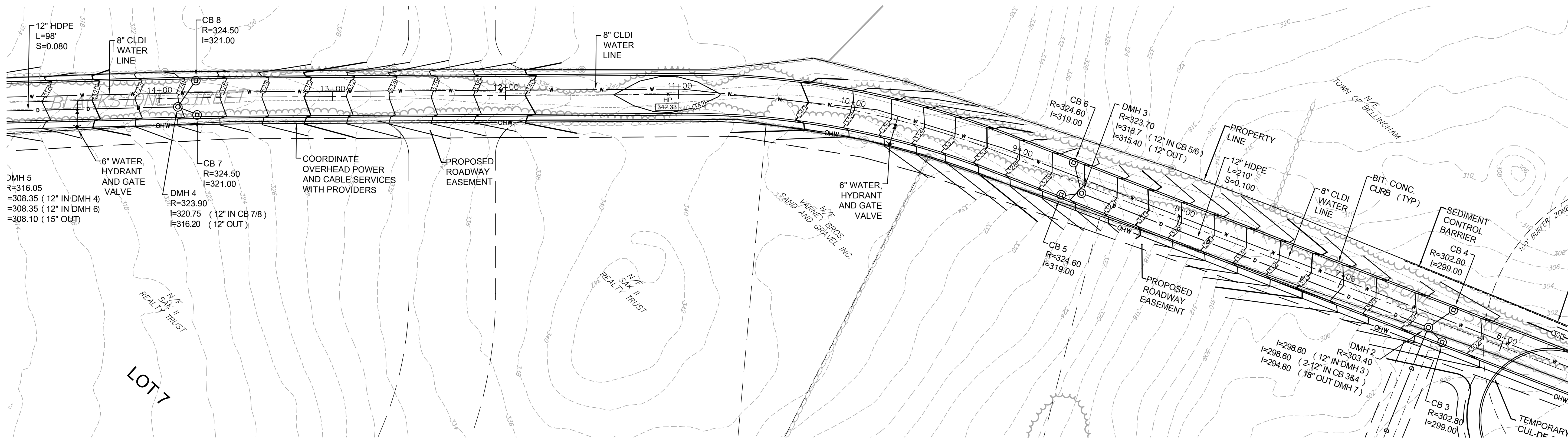
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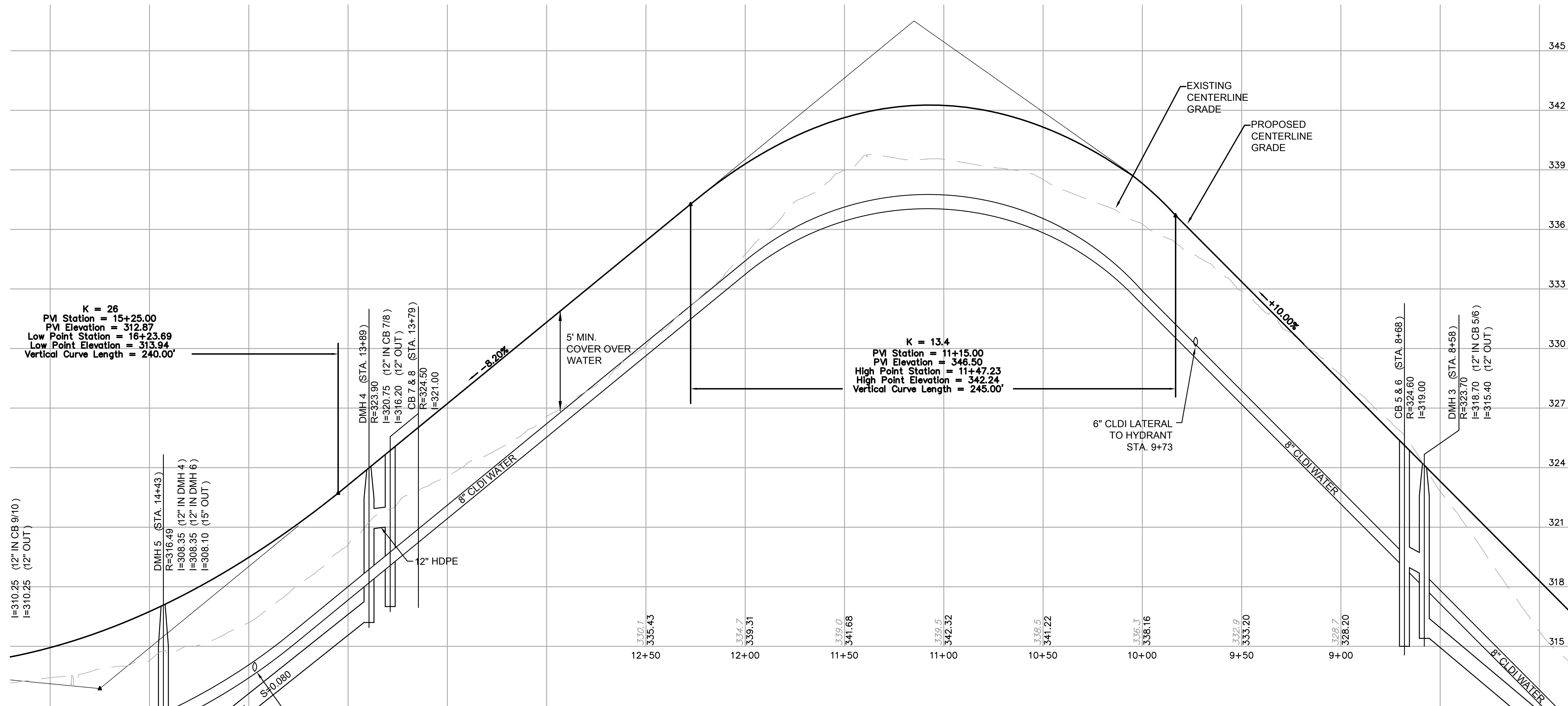
SHEET:

C-5

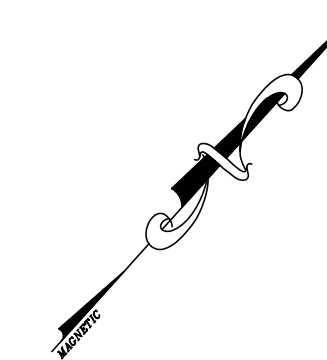




PLAN VIEW  
1" = 30'



PROFILE VIEW  
1" = 30' (HORZ.) 1" = 3' (VERT.)



OWNERS:

Varney Bros Sand and Gravel, Inc.  
79 Hartford Street  
Bellingham, MA 02019

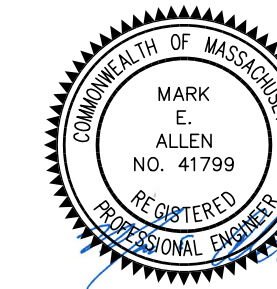
SAK II Realty Trust  
202 Elm Street  
Blackstone, MA 01504

APPLICANT:

Wall Street Development Corp.  
P.O. Box 272  
Westwood, MA 02090

TITLE:

PLAN AND PROFILE  
for  
Blackstone Street Improvements  
Bellingham, MA



PROFESSIONAL ENGINEER

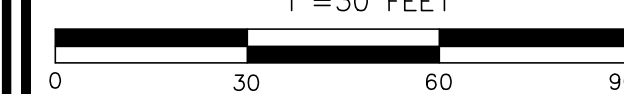
PREPARED BY:



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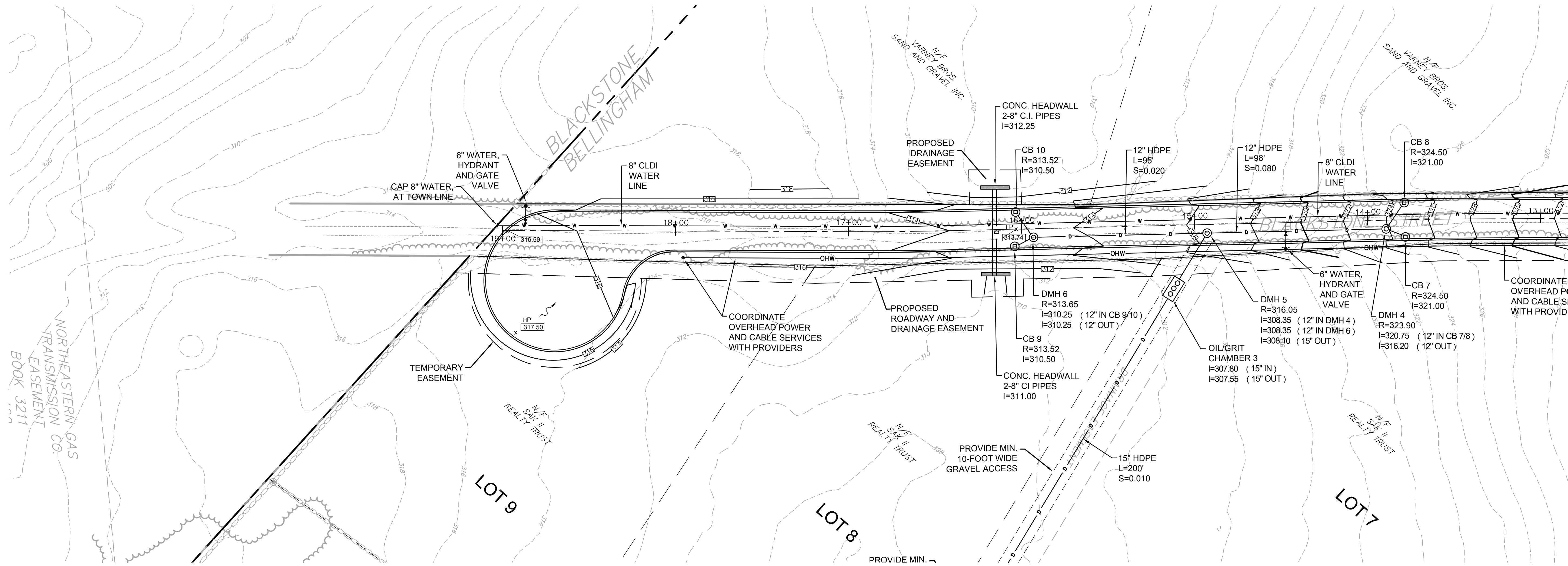
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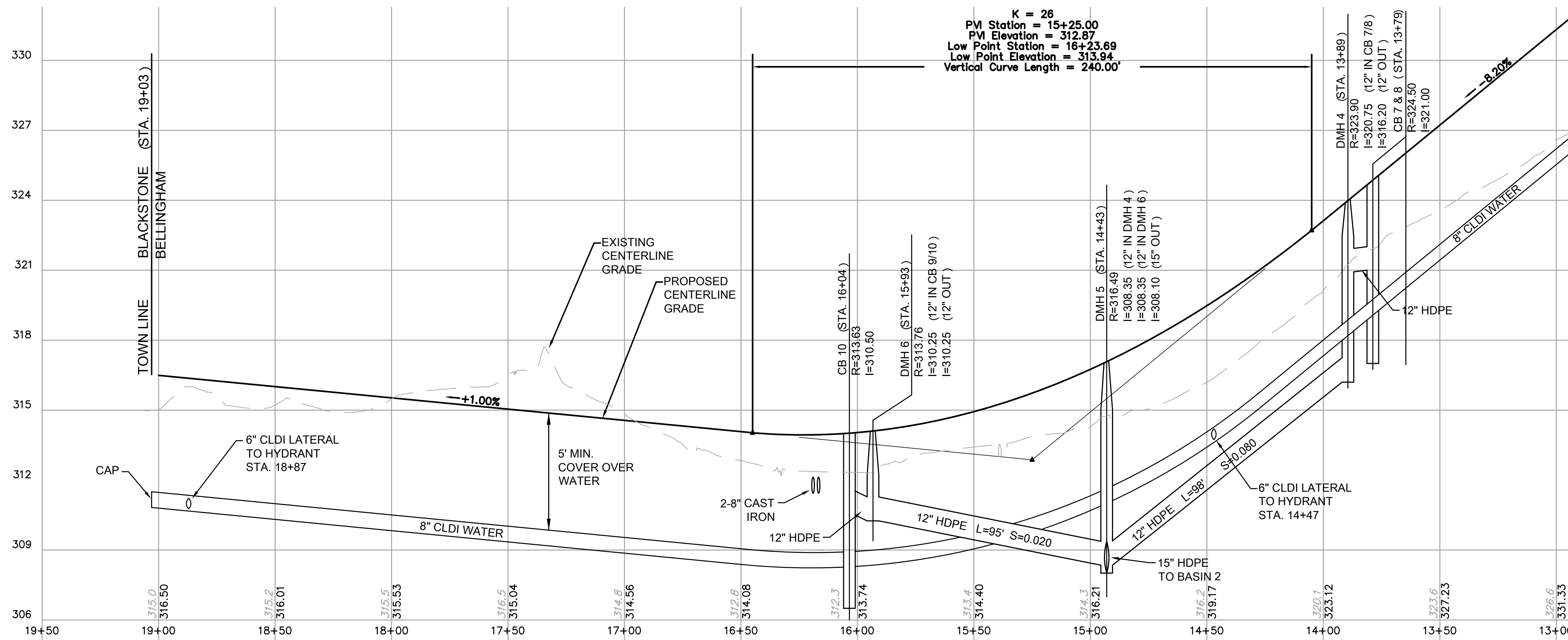
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REVISIONS			
#	DATE	DESCRIPTION	INIT
1	6-20-25	ROADWAY AND DRAINAGE	MJD
2	10-31-25	PER PEER REVIEW	MJD
3	1-22-26	PER PEER REVIEW	MJD
JOB NO: 00454		SHEET: C-6	



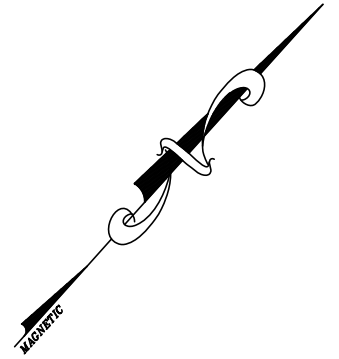


PLAN VIEW  
1" = 30'



PROFILE VIEW

1" = 30' (HORZ.) 1" = 3' (VERT.)



OWNERS:

Varney Bros Sand and Gravel, Inc.  
79 Hartford Street  
Bellingham, MA 02109

SAK II Realty Trust  
202 Elm Street  
Blackstone, MA 01504

APPLICANT:

Wall Street Development Corp.  
P.O. Box 272  
Westwood, MA 02090

TITLE:

PLAN AND PROFILE  
for  
Blackstone Street Improvements  
Bellingham, MA



PROFESSIONAL ENGINEER

PREPARED BY:



ALLEN ENGINEERING & ASSOCIATES

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Land Development Consultants  
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Hopedale, Ma 01747  
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SCALE:

1" = 30' FEET

DATE:

February 14, 2025

REVISIONS

#	DATE	DESCRIPTION	INIT
1	6-20-25	ROADWAY AND DRAINAGE	MJD
2	10-31-25	PER PEER REVIEW	MJD
3	1-22-26	PER PEER REVIEW	MJD

JOB NO:

00454

SHEET:

C-7



NOTE: SOIL EXAMINATIONS WERE PERFORMED BY LANCE ANDERSON, CERTIFIED SOIL EVALUATOR, (LICENSE #SE27), ALLEN ENGINEERING & ASSOCIATES, INC. ON 11-5-2024.

