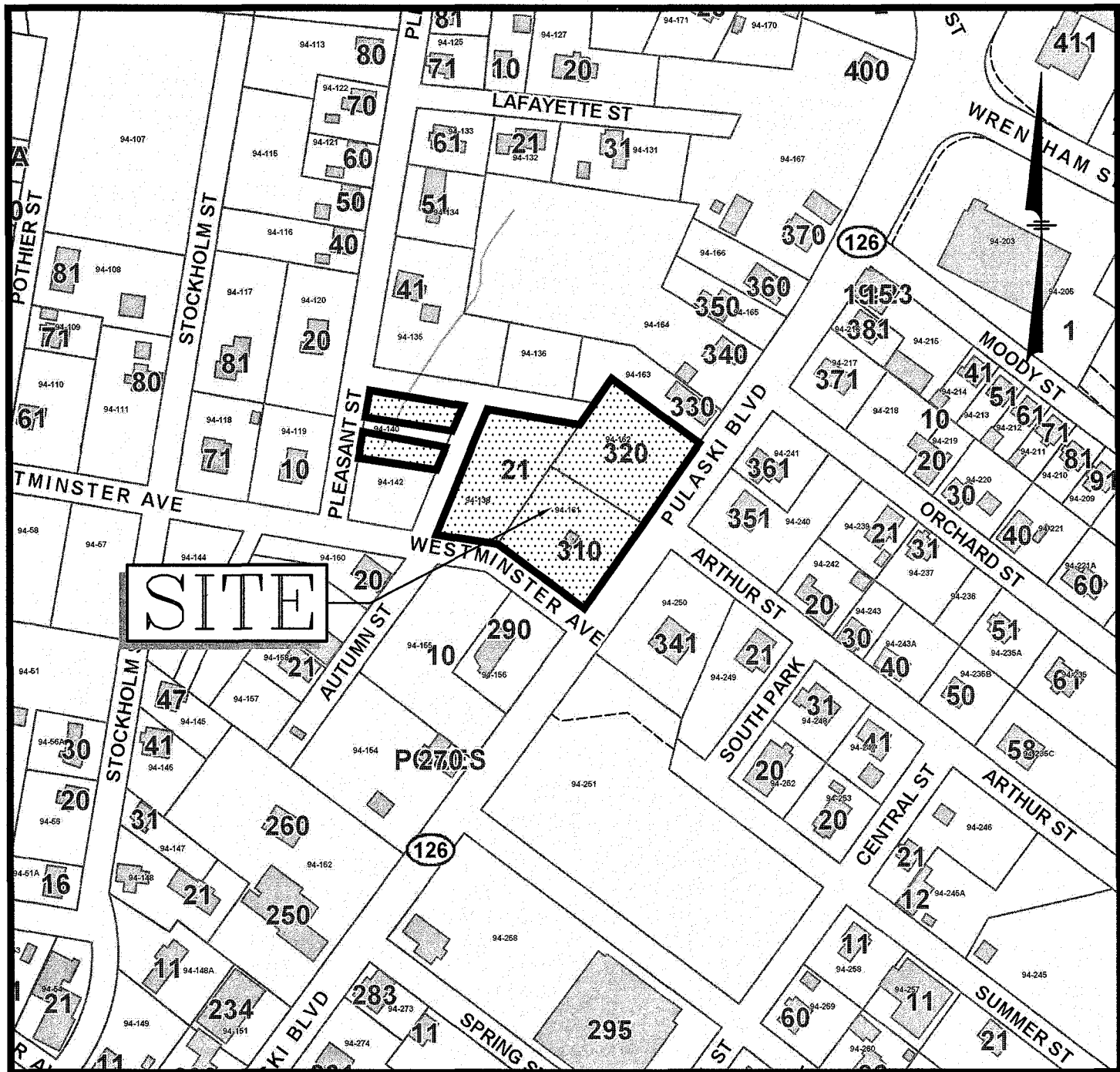


APPROVED
By Amy Sutherland at 11:48 am, Jun 19, 2019

SITE DEVELOPMENT PLANS
for
PROPOSED RETAIL MOTOR FUEL OUTLET
TAX MAP 94 LOTS 138, 161 & 162
310 PULASKI BOULEVARD
BELLINGHAM, MASSACHUSETTS

Prepared for:
Irving Oil Marketing, Inc.



LOCATION MAP
SCALE: 1"=200'



INDEX TO DRAWINGS

1. TITLE SHEET (L1)
2. EXISTING CONDITIONS PLAN (L2)
3. DEMOLITION PLAN (L3)
4. SITE PLAN (L4)
5. GRADING & DRAINAGE PLAN (L5)
6. UTILITIES PLAN (L6)
7. EROSION & SEDIMENT CONTROL PLAN (L7)
8. LANDSCAPE PLAN (L8)
9. SITE DETAILS (L9)
10. SITE DETAILS (L10)
11. SITE DETAILS (L11)
12. SITE DETAILS (L12)
13. SITE DETAILS (L13)
14. SITE DETAILS (L14)
- 1 OF 1. TRUCK TURN PLAN (TT)
- 1 OF 1. SIGN & GRAPHICS PLAN (A50)
- 1 OF 2. LIGHTING PLAN (RL-4531-S1-R5)
- 2 OF 2. LIGHTING DETAILS (RL-4531-S1-R5)
- 1 OF 1. EXTERIOR BUILDING ELEVATIONS (A3.01)
- 1 OF 1. PROPOSED RETAIL FUEL CANOPY ELEVATIONS (PGC4)
- 1 OF 1. FLOOR PLAN (A100)