ELEV. (FT)	DEPTH (IN)
TOP=289.6	0"
Ap TOP SOIL	0-8"
Bw SUBSOIL	8-31"
C LOAMY SAND	31-120"
BOT= 279.7	

MOTTLES/ESHOW = NONE  
WEEPING = NONE  
STANDING WATER = NONE  
REFUSAL = NONE

#### SOIL LOG (TP-1)

ELEV. (FT)	DEPTH (IN)
TOP=283.8	0"
Ap TOP SOIL	0-8"
Bw SUBSOIL	8-24"
C LOAMY SAND	24-119"
BOT= 273.8	

MOTTLES/ESHOW = NONE  
WEEPING = NONE  
STANDING WATER = NONE  
REFUSAL = NONE

#### SOIL LOG (TP-2)

ELEV. (FT)	DEPTH (IN)
TOP=281.6	0"
Ap TOP SOIL	0-9"
Bw SUBSOIL	9-29"
C LOAMY SAND	29-121"
BOT= 271.5	

MOTTLES/ESHOW = 80"  
WEEPING = NONE  
STANDING WATER = NONE  
REFUSAL = NONE

#### SOIL LOG (TP-2A)

ELEV. (FT)	DEPTH (IN)
TOP=283.1	0"
Ap TOP SOIL	0-9"
Bw SUBSOIL	9-24"
C LOOSE GRAVEL	24-102"
BOT= 284.6	

MOTTLES/ESHOW = NONE  
WEEPING = NONE  
STANDING WATER = NONE  
REFUSAL = NONE

#### SOIL LOG (TP 3-1)

ELEV. (FT)	DEPTH (IN)
TOP=291.7	0"
Ap TOP SOIL	0-9"
Bw SUBSOIL	9-23"
C LOOSE GRAVEL	23-104"
BOT= 283.0	

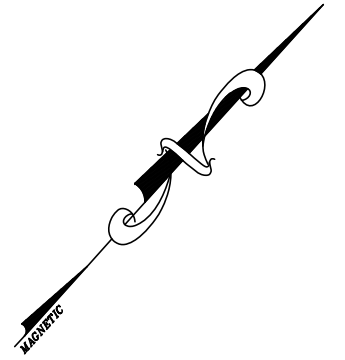
MOTTLES/ESHOW = NONE  
WEEPING = NONE  
STANDING WATER = NONE  
REFUSAL = NONE

#### SOIL LOG (TP 3-2)

ELEV. (FT)	DEPTH (IN)
TOP=290.1	0"
Ap TOP SOIL	0-8"
Bw SUBSOIL	8-21"
C LOOSE GRAVEL	21-99"
BOT= 281.8	

MOTTLES/ESHOW = NONE  
WEEPING = NONE  
STANDING WATER = NONE  
REFUSAL = NONE

#### SOIL LOG (TP 3-3)



OWNERS:

Varney Bros Sand and Gravel, Inc.  
79 Hartford Street  
Bellingham, MA 02019

SAK II Realty Trust  
202 Elm Street  
Blackstone, MA 01504

APPLICANT:

Wall Street Development Corp.  
P.O. Box 272  
Westwood, MA 02090

TITLE:

STORMWATER BASIN  
NUMBER 1 & 3  
for  
Blackstone Street Improvements  
Bellingham, MA



PROFESSIONAL ENGINEER

PREPARED BY:



**ALLEN ENGINEERING & ASSOCIATES**

Civil Engineers • Surveyors  
Land Development Consultants  
140 Hartford Avenue East  
Hopedale, Ma 01747  
(508) 381-3212 • www.allen-ea.com

SCALE: 1"=30' FEET  
0 30 60 90

DATE: February 14, 2025

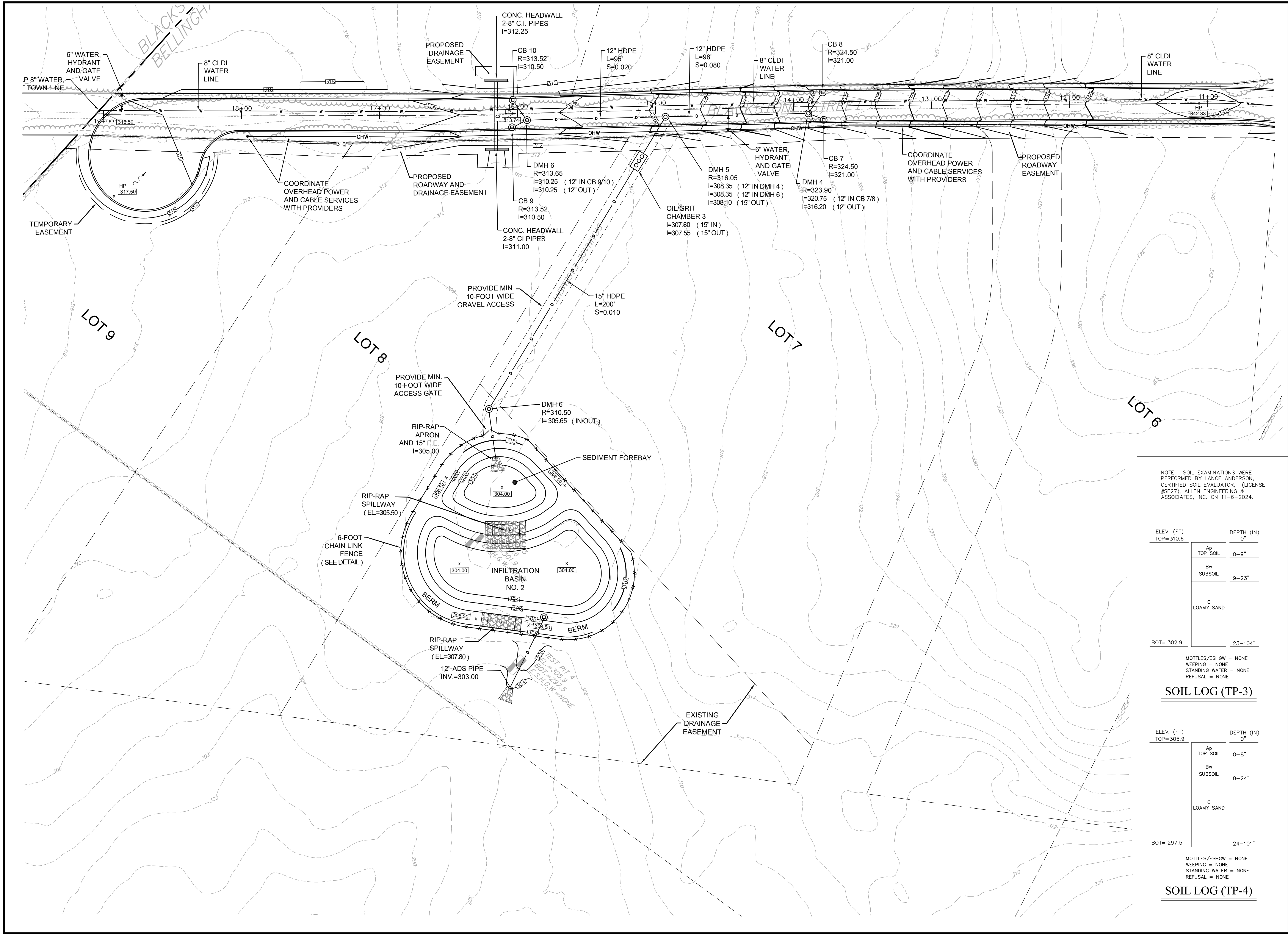
REVISIONS

#	DATE	DESCRIPTION	INIT
1	6-20-25	ROADWAY AND DRAINAGE	MJD
2	10-31-25	PER PEER REVIEW	MJD
3	1-22-26	PER PEER REVIEW	MJD

JOB NO:  
00454

SHEET:  
C-8





NOTE: SOIL EXAMINATIONS WERE PERFORMED BY LANCE ANDERSON, CERTIFIED SOIL EVALUATOR, (LICENSE #5E27), ALLEN ENGINEERING & ASSOCIATES, INC. ON 11-6-2024.

ELEV. (FT)	DEPTH (IN)
TOP=310.6	0"
Ap TOP SOIL	0-9"
Bw SUBSOIL	9-23"
C LOAMY SAND	23-104"
BOT= 302.9	

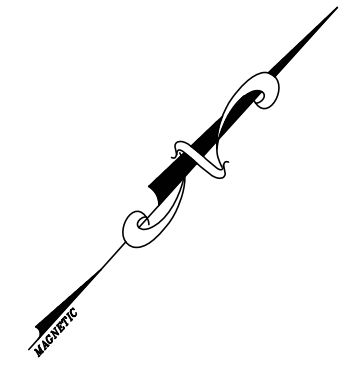
MOTTLES/ESHW = NONE  
WEEPING = NONE  
STANDING WATER = NONE  
REFUSAL = NONE

SOIL LOG (TP-3)

ELEV. (FT)	DEPTH (IN)
TOP=305.9	0"
Ap TOP SOIL	0-8"
Bw SUBSOIL	8-24"
C LOAMY SAND	24-101"
BOT= 297.5	

MOTTLES/ESHW = NONE  
WEEPING = NONE  
STANDING WATER = NONE  
REFUSAL = NONE

SOIL LOG (TP-4)



OWNERS:  
**Varney Bros Sand and Gravel, Inc.**  
79 Hartford Street  
Bellingham, MA 02019  
**SAK II Realty Trust**  
202 Elm Street  
Blackstone, MA 01504

APPLICANT:  
**Wall Street Development Corp.**  
P.O. Box 272  
Westwood, MA 02090

TITLE:  
**STORMWATER BASIN NUMBER 2**  
for  
**Blackstone Street Improvements**  
**Bellingham, MA**



PROFESSIONAL ENGINEER

PREPARED BY:



**ALLEN ENGINEERING & ASSOCIATES**

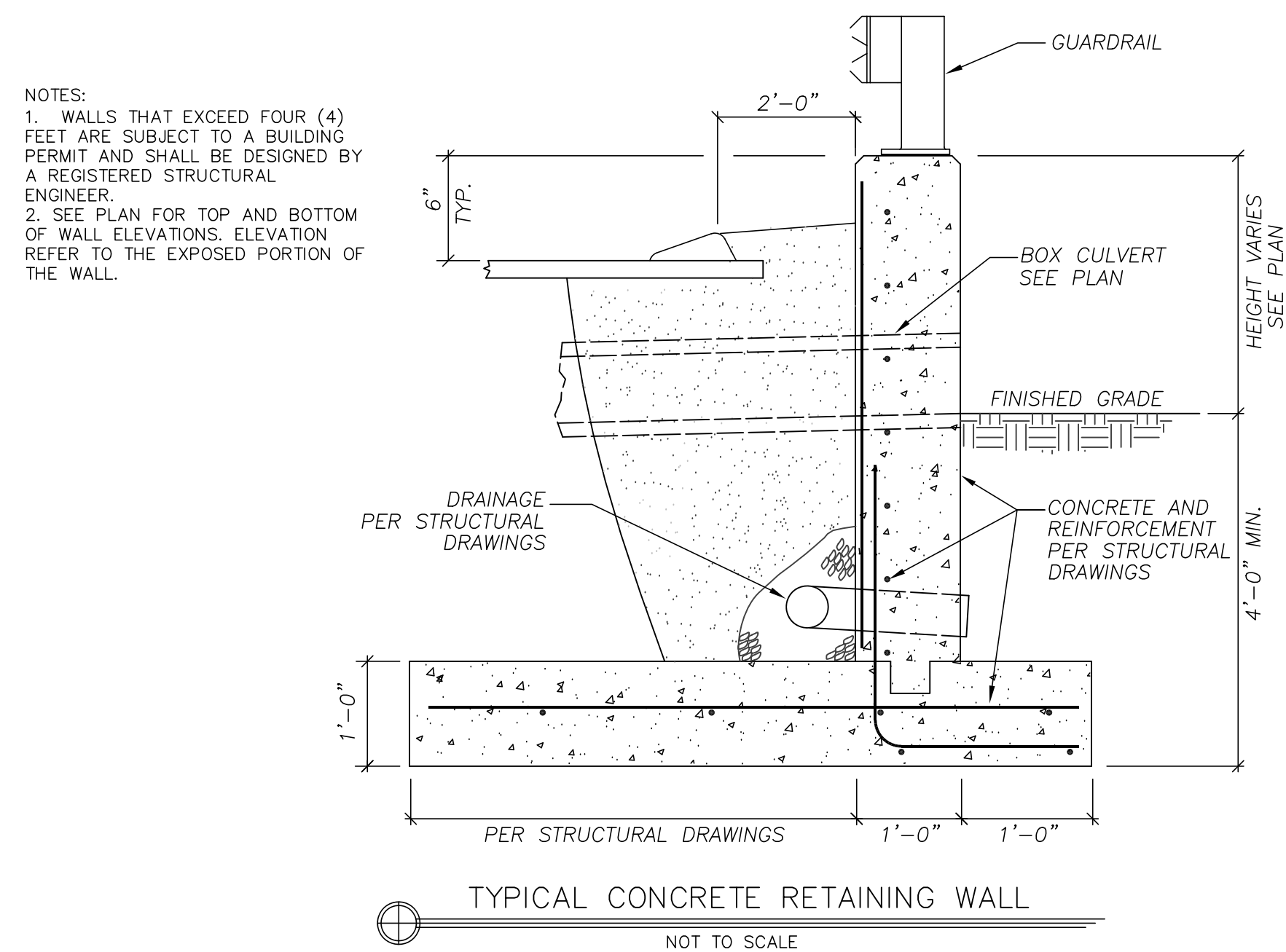
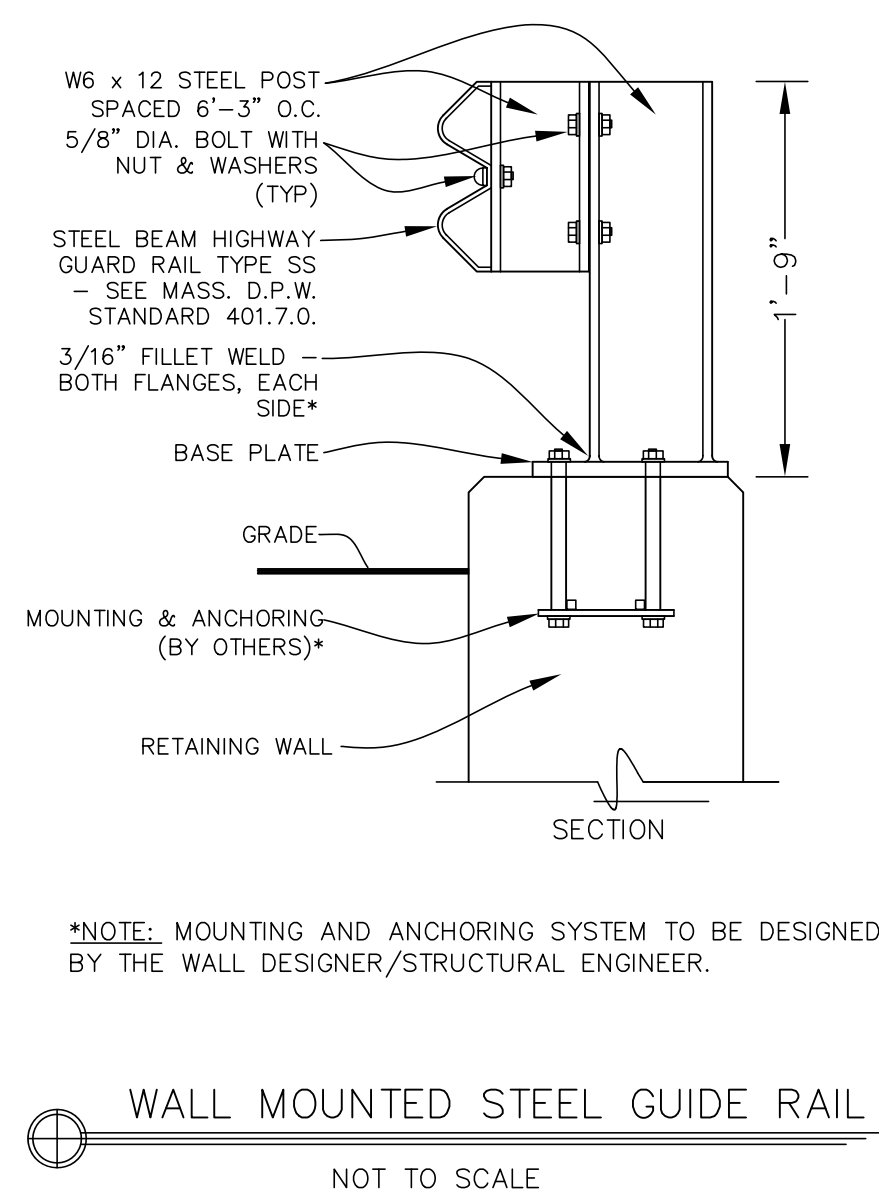
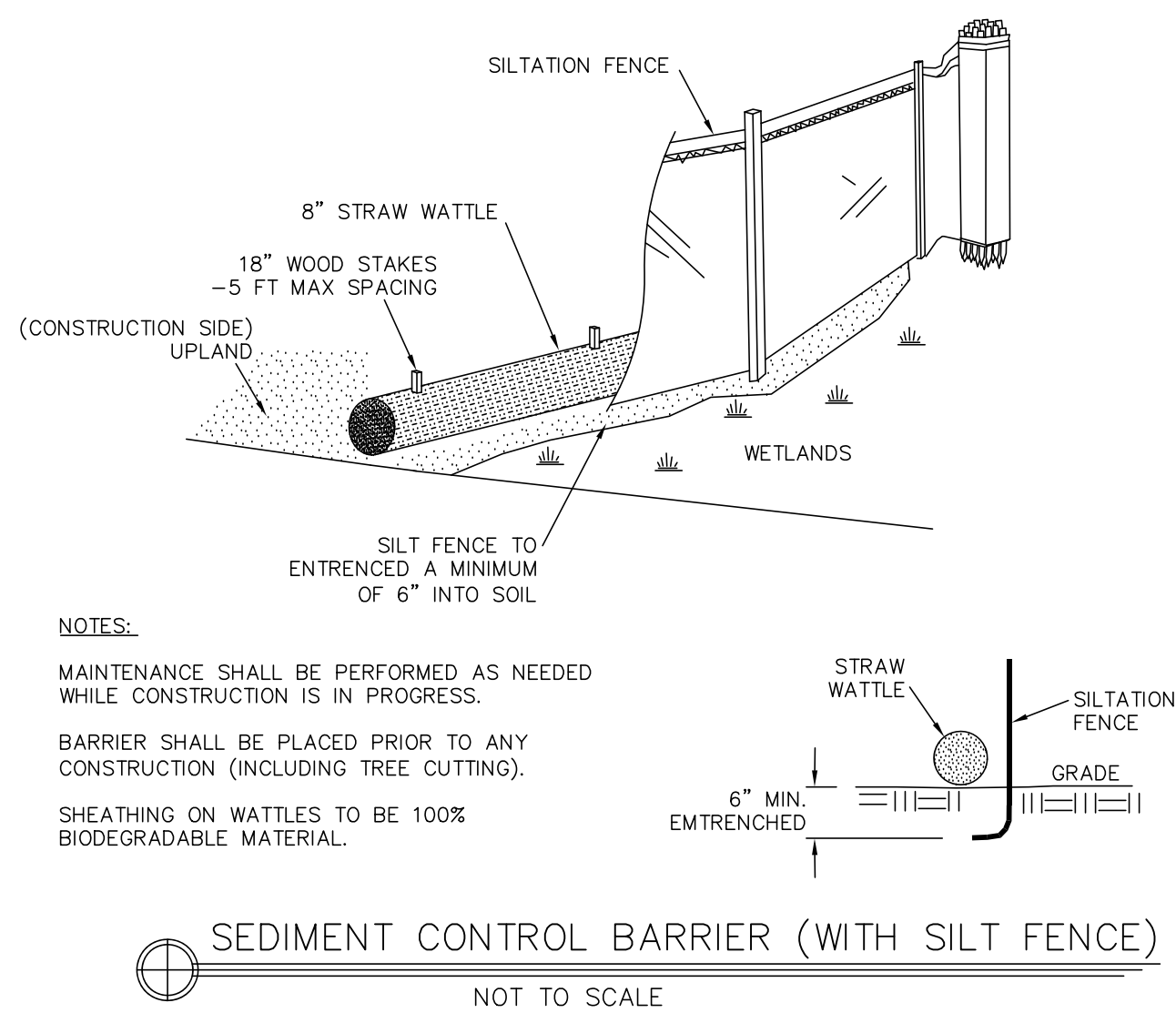
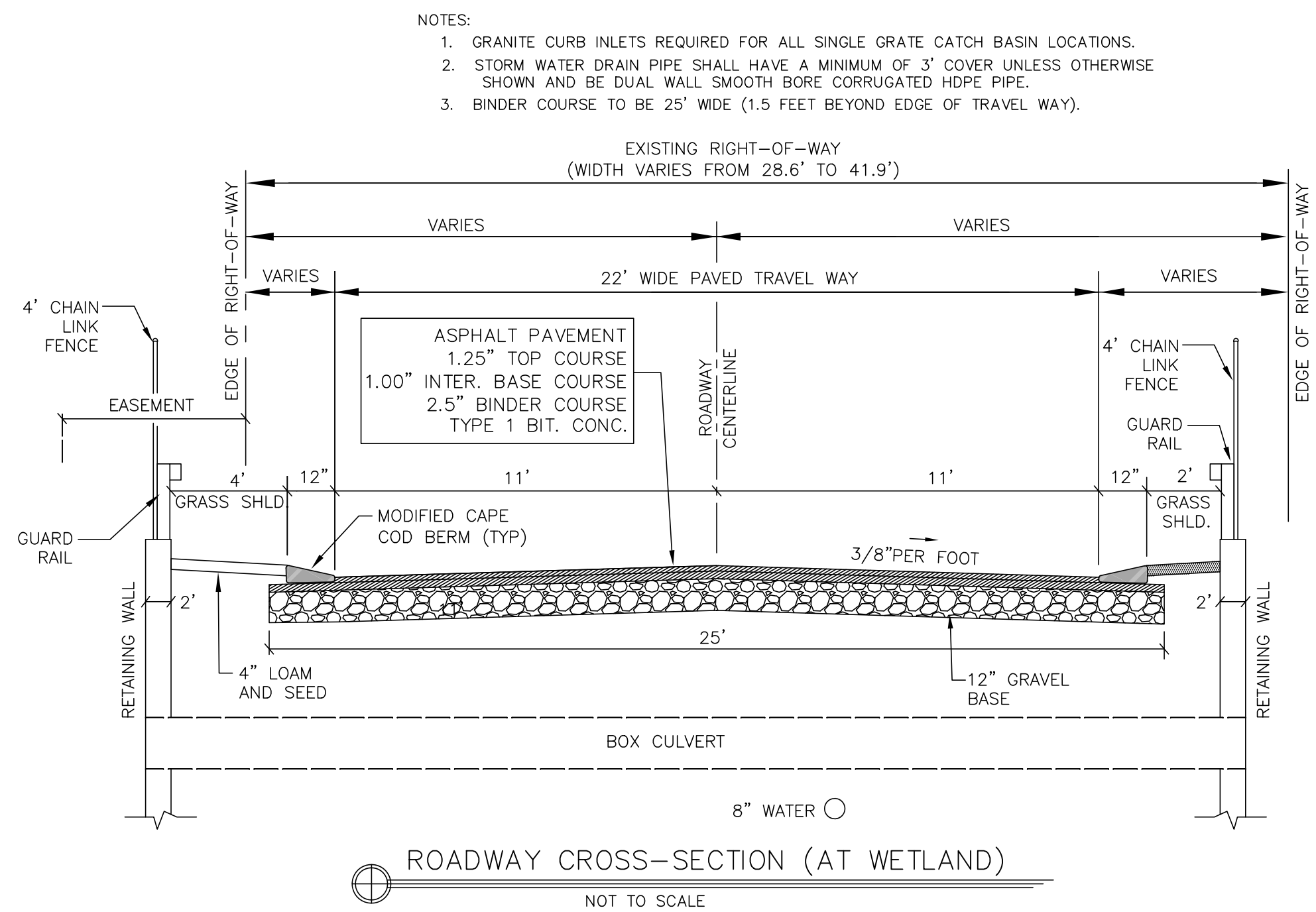
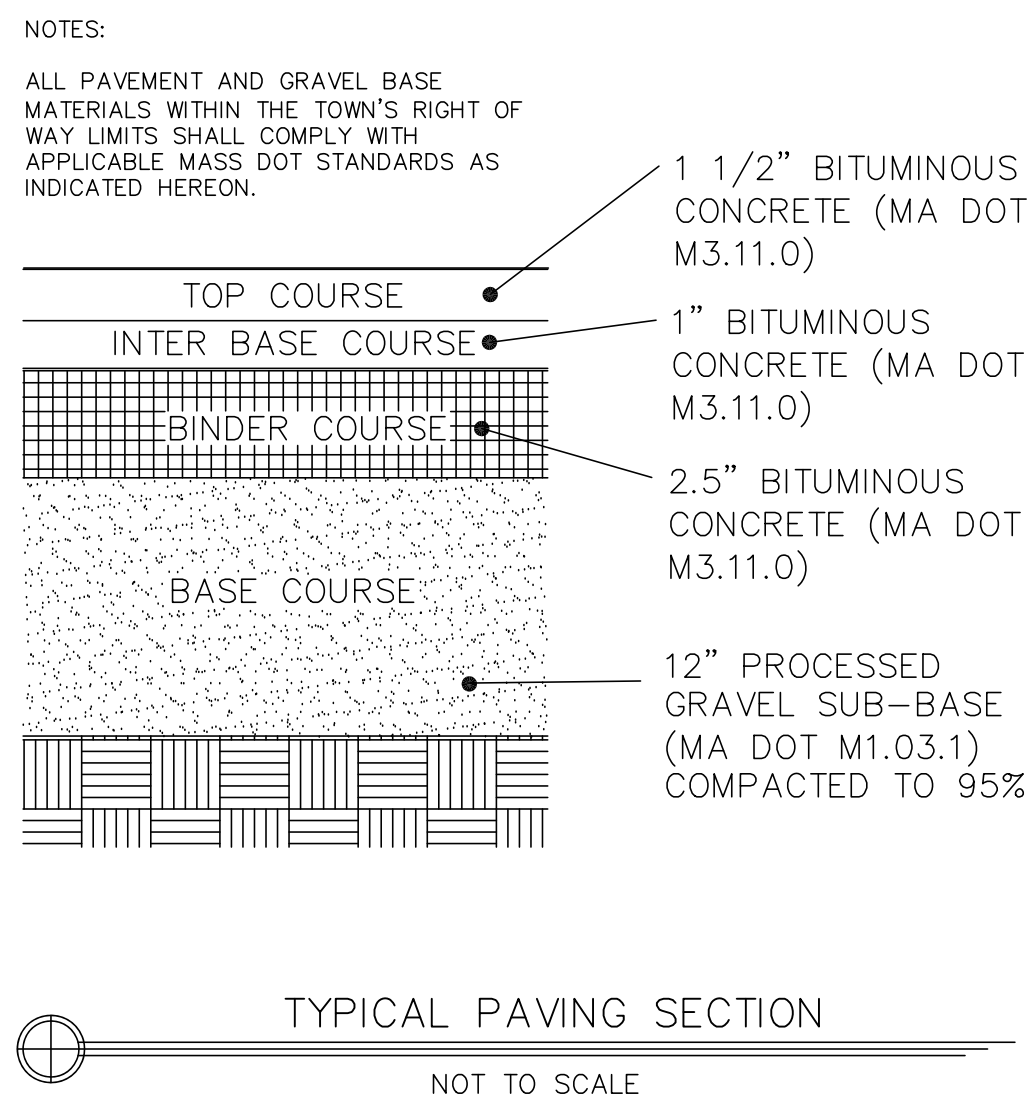
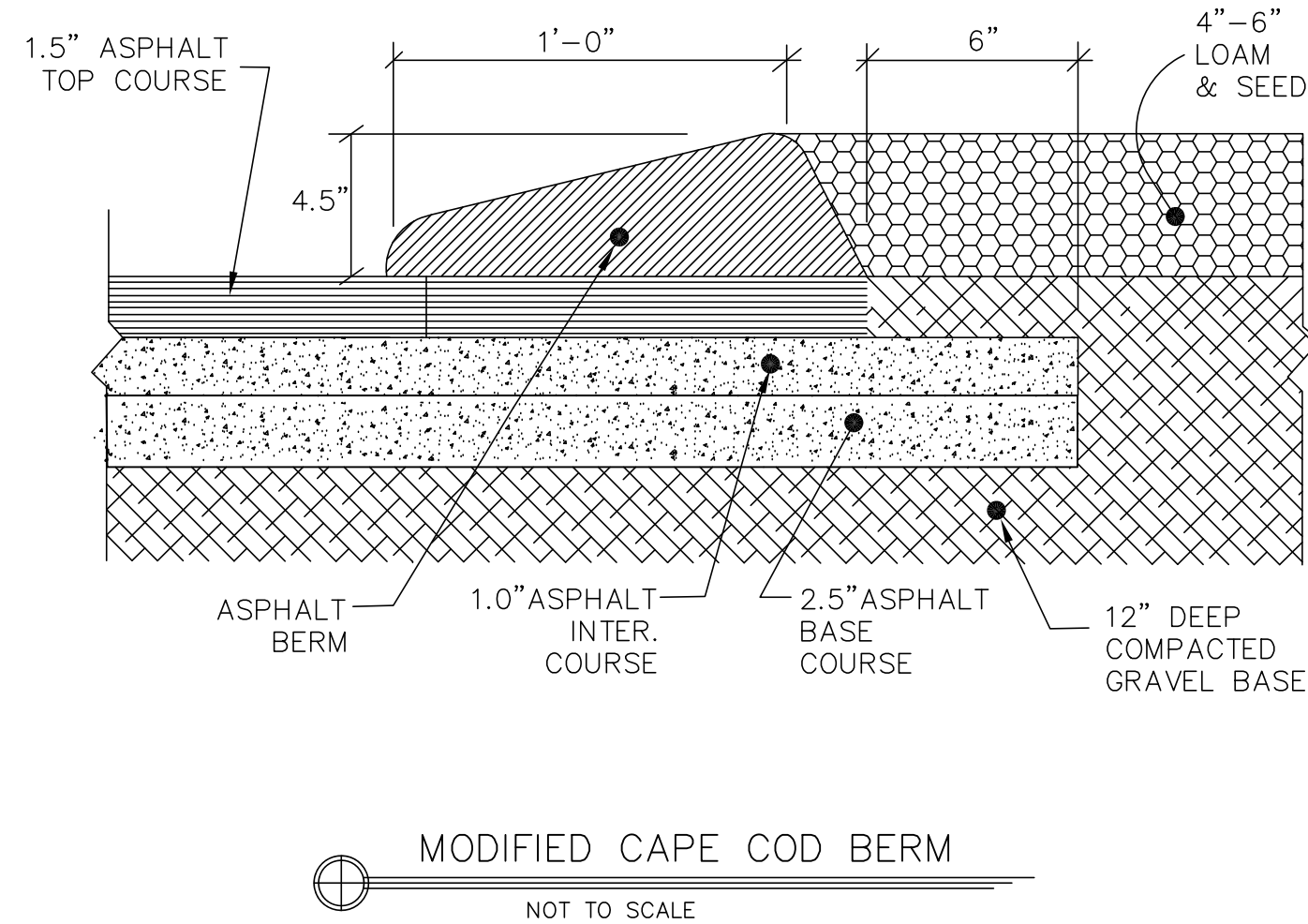