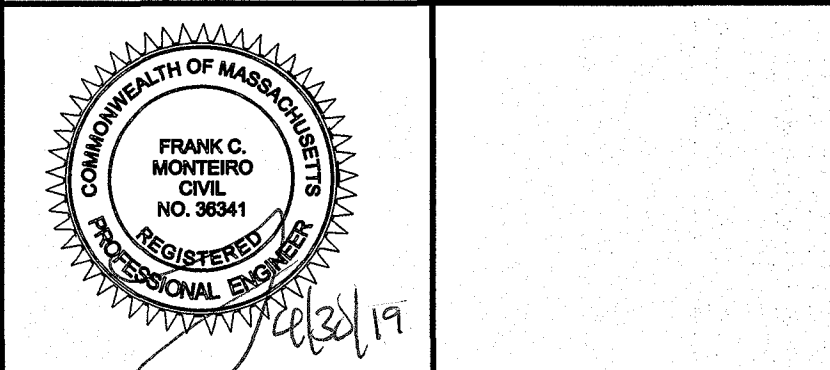
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☐ APPROVED FOR CONSTRUCTION
☐ PRELIMINARY-NOT FOR CONSTRUCTION
☐ ISSUED TO: _____

DATE _____

E	4/30/19	HS	REVISED SHEETS L4-L8, L12, TT, A50, RL'S, PGC4 & A100
D	9/6/17	FCM	REVISED SHEETS L4-L8, TT, A50, RL'S
C	8/4/17	FCM	REVISED SHEETS L4-L8, L10-L13, RL'S & A50
B	7/24/17	FCM	REVISED SHEETS L2-L12
A	5/26/17	FCM	REVISED SHEETS L2, L3, L4, L5, L6, L7 & L8
REV	DATE	BY	REVISION

REVISIONS

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Salem, New Hampshire 03079
(603) 893-0720
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CAD FILE: 405116.dwg		REF-BLK:	
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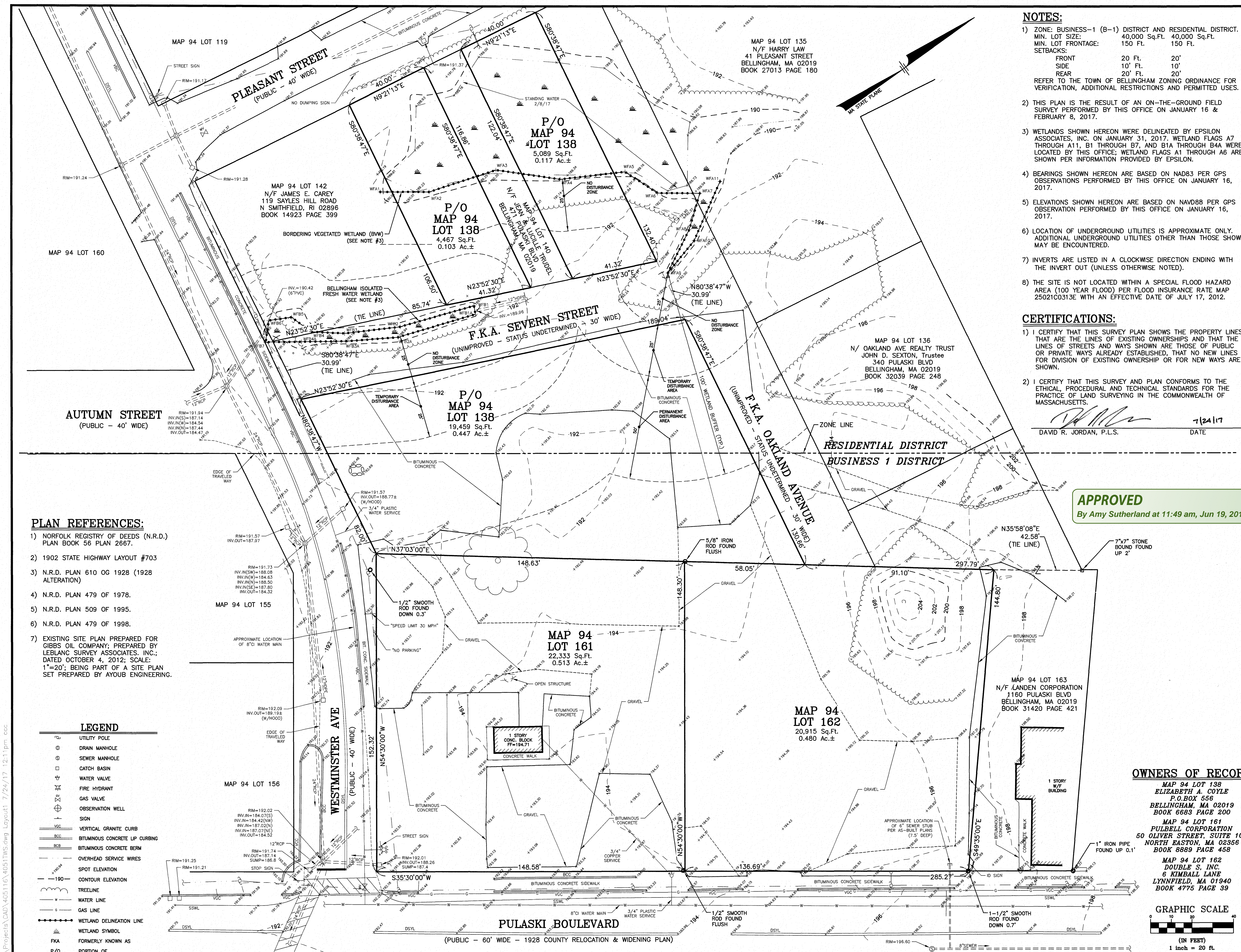
IRVING OIL
190 COMMERCE WAY
PORTSMOUTH, NH 03801

PROJECT:
ASSESSORS MAP 94 - LOTS 138, 161, & 162
310 PULASKI BOULEVARD
BELLINGHAM, MA

SHEET TITLE:
TITLE SHEET

PROJECT:	DRAWING NO:	REVISION:
	L1	E

COMPANY SUPERVISOR AND CONTRACTOR TO VERIFY ALL MEASUREMENTS ON WORK OR AT SITE. THIS DRAWING IS THE PROPERTY OF IRVING OIL LTD. AND SHALL BE RETURNED ON COMPLETION OF WORK.



PLAN REFERENCES:

- 1) NORFOLK REGISTRY OF DEEDS (N.R.D.) PLAN BOOK 56 PLAN 2667.
- 2) 1902 STATE HIGHWAY LAYOUT #703
- 3) N.R.D. PLAN 610 OG 1928 (1928 ALTERATION)
- 4) N.R.D. PLAN 479 OF 1978.
- 5) N.R.D. PLAN 509 OF 1995.
- 6) N.R.D. PLAN 479 OF 1998.
- 7) EXISTING SITE PLAN PREPARED FOR GIBBS OIL COMPANY, PREPARED BY LEBLANC SURVEY ASSOCIATES, INC., DATED OCTOBER 4, 2012; SCALE: 1"=20'; BEING PART OF A SITE PLAN SET PREPARED BY AYOUB ENGINEERING.

LEGEND

- UTILITY POLE
- DRAIN MANHOLE
- SEWER MANHOLE
- CATCH BASIN
- WATER VALVE
- FIRE HYDRANT
- GAS VALVE
- OBSERVATION WELL
- SIGN
- VERTICAL GRANITE CURB
- BITUMINOUS CONCRETE LIP CURBING
- BITUMINOUS CONCRETE BERM
- OVERHEAD SERVICE WIRES
- SPOT ELEVATION
- CONTOUR ELEVATION
- TREELINE
- WATER LINE
- GAS LINE
- WETLAND DELINEATION LINE
- WETLAND SYMBOL
- FKA FORMERLY KNOWN AS
- P/O PORTION OF

NOTES:

- 1) ZONE: BUSINESS-1 (B-1) DISTRICT AND RESIDENTIAL DISTRICT. MIN. LOT SIZE: 40,000 Sq.Ft. 40,000 Sq.Ft. MIN. LOT FRONTAGE: 150 FT. 150 FT. SETBACKS: FRONT 20 FT. 20' SIDE 10' FT. 10' REAR 20' FT. 20' REFER TO THE TOWN OF BELLINGHAM ZONING ORDINANCE FOR VERIFICATION, ADDITIONAL RESTRICTIONS AND PERMITTED USES.
- 2) THIS PLAN IS THE RESULT OF AN ON-THE-GROUND FIELD SURVEY PERFORMED BY THIS OFFICE ON JANUARY 16 & FEBRUARY 8, 2017.
- 3) WETLANDS SHOWN HEREON WERE DELINEATED BY EPSILON ASSOCIATES, INC. ON JANUARY 31, 2017. WETLAND FLAGS A7 THROUGH A11, B1 THROUGH B7, AND B1A THROUGH B4A WERE LOCATED BY THIS OFFICE; WETLAND FLAGS A1 THROUGH A6 ARE SHOWN PER INFORMATION PROVIDED BY EPSILON.
- 4) BEARINGS SHOWN HEREON ARE BASED ON NAD83 PER GPS OBSERVATIONS PERFORMED BY THIS OFFICE ON JANUARY 16, 2017.
- 5) ELEVATIONS SHOWN HEREON ARE BASED ON NAVD88 PER GPS OBSERVATION PERFORMED BY THIS OFFICE ON JANUARY 16, 2017.
- 6) LOCATION OF UNDERGROUND UTILITIES IS APPROXIMATE ONLY. ADDITIONAL UNDERGROUND UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED.
- 7) INVERTS ARE LISTED IN A CLOCKWISE DIRECTION ENDING WITH THE INVERT OUT (UNLESS OTHERWISE NOTED).
- 8) THE SITE IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA (100 YEAR FLOOD) PER FLOOD INSURANCE RATE MAP 25021C0313E WITH AN EFFECTIVE DATE OF JULY 17, 2012.

CERTIFICATIONS:

- 1) I CERTIFY THAT THIS SURVEY PLAN SHOWS THE PROPERTY LINES THAT ARE THE LINES OF EXISTING OWNERSHIPS AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE WAYS ALREADY ESTABLISHED, THAT NO NEW LINES FOR DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN.
- 2) I CERTIFY THAT THIS SURVEY AND PLAN CONFORMS TO THE ETHICAL, PROCEDURAL AND TECHNICAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS.

DAVID R. JORDAN, P.L.S.