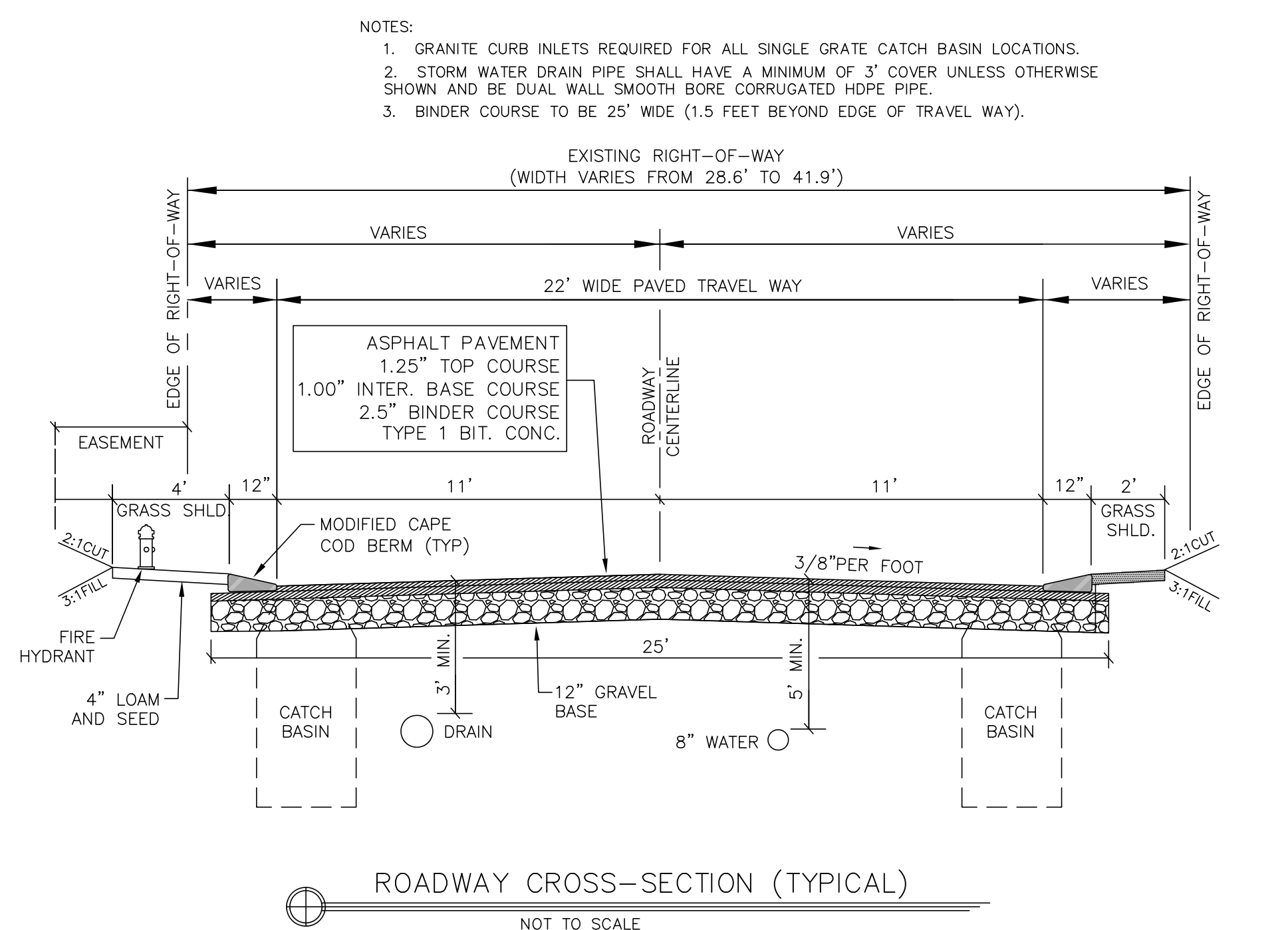
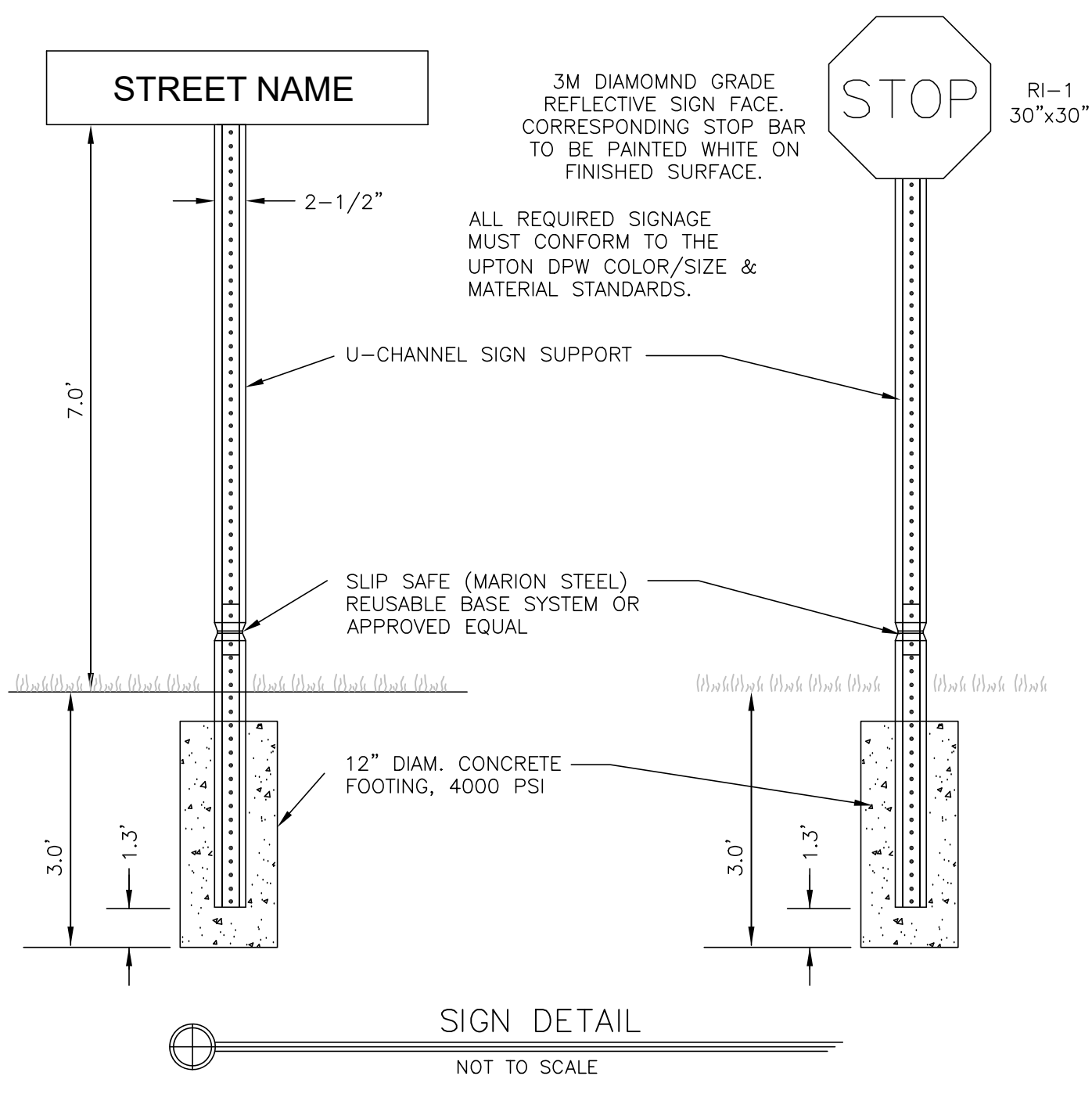
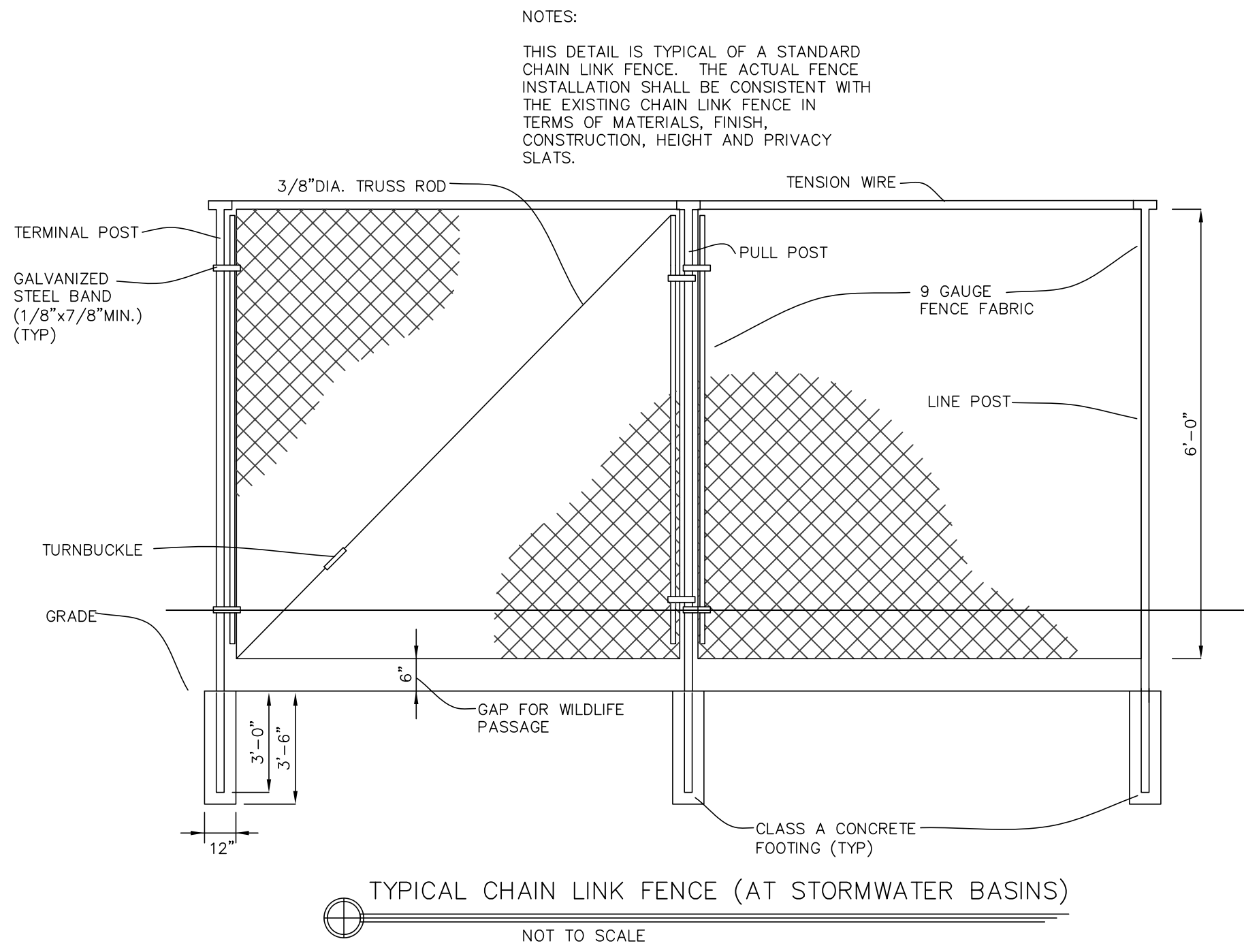
Civil Engineers · Surveyors  
Land Development Consultants  
140 Hartford Avenue East  
Hopedale, Ma 01747  
(508) 381-3212 · www.allen-ea.com