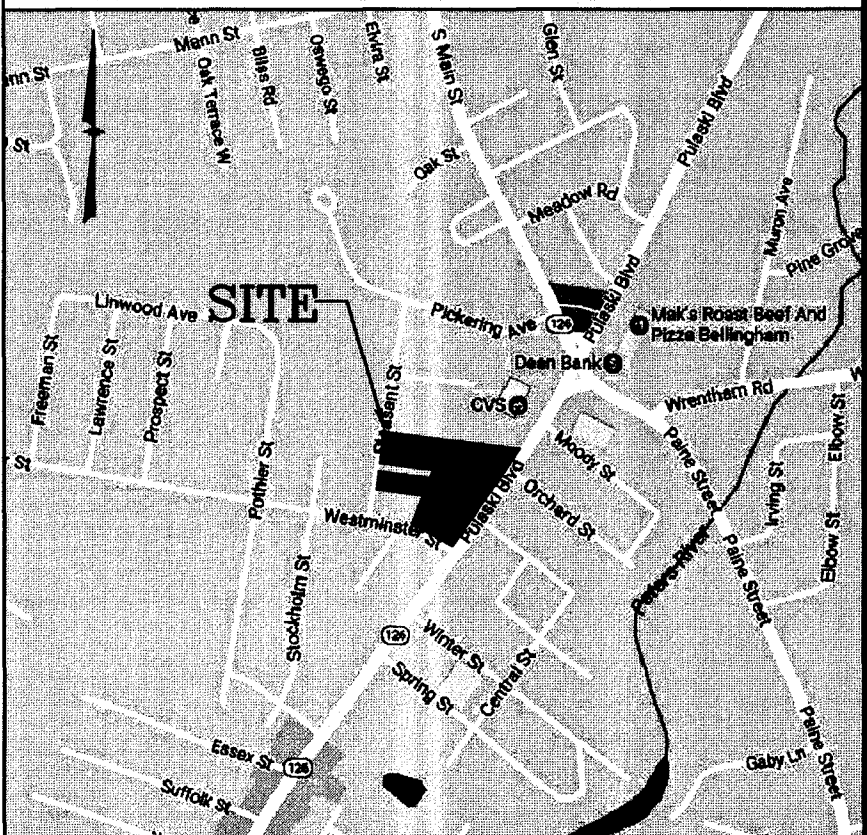
7/24/17
DATE

APPROVED

By Amy Sutherland at 11:49 am, Jun 19, 2019

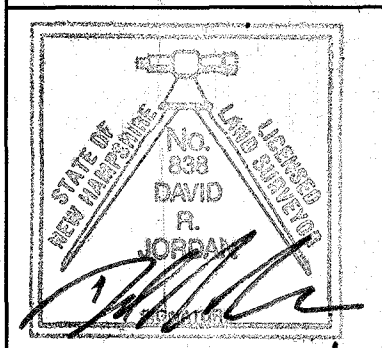
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- ☐ APPROVED FOR CONSTRUCTION
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- ☐ ISSUED TO: _____

DATE



B	7/24/17	FCM	REV. WETLAND CLASSIFICATION PER CON. COMM. SITE WALK
A	5/26/17	FCM	ADD WETLAND BUFFER ZONES
REV	DATE	BY	REVISION

REVISIONS



DRAWN BY: JAC		DESIGNED BY: FCM	
SCALE: 1"=20'		APPROVED BY:	
DATE: 5/18/17		PROPERTY NO.: N/A	
CAD FILE: 405111W.DWG		REF-BLK: REF-BLK	
PLOTTED:		REF-BLK: REF-BLK	

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PROJECT: ASSESSORS MAP 94 - LOTS 138, 161, & 162
310 PULASKI BOULEVARD
BELLINGHAM, MA

EXISTING CONDITIONS PLAN

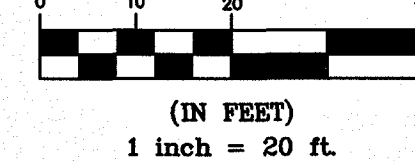
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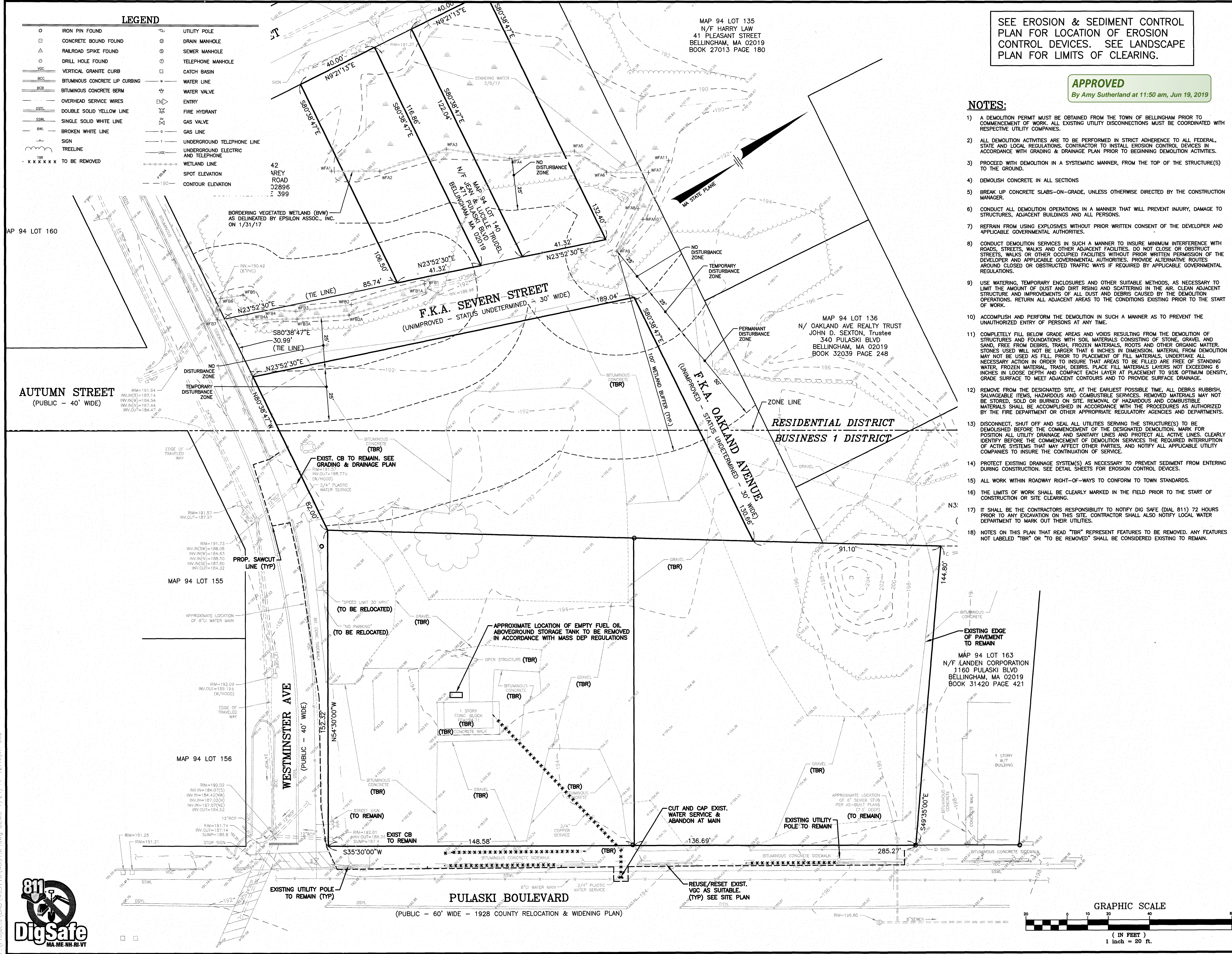
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OWNERS OF RECORD

- MAP 94 LOT 138
ELIZABETH A. COYLE
P.O. BOX 556
BELLINGHAM, MA 02019
BOOK 6683 PAGE 200
- MAP 94 LOT 161
PULBELL CORPORATION
50 OLIVER STREET, SUITE 102
NORTH EASTON, MA 02356
BOOK 8889 PAGE 458
- MAP 94 LOT 162
DOUBLE S. INC.
6 KIMBALL LANE
LYNNFIELD, MA 01940
BOOK 4775 PAGE 39

GRAPHIC SCALE



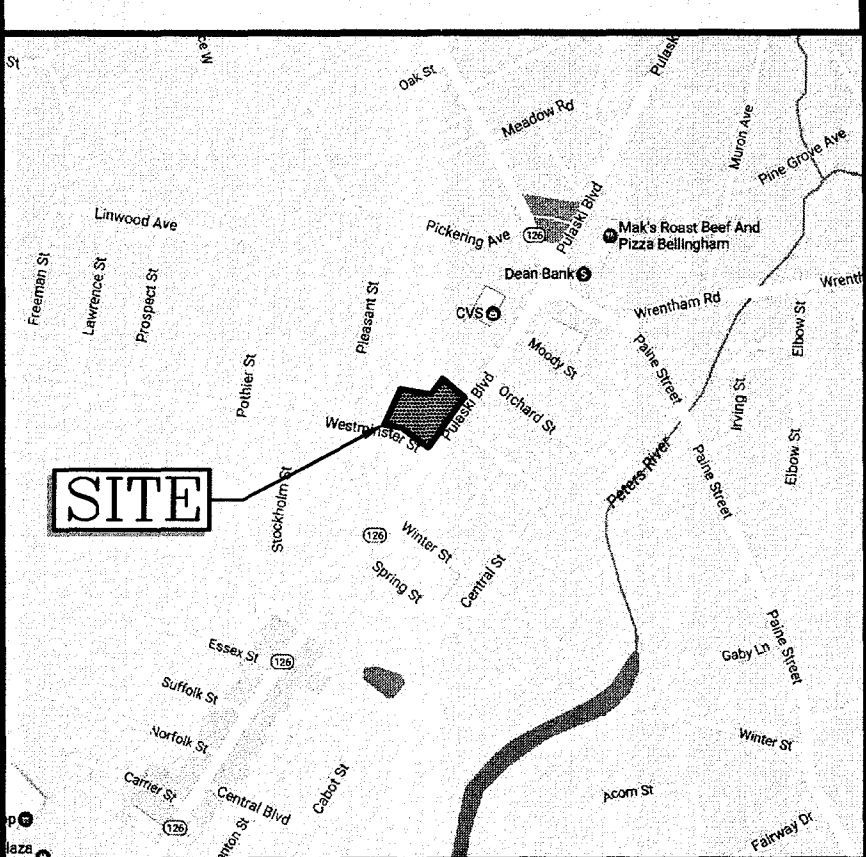


SEE EROSION & SEDIMENT CONTROL PLAN FOR LOCATION OF EROSION CONTROL DEVICES. SEE LANDSCAPE PLAN FOR LIMITS OF CLEARING.