SCALE: 1" = 30 FEET  
0 30 60 90

DATE: **February 14, 2025**

REVISIONS			
#	DATE	DESCRIPTION	INIT
1	6-20-25	ROADWAY AND DRAINAGE	MJD
2	10-31-25	PER PEER REVIEW	MJD
3	1-22-26	PER PEER REVIEW	MJD
JOB NO:	00454		
SHEET:	<b>C-9</b>		





OWNERS:

Varney Bros Sand and Gravel, Inc.  
79 Hartford Street  
Bellingham, MA 02019

SAK II Realty Trust  
202 Elm Street  
Blackstone, MA 01504

APPLICANT:

Wall Street Development Corp.  
P.O. Box 272  
Westwood, MA 02090

TITLE:

CONSTRUCTION DETAILS  
for  
Blackstone Street Improvements  
Bellingham, MA



1/21/26

PROFESSIONAL ENGINEER

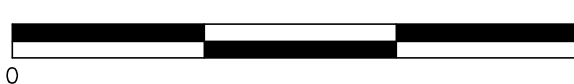
PREPARED BY:



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SCALE:



DATE:

February 14, 2025

REVISIONS

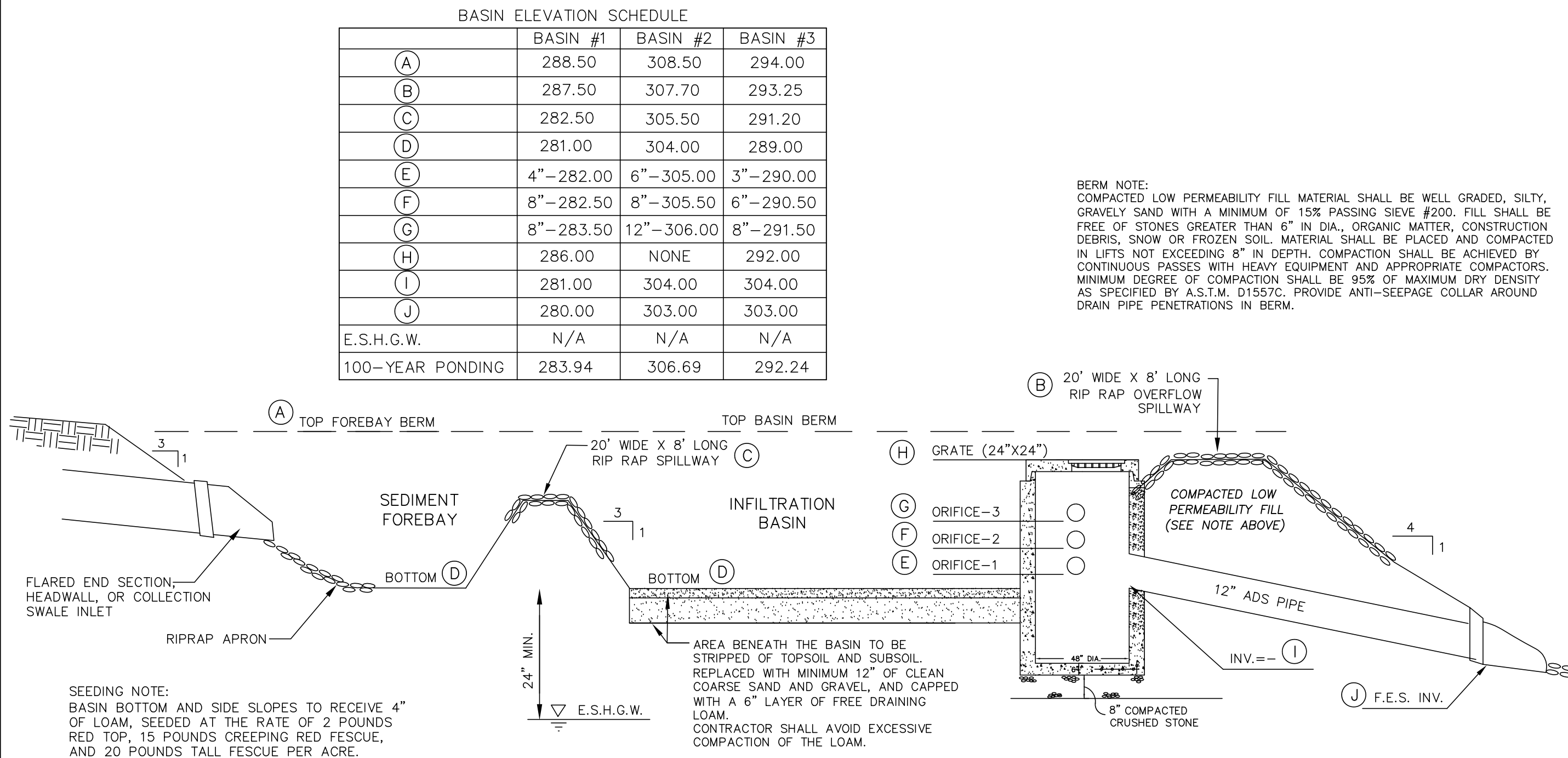
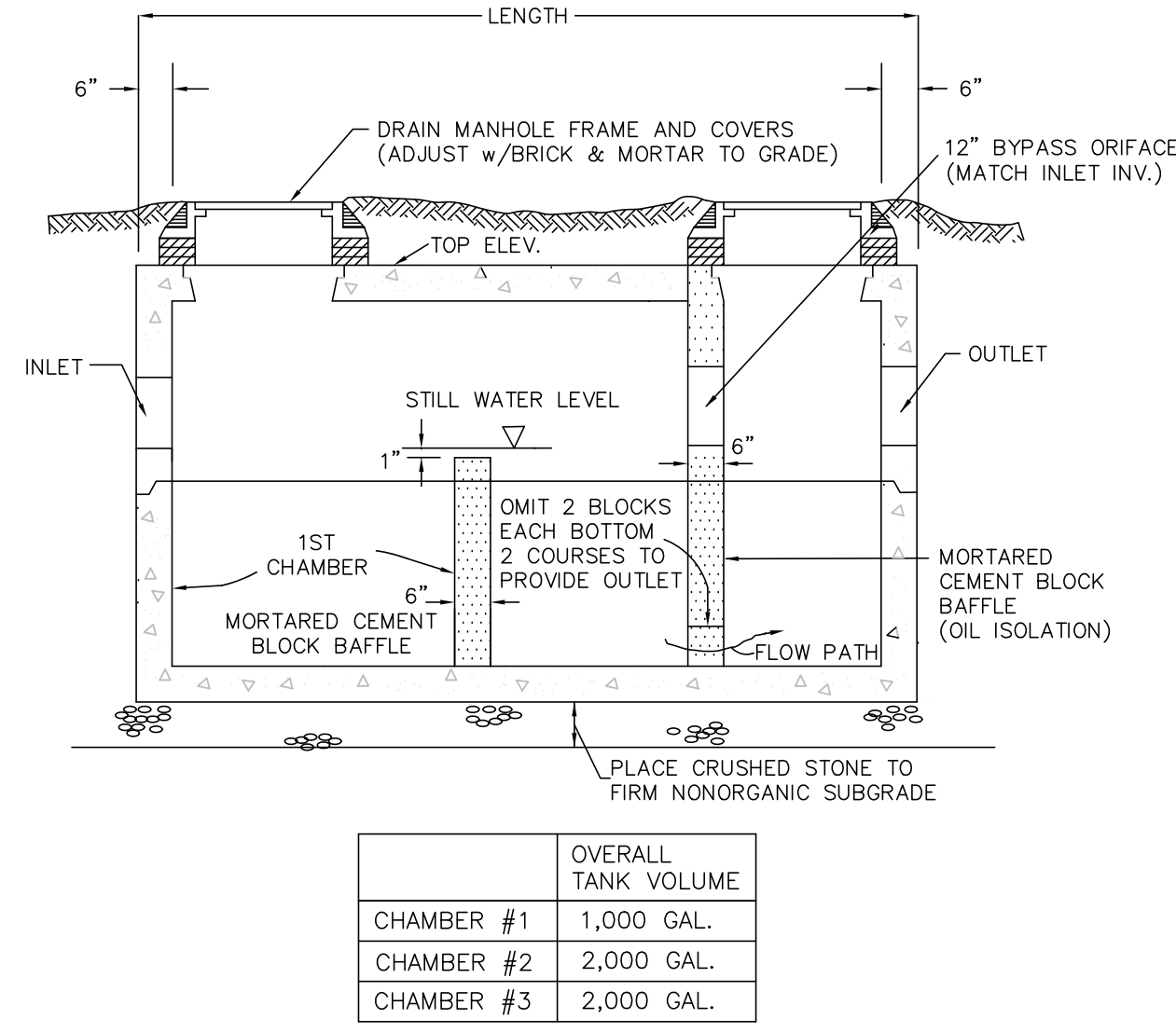
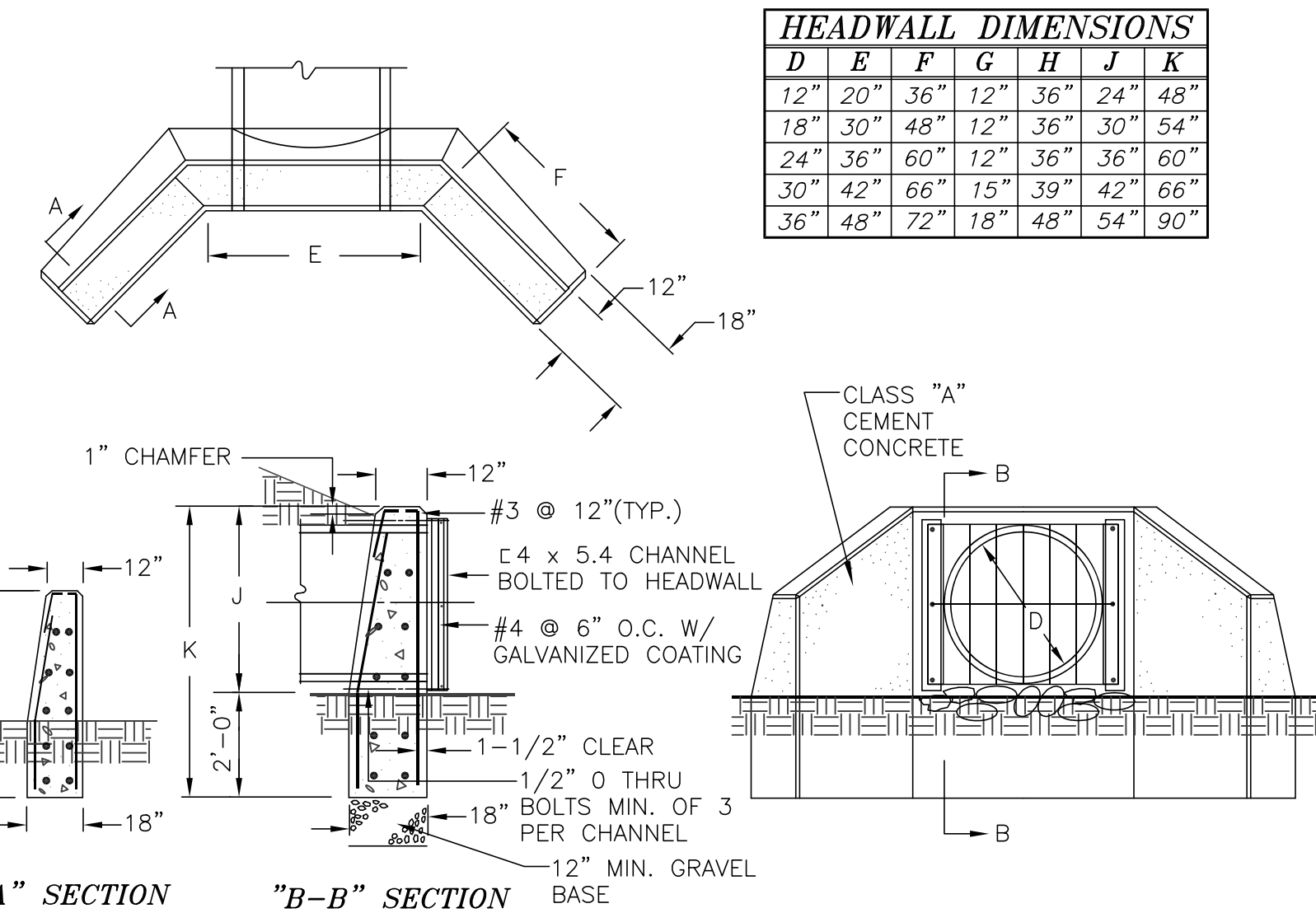
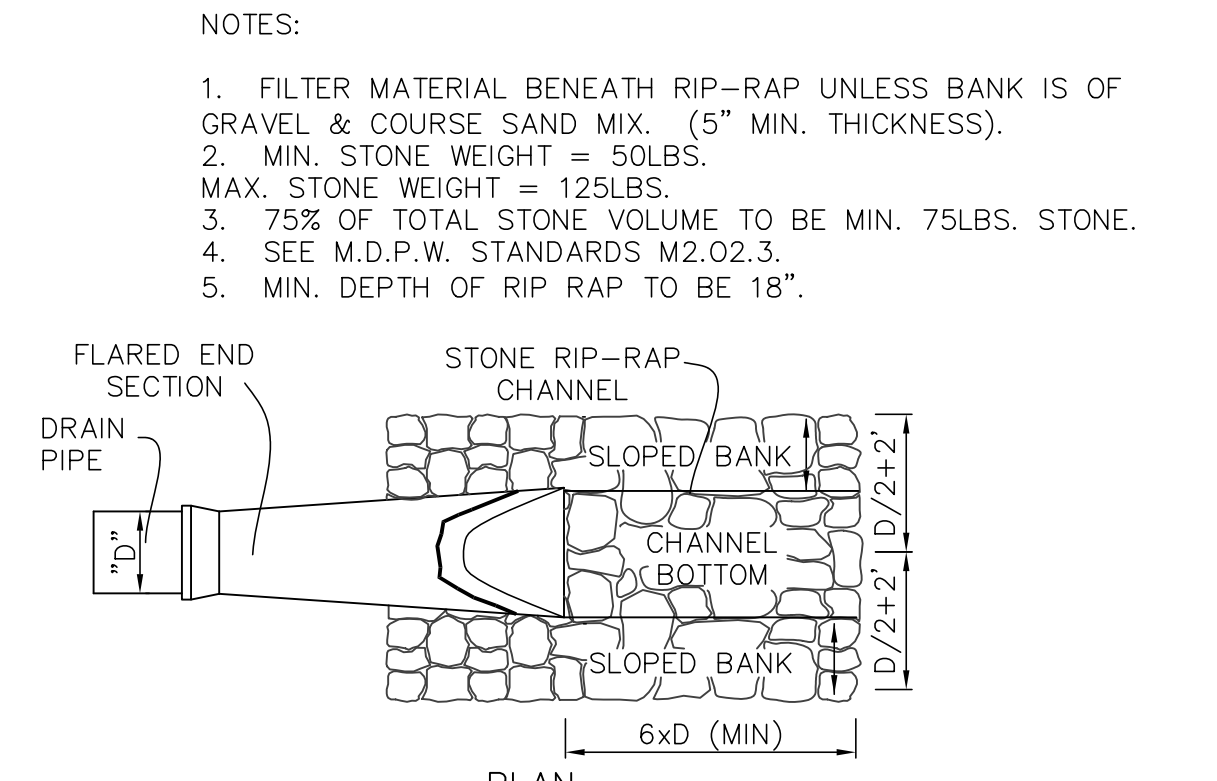
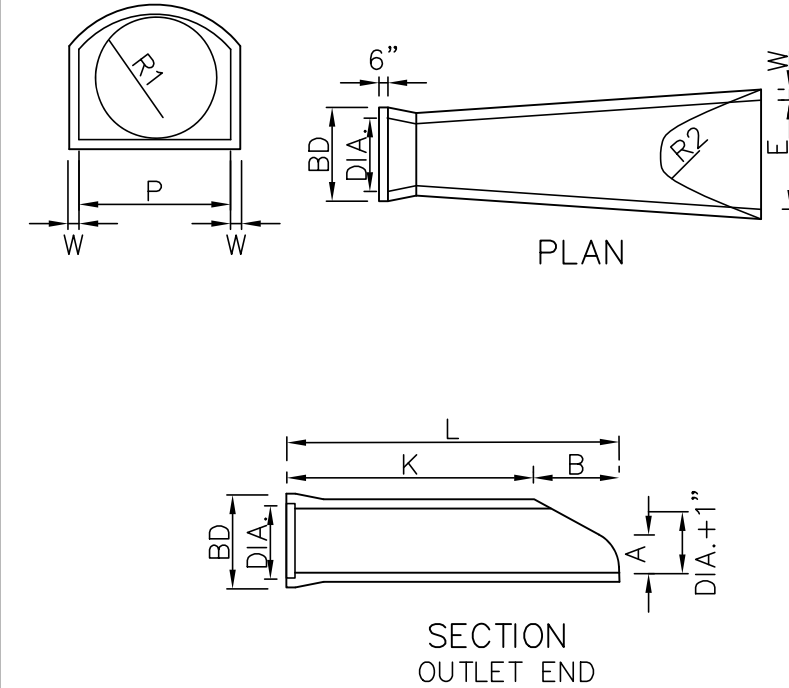
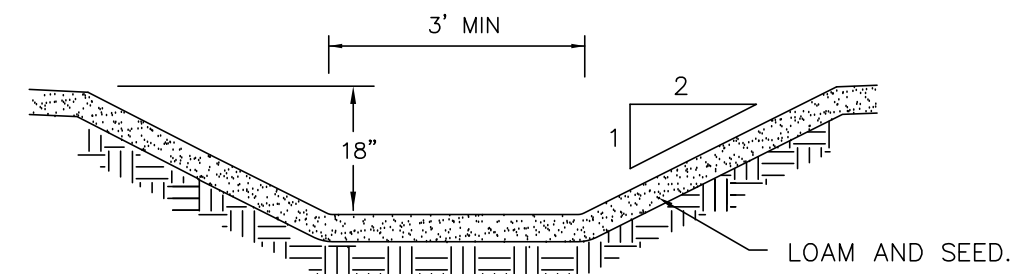
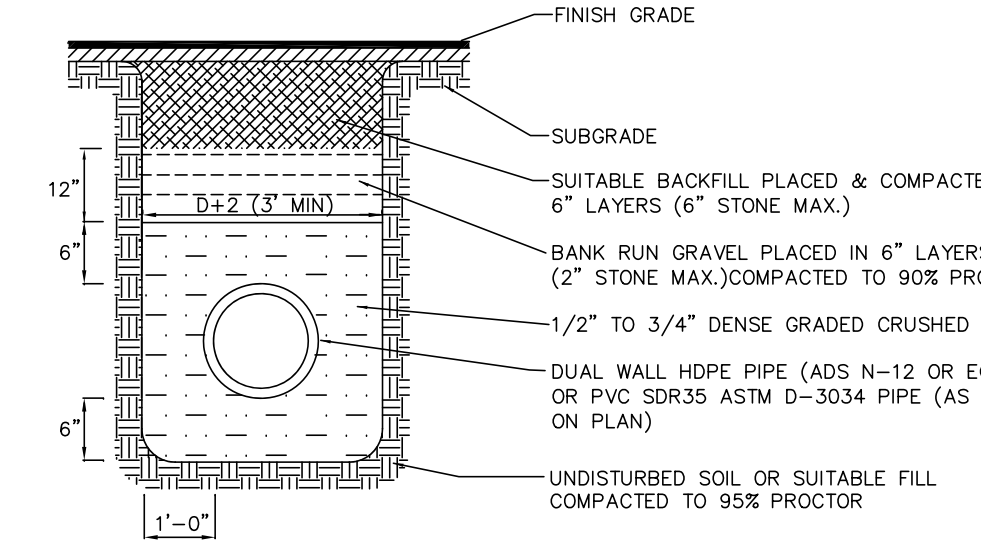
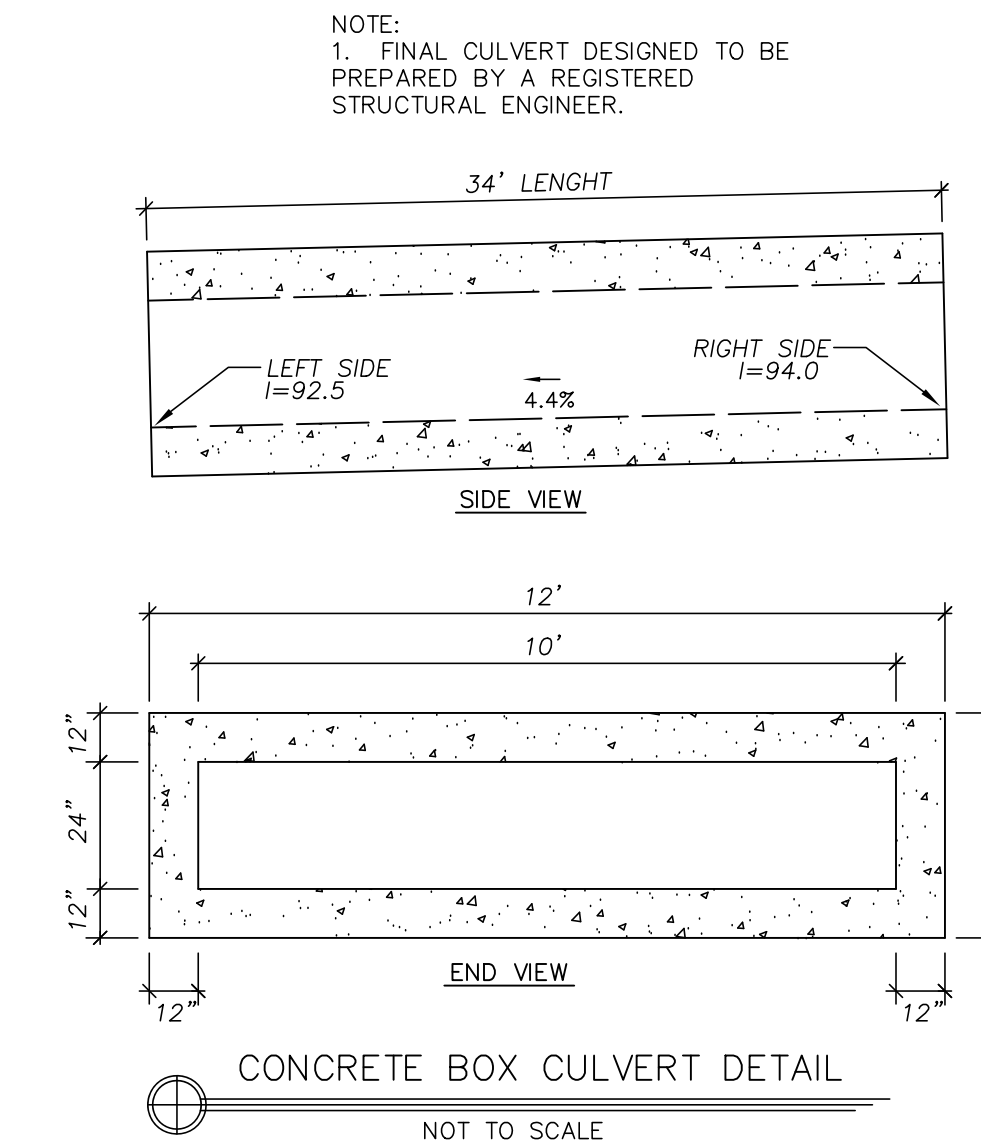
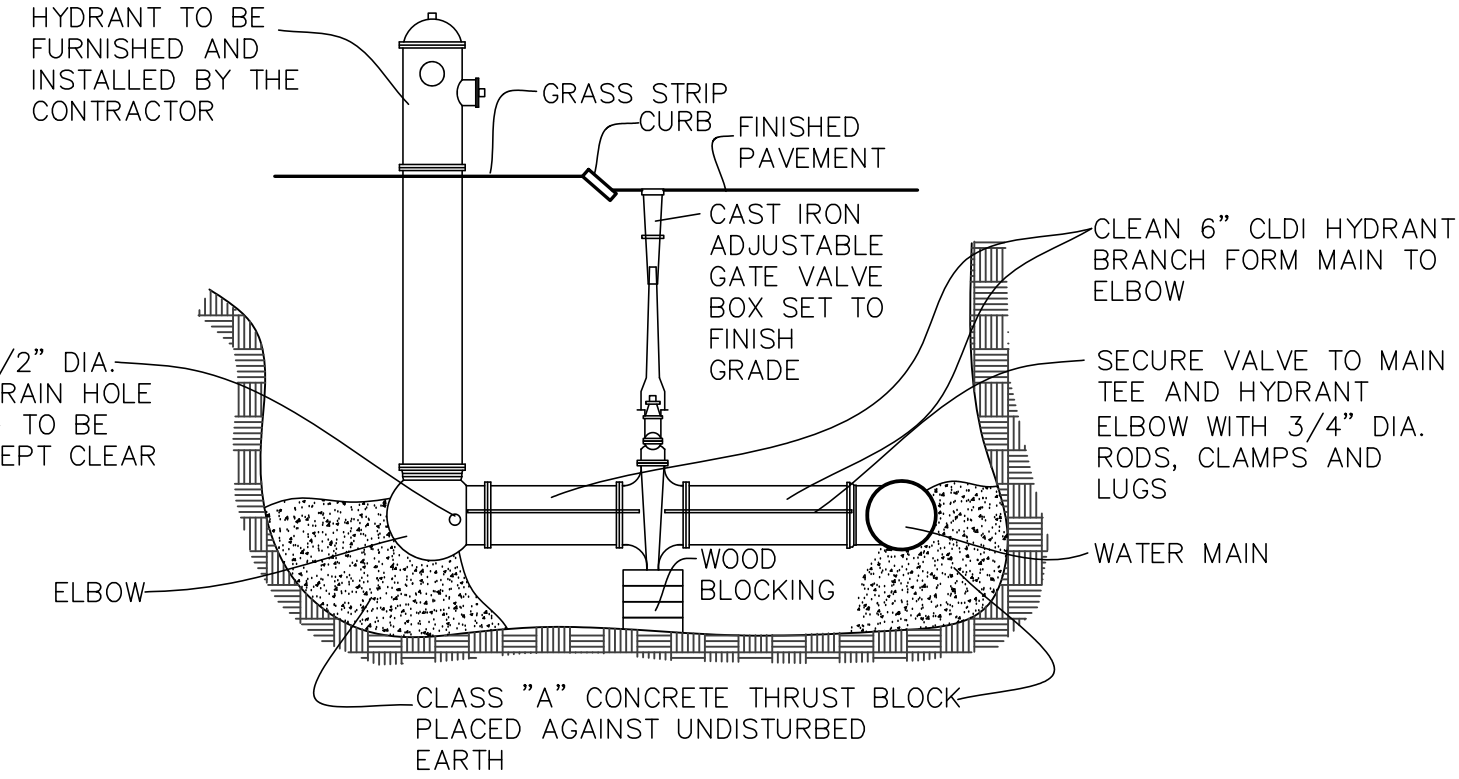
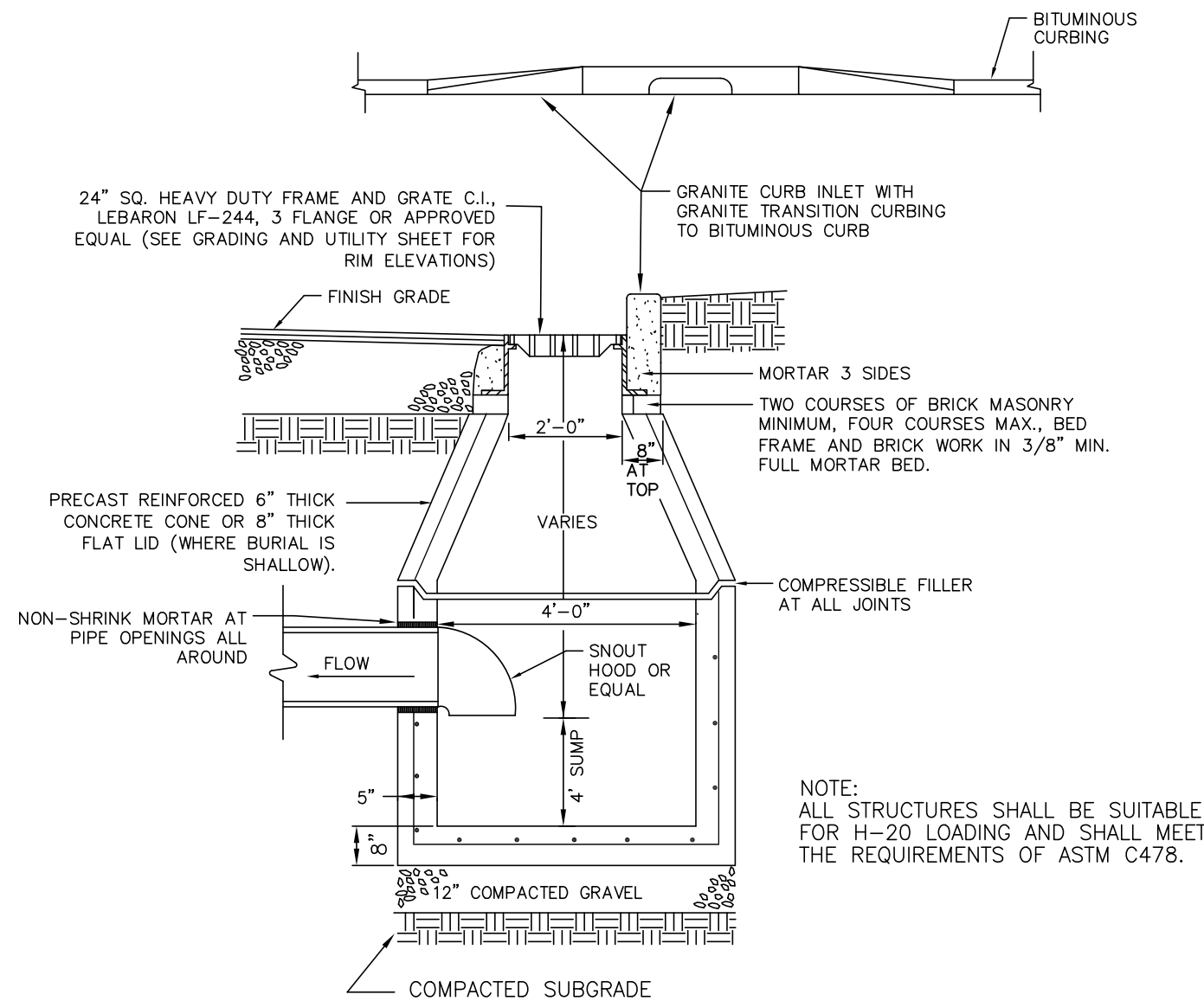
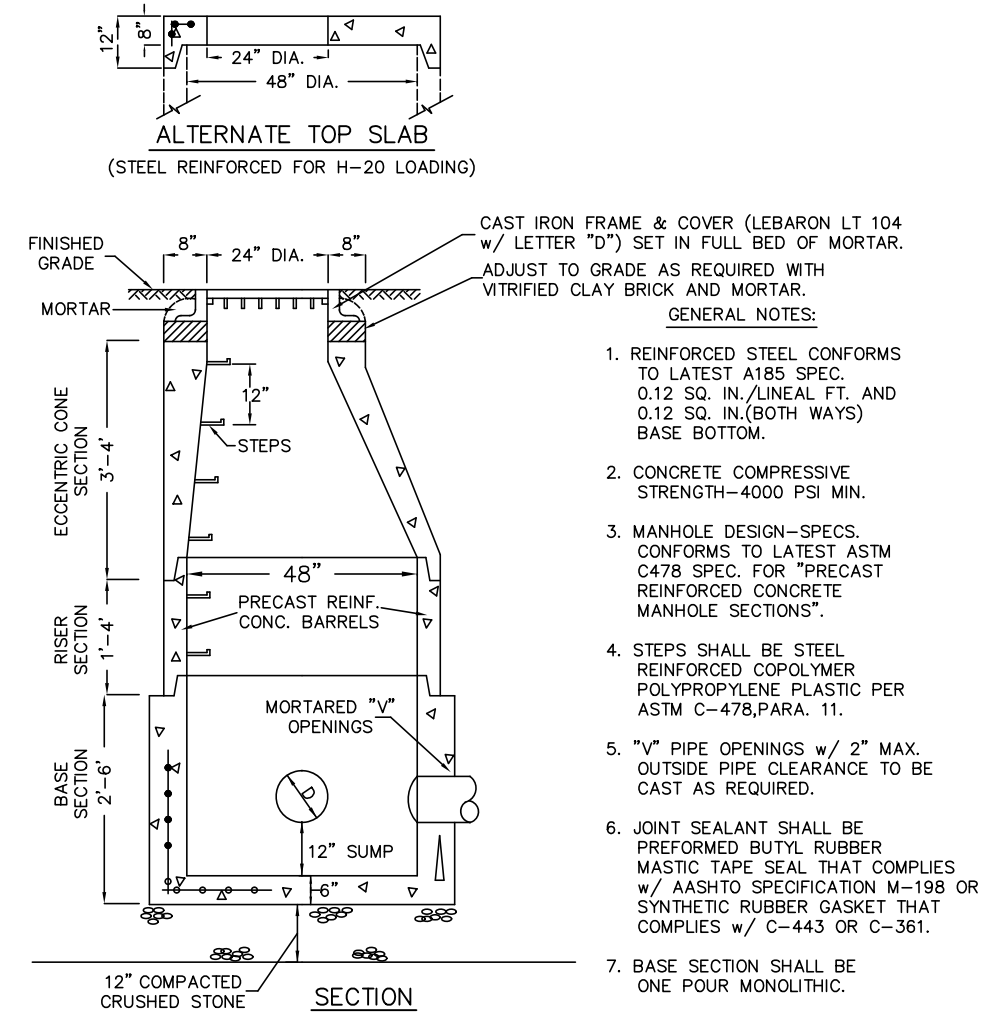
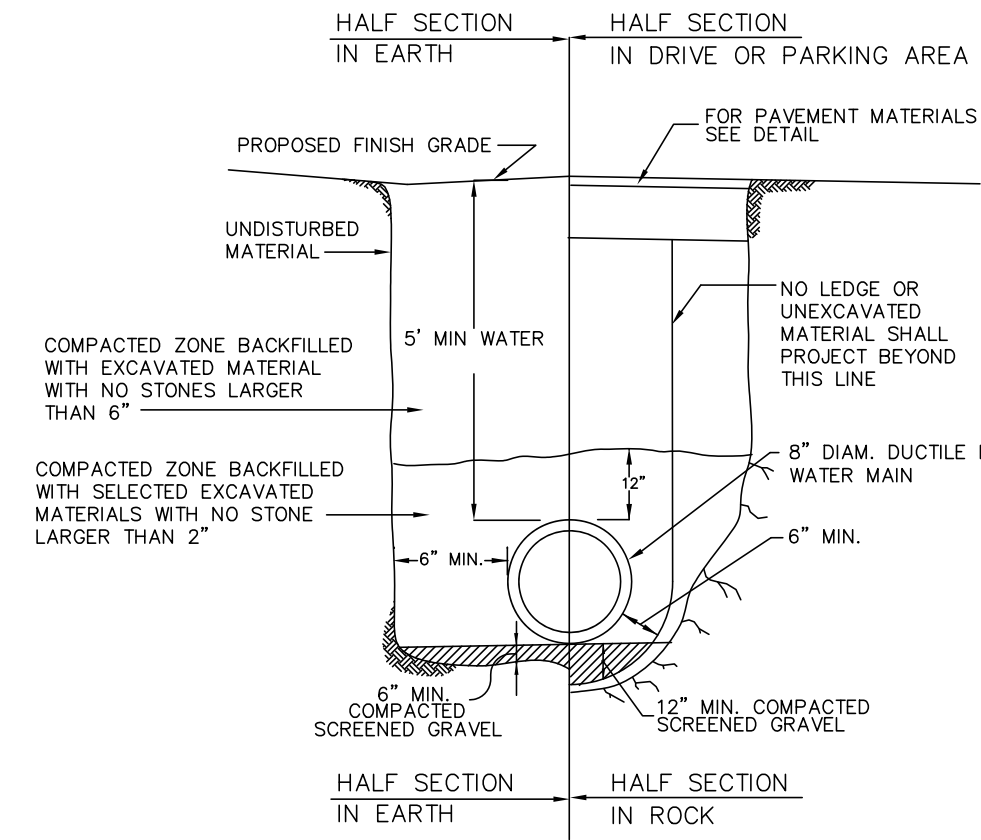
#	DATE	DESCRIPTION	INIT
1	6-20-25	ROADWAY AND DRAINAGE	MJD
2	10-31-25	PER PEER REVIEW	MJD
3	1-22-26	PER PEER REVIEW	MJD