APPROVED
By Amy Sutherland at 11:50 am, Jun 19, 2019

- NOTES:**
- 1) A DEMOLITION PERMIT MUST BE OBTAINED FROM THE TOWN OF BELLINGHAM PRIOR TO COMMENCEMENT OF WORK. ALL EXISTING UTILITY DISCONNECTIONS MUST BE COORDINATED WITH RESPECTIVE UTILITY COMPANIES.
 - 2) ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN STRICT ADHERENCE TO ALL FEDERAL, STATE AND LOCAL REGULATIONS. CONTRACTOR TO INSTALL EROSION CONTROL DEVICES IN ACCORDANCE WITH GRADING & DRAINAGE PLAN PRIOR TO BEGINNING DEMOLITION ACTIVITIES.
 - 3) PROCEED WITH DEMOLITION IN A SYSTEMATIC MANNER, FROM THE TOP OF THE STRUCTURE(S) TO THE GROUND.
 - 4) DEMOLISH CONCRETE IN ALL SECTIONS
 - 5) BREAK UP CONCRETE SLABS-ON-GRADE, UNLESS OTHERWISE DIRECTED BY THE CONSTRUCTION MANAGER.
 - 6) CONDUCT ALL DEMOLITION OPERATIONS IN A MANNER THAT WILL PREVENT INJURY, DAMAGE TO STRUCTURES, ADJACENT BUILDINGS AND ALL PERSONS.
 - 7) REFRAIN FROM USING EXPLOSIVES WITHOUT PRIOR WRITTEN CONSENT OF THE DEVELOPER AND APPLICABLE GOVERNMENTAL AUTHORITIES.
 - 8) CONDUCT DEMOLITION SERVICES IN SUCH A MANNER TO INSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS AND OTHER ADJACENT FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS OR OTHER OCCUPIED FACILITIES WITHOUT PRIOR WRITTEN PERMISSION OF THE DEVELOPER AND APPLICABLE GOVERNMENTAL AUTHORITIES. PROVIDE ALTERNATIVE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS IF REQUIRED BY APPLICABLE GOVERNMENTAL REGULATIONS.
 - 9) USE WATERING, TEMPORARY ENCLOSURES AND OTHER SUITABLE METHODS, AS NECESSARY TO LIMIT THE AMOUNT OF DUST AND DIRT RISING AND SCATTERING IN THE AIR. CLEAN ADJACENT STRUCTURE AND IMPROVEMENTS BY THE DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. RETURN ALL ADJACENT AREAS TO THE CONDITIONS EXISTING PRIOR TO THE START OF WORK.
 - 10) ACCOMPLISH AND PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE UNAUTHORIZED ENTRY OF PERSONS AT ANY TIME.
 - 11) COMPLETELY FILL BELOW GRADE AREAS AND VOIDS RESULTING FROM THE DEMOLITION OF STRUCTURES AND FOUNDATIONS WITH SOIL MATERIALS CONSISTING OF STONE, GRAVEL AND SAND, FREE FROM DEBRIS, TRASH, FROZEN MATERIALS, ROOTS AND OTHER ORGANIC MATTER. STONES USED WILL NOT BE LARGER THAN 6 INCHES IN DIMENSION. MATERIAL FROM DEMOLITION MAY NOT BE USED AS FILL. PRIOR TO PLACEMENT OF FILL MATERIALS, UNDERTAKE ALL NECESSARY ACTION IN ORDER TO INSURE THAT AREAS TO BE FILLED ARE FREE OF STANDING WATER, FROZEN MATERIAL, TRASH, DEBRIS. PLACE FILL MATERIALS LAYERS NOT EXCEEDING 6 INCHES IN LOOSE DEPTH AND COMPACT EACH LAYER AT PLACEMENT TO 95% OPTIMUM DENSITY. GRADE SURFACE TO MEET ADJACENT CONTOURS AND TO PROVIDE SURFACE DRAINAGE.
 - 12) REMOVE FROM THE DESIGNATED SITE, AT THE EARLIEST POSSIBLE TIME, ALL DEBRIS RUBBISH, SALVAGEABLE ITEMS, HAZARDOUS AND COMBUSTIBLE SERVICES. REMOVED MATERIALS MAY NOT BE STORED, SOLD OR BURNED ON SITE. REMOVAL OF HAZARDOUS AND COMBUSTIBLE MATERIALS SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE PROCEDURES AS AUTHORIZED BY THE FIRE DEPARTMENT OR OTHER APPROPRIATE REGULATORY AGENCIES AND DEPARTMENTS.
 - 13) DISCONNECT, SHUT OFF AND SEAL ALL UTILITIES SERVING THE STRUCTURE(S) TO BE DEMOLISHED BEFORE THE COMMENCEMENT OF THE DESIGNATED DEMOLITION. MARK FOR POSITION ALL UTILITY DRAINAGE AND SANITARY LINES AND PROTECT ALL ACTIVE LINES. CLEARLY IDENTIFY BEFORE THE COMMENCEMENT OF DEMOLITION SERVICES THE REQUIRED INTERRUPTION OF ACTIVE SYSTEMS THAT MAY AFFECT OTHER PARTIES, AND NOTIFY ALL APPLICABLE UTILITY COMPANIES TO INSURE THE CONTINUATION OF SERVICE.
 - 14) PROTECT EXISTING DRAINAGE SYSTEM(S) AS NECESSARY TO PREVENT SEDIMENT FROM ENTERING DURING CONSTRUCTION. SEE DETAIL SHEETS FOR EROSION CONTROL DEVICES.
 - 15) ALL WORK WITHIN ROADWAY RIGHT-OF-WAYS TO CONFORM TO TOWN STANDARDS.
 - 16) THE LIMITS OF WORK SHALL BE CLEARLY MARKED IN THE FIELD PRIOR TO THE START OF CONSTRUCTION OR SITE CLEARING.
 - 17) IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO NOTIFY DIG SAFE (DIAL 811) 72 HOURS PRIOR TO ANY EXCAVATION ON THIS SITE. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER DEPARTMENT TO MARK OUT THEIR UTILITIES.
 - 18) NOTES ON THIS PLAN THAT READ "TBR" REPRESENT FEATURES TO BE REMOVED. ANY FEATURES NOT LABELED "TBR" OR "TO BE REMOVED" SHALL BE CONSIDERED EXISTING TO REMAIN.

- ☐ SUPERSEDES ALL PREVIOUS ISSUES
 - ☐ APPROVED FOR CONSTRUCTION
 - ☐ PRELIMINARY-NOT FOR CONSTRUCTION
 - ☐ ISSUED TO: _____
- DATE _____





REVISIONS

REV	DATE	BY	REVISION
B	7/24/17	FCM	MISC. REVISIONS PER PEER REVIEW COMMENTS 7/10/17
A	5/26/17	FCM	ADD WETLAND BUFFER ZONES

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PORTSMOUTH, NH 03801

 7/24/17		
	DRAWN BY: NIG	DESIGNED BY: FCM
	SCALE: 1"=20'	APPROVED BY:
	DATE: 5/18/17	PROPERTY NO.:
	CAD FILE: 40551.DP	REF=BLK:
	PLOTTED:	REF=BLK: REF=BLK:

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MHF PROJECT NO. 405116 SHEET 3 OF 14