JOB NO:  
00454

SHEET:

C-10





OWNERS:

**Varney Bros Sand and Gravel, Inc.**  
79 Hartford Street  
Bellingham, MA 02019

**SAK II Realty Trust**  
202 Elm Street  
Blackstone, MA 01504

APPLICANT:

**Wall Street Development Corp.**  
P.O. Box 272  
Westwood, MA 02090

TITLE:

**CONSTRUCTION DETAILS**  
for  
**Blackstone Street Improvements**  
Bellingham, MA



PROFESSIONAL ENGINEER

PREPARED BY:

**ALLEN ENGINEERING & ASSOCIATES**  
Civil Engineers - Surveyors  
Land Development Consultants  
140 Hartford Avenue East  
Hopedale, Ma 01747  
(508) 381-3212 · www.allen-ea.com

SCALE:

DATE: **February 14, 2025**

REVISIONS

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1	6-20-25	ROADWAY AND DRAINAGE	MJD
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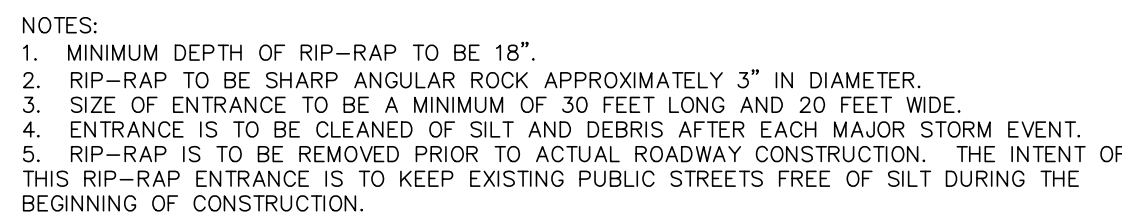
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SHEET: **C-11**









NOT TO SCALE

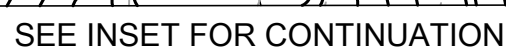


BARRIER SHALL BE PLACED PRIOR TO ANY  
CONSTRUCTION (INCLUDING TREE CUTTING).

SHEATHING ON WATTLES TO BE 100% BIODEGRADABLE MATERIAL.



NOT TO SCALE



THE FOLLOWING IS A TYPICAL CONSTRUCTION SEQUENCING PLAN.  
THE SEQUENCING MAY BE ADJUSTED BASED UPON SPECIFIC FIELD  
CONDITIONS ENCOUNTERED.

- ESTABLISH THE LIMIT OF WORK VIA SURVEY AND INSTALL EROSION CONTROLS PER THE PLANS.
- SATISFY ALL PRE-CONSTRUCTION CONDITIONS INCLUDING NOTIFICATION TO TOWN OFFICIALS PRIOR TO THE START OF WORK.
- OBTAIN NOTICE OF INTENT PERMIT COVERAGE UNDER THE USE EPA CONSTRUCTION GENERAL PERMIT, INCLUDING A STORMWATER POLLUTION PREVENTION PLAN.
- CUT TREES AND REMOVE STUMPS WITHIN THE ESTABLISHED WORK LIMITS. STRIP TOP AND SUBSOIL WHERE APPLICABLE.
- ESTABLISH STORMWATER BASINS AND OUTLET CONTROLS.
- INSTALL UNDERDRAINAGE AND DRAINAGE SYSTEM.
- COMPLETE EARTHWORK ACTIVITIES AND PLACEMENT OF IMPORTED BASE MATERIALS FOR THE ROADWAY.
- INSTALL CURBING AND BINDER COURSE PAVEMENT.COMPLETE
- STABILIZE OFF-GRADING AREAS, GRASS STRIP AND BASINS WITH LOAM AND SEED WHERE NOTED ON THE PLANS.
- CONDUCT SITE WALKTHROUGH HOME CONSTRUCTION.
- INSTALL FINAL WEARING COURSE PAVEMENT.

THE FOLLOWING IS A TYPICAL MAINTENANCE AND INSPECTION PLAN TO BE ADHERED TO DURING THE CONSTRUCTION PERIOD. THIS SHALL BE CONSIDERED THE MINIMUM AND MAY REQUIRE MORE INTENSIVE ATTENTION BASIN ON SPECIFIC WEATHER AND FIELD CONDITIONS ENCOUNTERED.

- AN ADEQUATE SUPPLY OF SEDIMENT CONTROL BARRIER SHALL BE KEPT ON SITE FOR EMERGENCY REPAIRS.
- EROSION CONTROL DEVICES SHALL BE INSPECTED WEEKLY AND AFTER EACH RAIN EVENT.
- DAMAGED, DETERIORATED OR BREACHED SEDIMENT BARRIERS SHALL BE ADDRESSED IMMEDIATELY UPON DISCOVERY.
- INSPECTIONS SHALL BE DOCUMENTED PER THE CONSTRUCTION PERMITS. PERMITS FOR AIR POLLUTION PREVENTION PLAN TO BE ISSUED PRIOR TO CONSTRUCTION.
- INSPECT AND MAINTAIN THE STABILIZED CONSTRUCTION ENTRANCE ON A DAILY BASIS OR MORE FREQUENTLY IF WARRANTED.
- ANY SEDIMENT, SOIL OR DEBRIS TRACKED ON TO THE PUBLIC ROADWAY SHALL BE SWEEPED ON A DAILY BASIS.
- ALL MATERIAL STOCKPILES SHALL BE SURROUNDED BY SEDIMENT CONTROL BARRIERS.
- THE CONSTRUCTION SITE SHALL BE KEPT CLEAR OF TRASH AND DEBRIS AT ALL TIMES.

THE FOLLOWING IS A LIST OF WASTE MATERIALS ANTICIPATED TO BE GENERATED AND STORED ON THE SITE DURING CONSTRUCTION.

- BRICK, CONCRETE, GYPSUM WALLBOARD, WOOD, METAL AND ASPHALT FLOORING MATERIALS WILL BE SEPARATED AND RECYCLED.
- OTHER SOLID WASTE SUCH AS TRASH, MISCELLANEOUS DISPOSABLES, AND MACHINERY WILL BE DISPOSED OF OFF-SITE. NO BURNING OF WASTE MATERIALS OF ANY KIND IS NOT ALLOWED. ALL MATERIALS SHALL BE STORED IN PROPER CONTAINERS PRIOR TO DISPOSAL.
- HAZARDOUS MATERIALS ARE NOT ANTICIPATED TO BE STORED ON SITE. HOWEVER, ALL MATERIALS THAT POSE A RISK TO THE ENVIRONMENT, SUCH AS OILS AND SOLVENTS, MUST BE PROPERLY STORED AND COVERED FROM THE ELEMENTS.
- CONCRETE WASHOUT SHALL OCCUR IN A CONTROLLED FASHION IN DESIGNATED AREAS LOCATED OUTSIDE OF THE 100'-FOOT BUFFER ZONE.
- ALL SANITARY WASTE COLLECTION SHALL BE PROVIDED AND DISPOSED OF BY A LICENSED SANITARY HAULER.

OWNERS:

Varney Bros Sand and  
Gravel, Inc.  
79 Hartford Street  
Bellingham, MA 02019

SAK II Realty Trust  
202 Elm Street  
Blackstone, MA 01504

APPLICANT:

Wall Street  
Development Corp.  
P.O. Box 272  
Westwood, MA 02090

TITLE:

# EROSION AND SEDIMENT CONTROL PLAN

for  
Blackstone Street  
Improvements  
Bellingham, MA



PROFESSIONAL ENGINEER

PREPARED BY:



**ALLEN ENGINEERING  
& ASSOCIATES**

Civil Engineers · Surveyors  
Land Development Consultants  
140 Hartford Avenue East  
Hopedale, Ma 01747  
(508) 381-3212 • [www.allen-ea.com](http://www.allen-ea.com)

SCALE:

1"=40 FEET



DATE: February 14, 2025

## REVISIONS

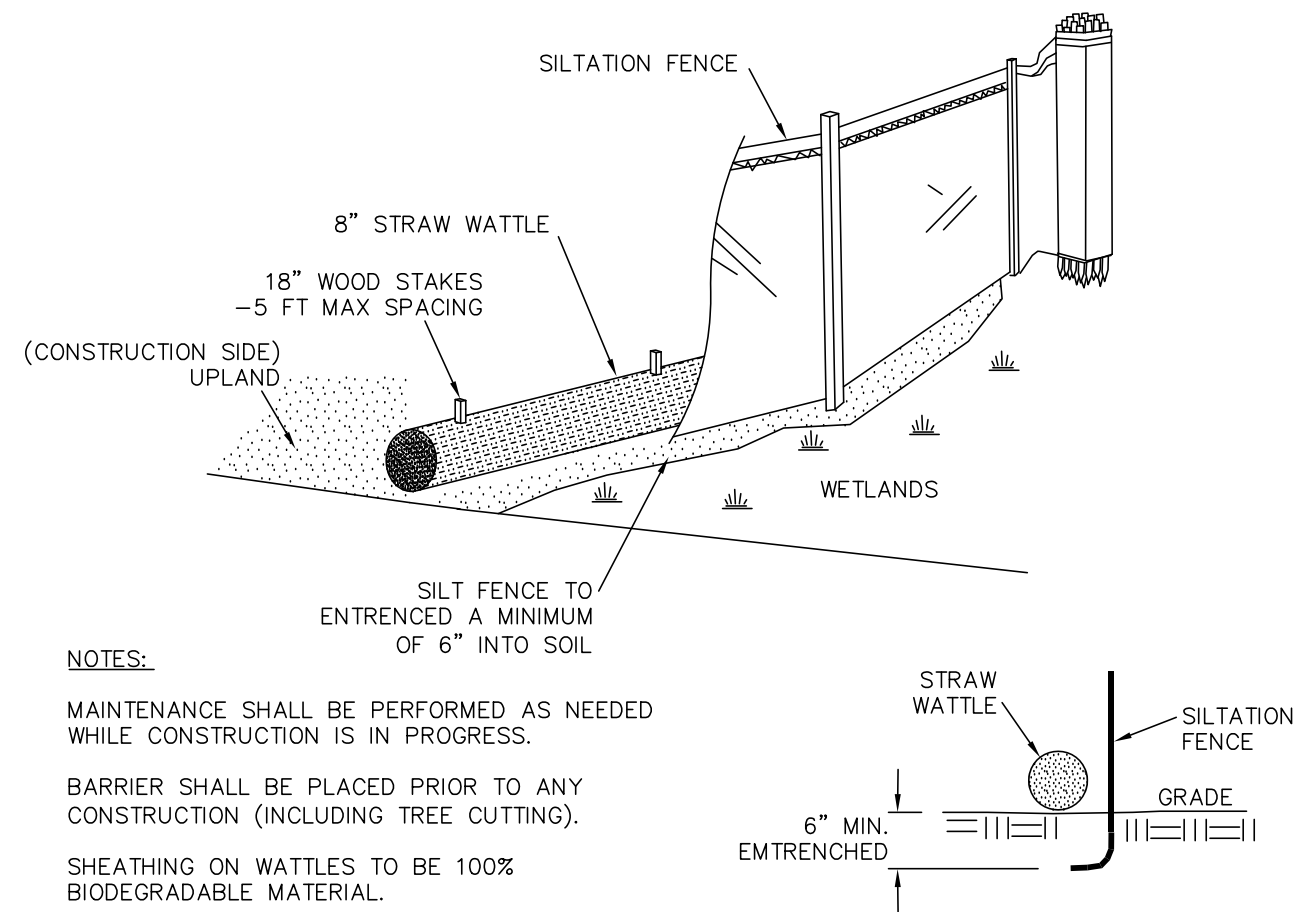
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1	6-20-25	ROADWAY AND DRAINAGE	M...
2	10-31-25	PER PEER REVIEW	M...
3	1-22-26	PER PEER REVIEW	M...