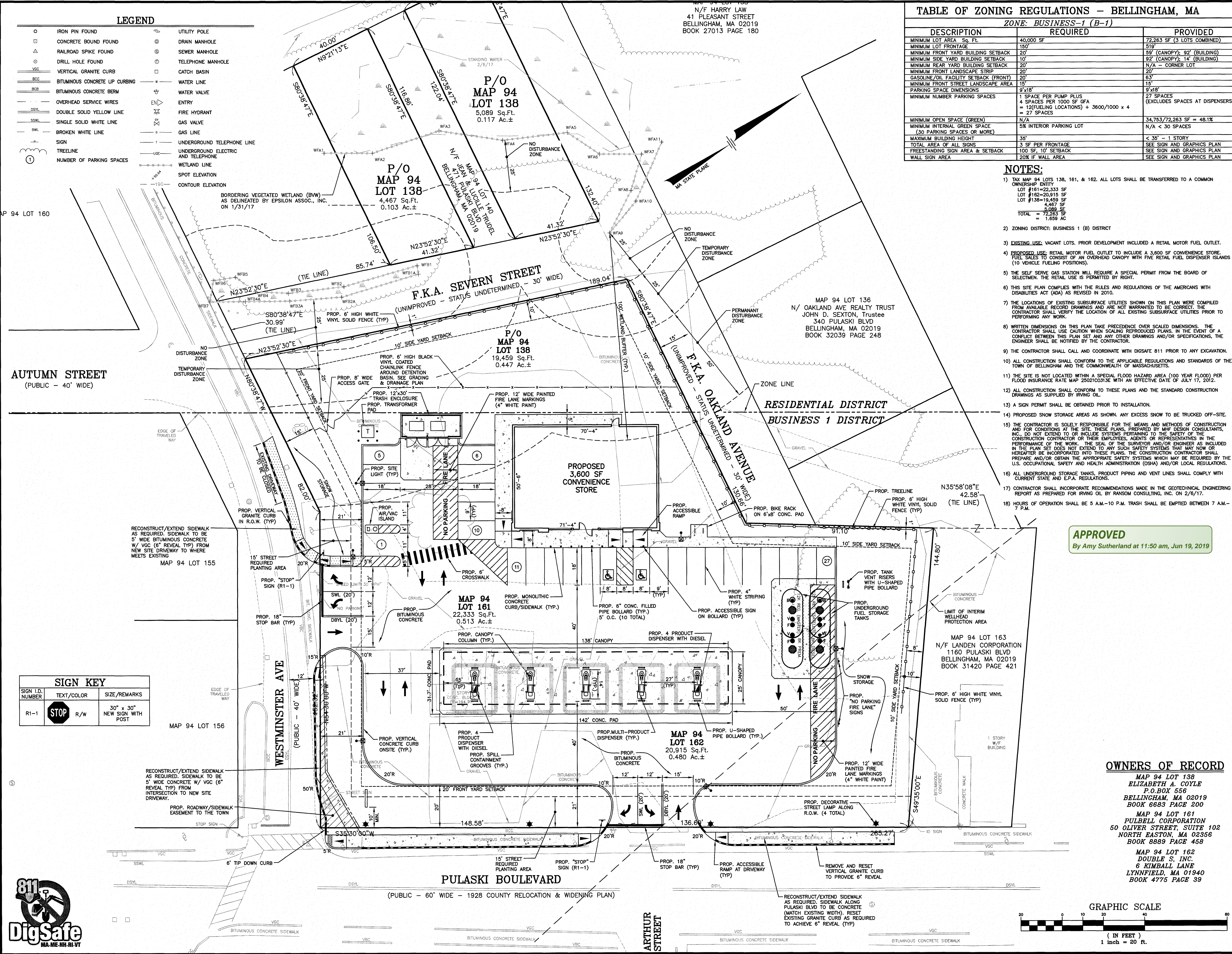
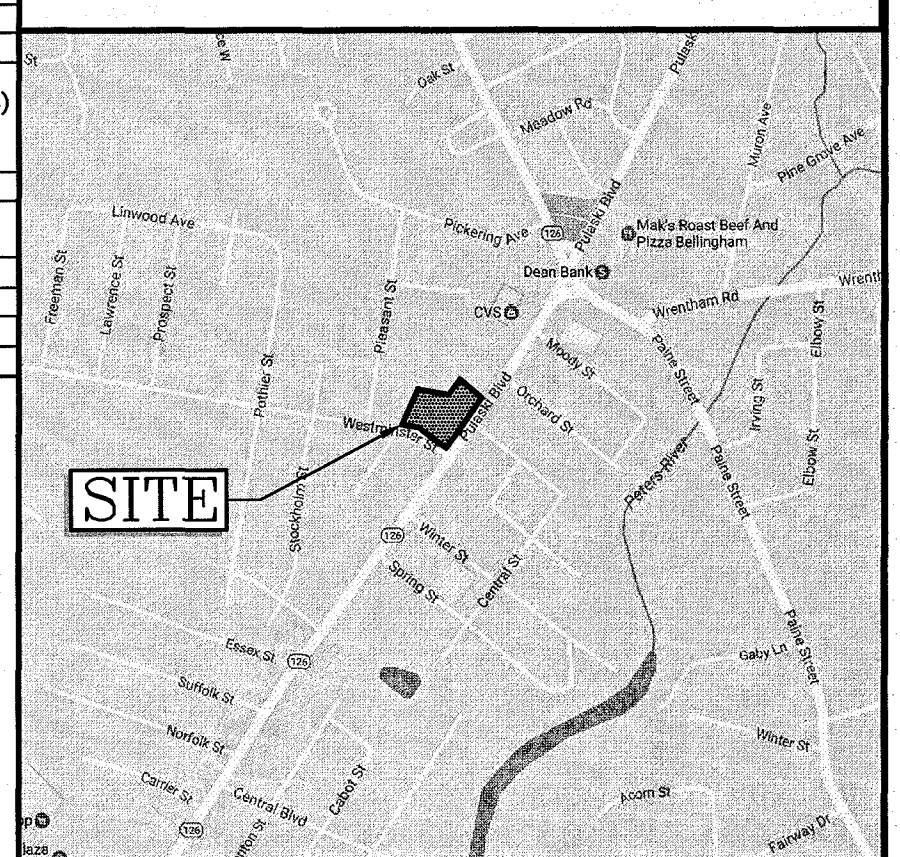


TABLE OF ZONING REGULATIONS - BELLINGHAM, MA		
ZONE: BUSINESS-1 (B-1)		
DESCRIPTION	REQUIRED	PROVIDED
MINIMUM LOT AREA	40,000 SF	72,263 SF (3 LOTS COMBINED)
MINIMUM LOT FRONTAGE	150'	219'
MINIMUM FRONT YARD BUILDING SETBACK	20'	59' (CANOPY); 92' (BUILDING)
MINIMUM SIDE YARD BUILDING SETBACK	10'	92' (CANOPY); 14' (BUILDING)
MINIMUM REAR YARD BUILDING SETBACK	20'	N/A - CORNER LOT
MINIMUM FRONT LANDSCAPE STRIP	20'	20'
GASOLINE/OIL FACILITY SETBACK (FRONT)	20'	63'
MINIMUM FRONT STREET LANDSCAPE AREA	15'	15'
PARKING SPACE DIMENSIONS	9'x18'	9'x18'
MINIMUM NUMBER PARKING SPACES	1 SPACE PER PUMP PLUS 4 SPACES PER 1000 SF GFA = 12(FUELING LOCATIONS) + 3600/1000 x 4 = 27 SPACES	27 SPACES (EXCLUDES SPACES AT DISPENSERS)
MINIMUM OPEN SPACE (GREEN)	N/A	34,753/72,263 SF = 48.1%
MINIMUM INTERNAL GREEN SPACE (30 PARKING SPACES OR MORE)	5X INTERIOR PARKING LOT	N/A < 30 SPACES
MAXIMUM BUILDING HEIGHT	35'	< 35' - 1 STORY
TOTAL AREA OF ALL SIGNS	3 SF PER FRONTAGE	SEE SIGN AND GRAPHICS PLAN
FREESTANDING SIGN AREA & SETBACK	100 SF, 10' SETBACK	SEE SIGN AND GRAPHICS PLAN
WALL SIGN AREA	20% IF WALL AREA	SEE SIGN AND GRAPHICS PLAN