JOB NO:

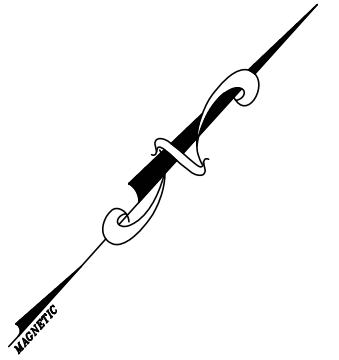
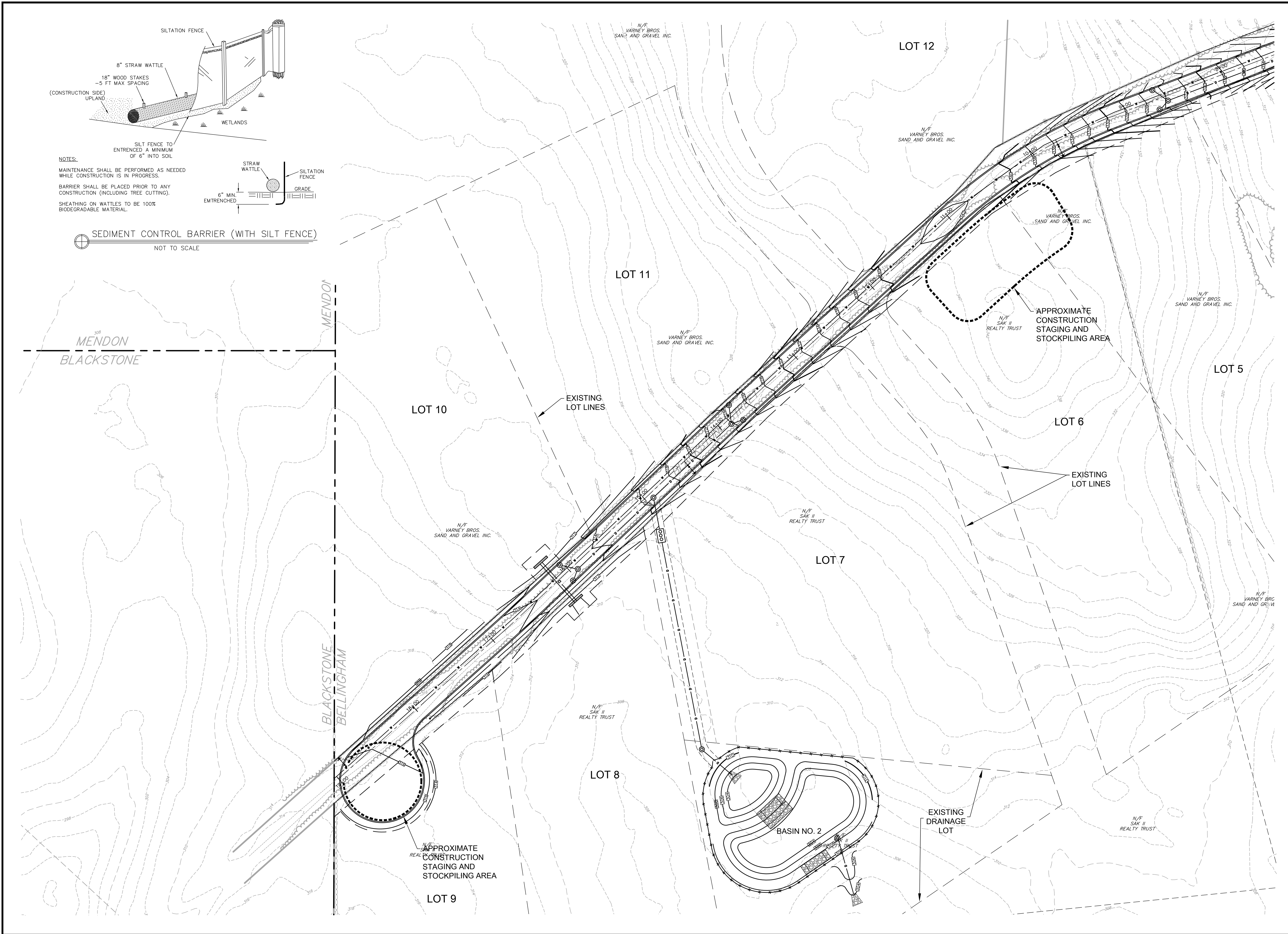
SHEET:

C-13





SEDIMENT CONTROL BARRIER (WITH SILT FENCE)  
NOT TO SCALE



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APPLICANT:  
**Wall Street Development Corp.**  
P.O. Box 272  
Westwood, MA 02090

TITLE:  
**EROSION AND SEDIMENT CONTROL PLAN**  
for  
**Blackstone Street Improvements**  
Bellingham, MA



PROFESSIONAL ENGINEER  
1/12/26

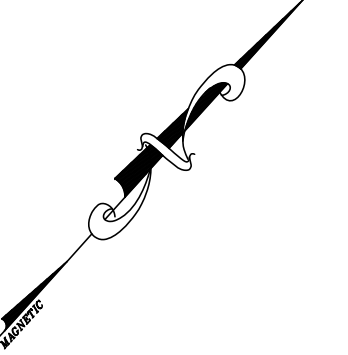
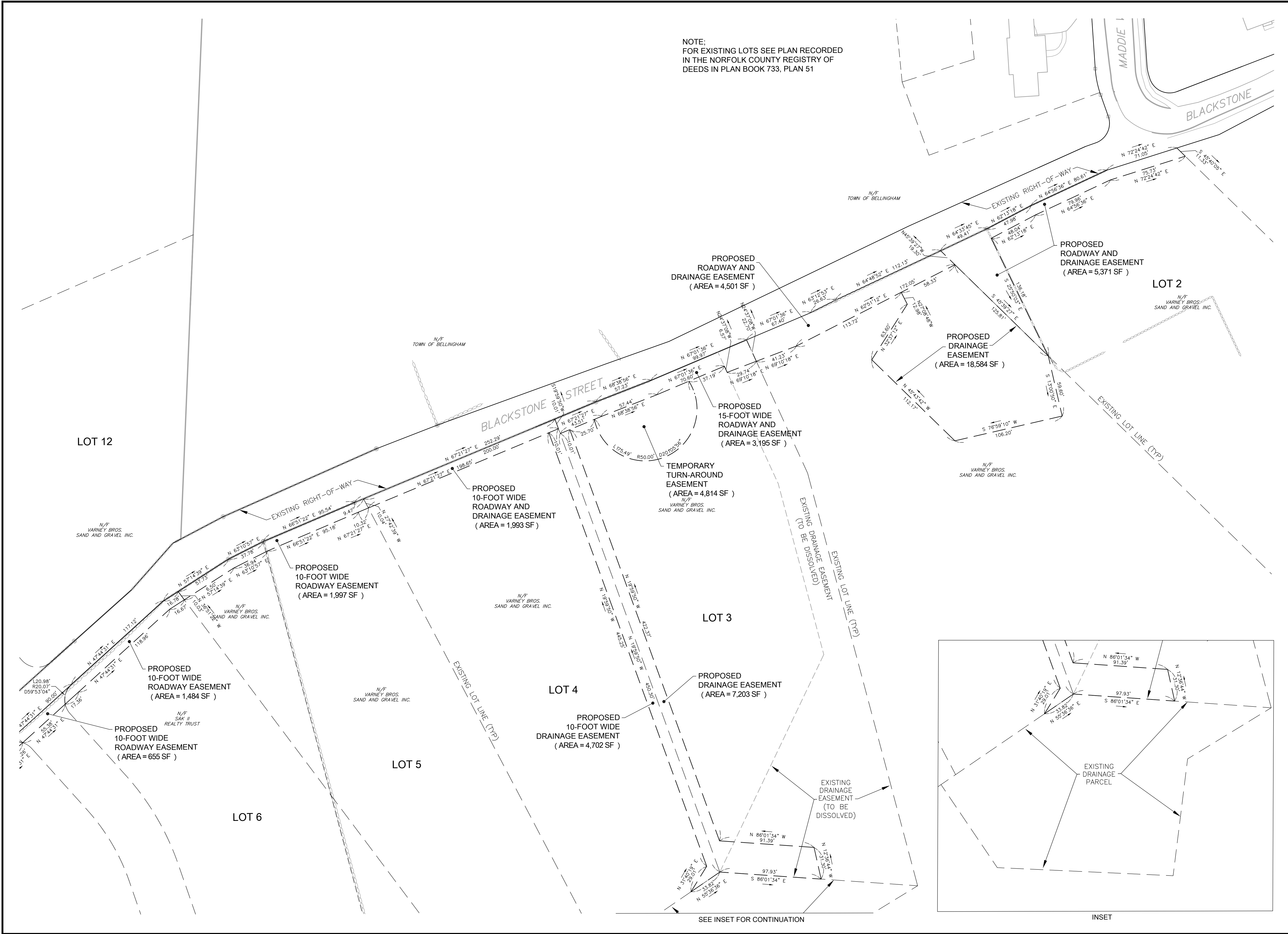
PREPARED BY:  
  
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SCALE: 1"=40 FEET  
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DATE: February 14, 2025

REVISIONS			
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JOB NO: 00454		SHEET:	C-14





OWNERS:

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Bellingham, MA 02019

**SAK II Realty Trust**  
202 Elm Street  
Blackstone, MA 01504

APPLICANT:

**Wall Street Development Corp.**  
P.O. Box 272  
Westwood, MA 02090

TITLE:

**PROPOSED EASEMENT PLAN**  
for  
**Blackstone Street Improvements**  
Bellingham, MA



PROFESSIONAL ENGINEER

PREPARED BY:



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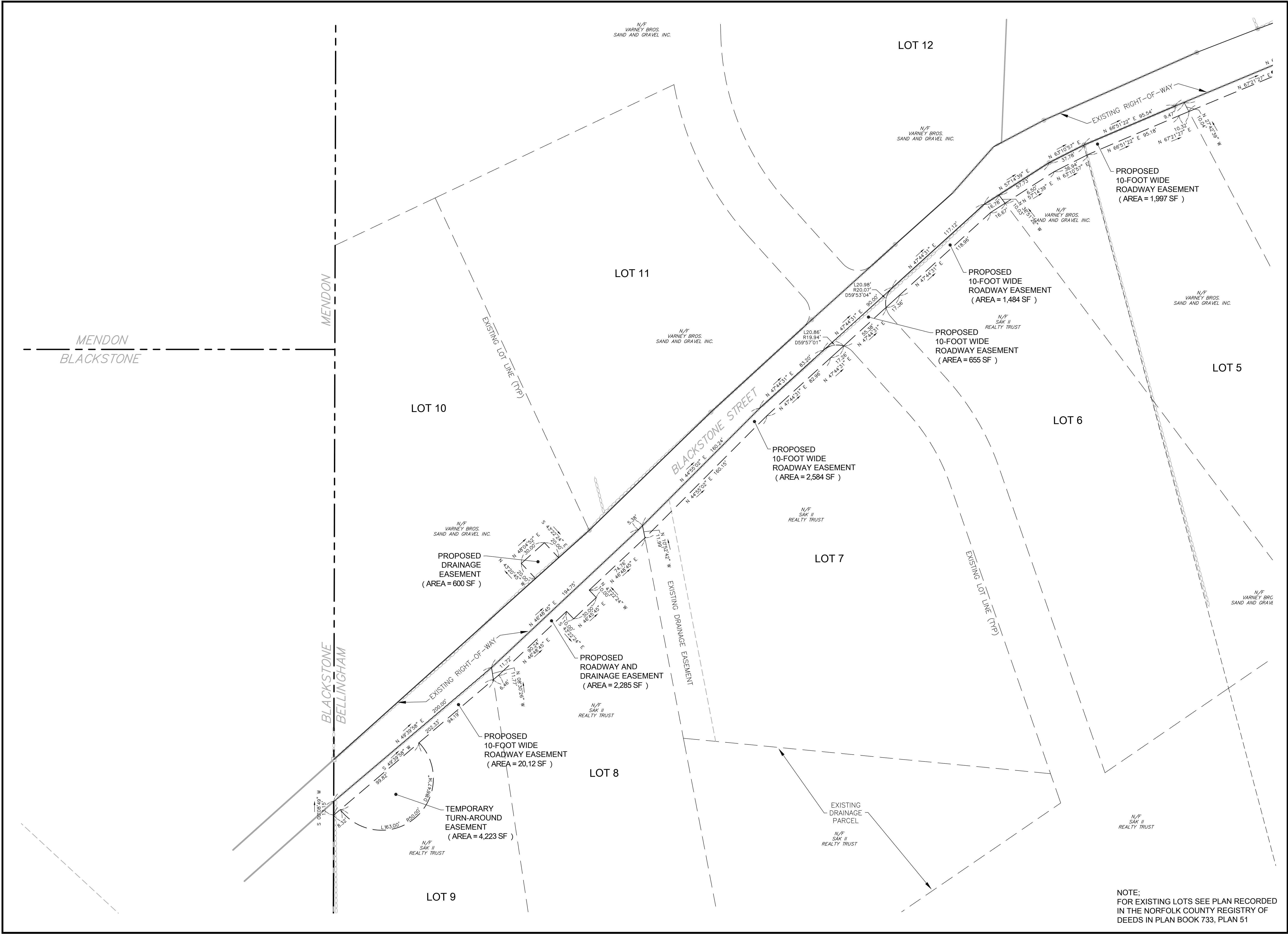
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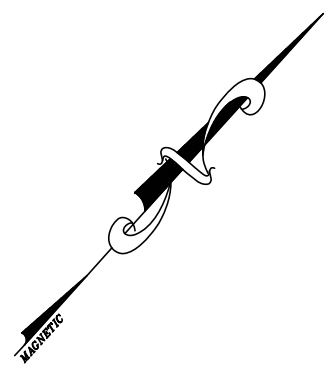
JOB NO: 00454

SHEET: **C-15**





NOTE:  
FOR EXISTING LOTS SEE PLAN RECORDED  
IN THE NORFOLK COUNTY REGISTRY OF  
DEEDS IN PLAN BOOK 733, PLAN 51



OWNERS:

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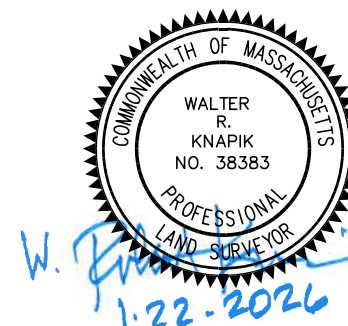
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JOB NO: 00454		SHEET:	<b>C-16</b>