- NOTES:**
- TAX MAP 94 LOTS 138, 161, & 162. ALL LOTS SHALL BE TRANSFERRED TO A COMMON OWNERSHIP ENTITY.
LOT #161=22,333 SF
LOT #162=20,915 SF
LOT #138=19,459 SF
4,467 SF
TOTAL = 72,263 SF
= 1.659 AC
 - ZONING DISTRICT: BUSINESS 1 (B) DISTRICT
 - EXISTING USE: VACANT LOTS. PRIOR DEVELOPMENT INCLUDED A RETAIL MOTOR FUEL OUTLET.
 - PROPOSED USE: RETAIL MOTOR FUEL OUTLET TO INCLUDE A 3,600 SF CONVENIENCE STORE. FUEL SALES TO CONSIST OF AN OVERHEAD CANOPY WITH FIVE RETAIL FUEL DISPENSER ISLANDS (10 VEHICLE FUELING POSITIONS).
 - THE SELF-SERVE GAS STATION WILL REQUIRE A SPECIAL PERMIT FROM THE BOARD OF SELECTMEN. THE RETAIL USE IS PERMITTED BY RIGHT.
 - THIS SITE PLAN COMPLIES WITH THE RULES AND REGULATIONS OF THE AMERICANS WITH DISABILITIES ACT (ADA) AS REVISED IN 2010.
 - THE LOCATIONS OF EXISTING SUBSURFACE UTILITIES SHOWN ON THIS PLAN WERE COMPILED FROM AVAILABLE RECORD DRAWINGS AND ARE NOT WARRANTED TO BE CORRECT. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING SUBSURFACE UTILITIES PRIOR TO PERFORMING ANY WORK.
 - WRITTEN DIMENSIONS ON THIS PLAN TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN THE EVENT OF A CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWINGS AND/OR SPECIFICATIONS, THE ENGINEER SHALL BE NOTIFIED BY THE CONTRACTOR.
 - THE CONTRACTOR SHALL CALL AND COORDINATE WITH DIGSAFE 811 PRIOR TO ANY EXCAVATION.
 - ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF BELLINGHAM AND THE COMMONWEALTH OF MASSACHUSETTS.
 - THE SITE IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA (100 YEAR FLOOD) PER FLOOD INSURANCE RATE MAP 25021C0313E WITH AN EFFECTIVE DATE OF JULY 17, 2012.
 - ALL CONSTRUCTION SHALL CONFORM TO THESE PLANS AND THE STANDARD CONSTRUCTION DRAWINGS AS SUPPLIED BY IRVING OIL.
 - A SIGN PERMIT SHALL BE OBTAINED PRIOR TO INSTALLATION.
 - PROPOSED SNOW STORAGE AREAS AS SHOWN. ANY EXCESS SNOW TO BE TRUCKED OFF-SITE.
 - THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS, PREPARED BY MHF DESIGN CONSULTANTS, INC., DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE SEAL OF THE SURVEYOR AND/OR ENGINEER AS INCLUDED IN THIS PLAN SET DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE AND/OR OBTAIN THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.
 - ALL UNDERGROUND STORAGE TANKS, PRODUCT PIPING AND VENT LINES SHALL COMPLY WITH CURRENT STATE AND F.P.A. REGULATIONS.
 - CONTRACTOR SHALL INCORPORATE RECOMMENDATIONS MADE IN THE GEOTECHNICAL ENGINEERING REPORT AS PREPARED FOR IRVING OIL BY P&M CONSULTING, INC. ON 2/6/17.
 - HOURS OF OPERATION SHALL BE 5 A.M.-10 P.M. TRASH SHALL BE EMPTIED BETWEEN 7 A.M.-7 P.M.

APPROVED
By Amy Sutherland at 11:50 am, Jun 19, 2019

- ☐ SUPERSEDES ALL PREVIOUS ISSUES
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 - ☐ PRELIMINARY-NOT FOR CONSTRUCTION
 - ☐ ISSUED TO: _____
- DATE _____

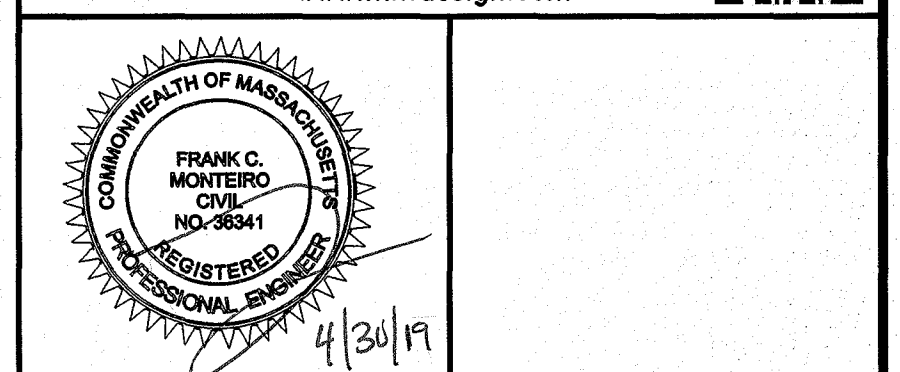


LOCATION MAP
(NOT TO SCALE)

REV	DATE	BY	REVISION
E	4/30/19	HS	DELETE ONE DISPENSER/ADD BOLLARDS AT STORE
D	9/6/17	FCM	REV. DRIVEWAY/DETENTION POND
C	8/4/17	FCM	MISC. REVISIONS PER PEER REVIEW COMMENTS 8/2/17
B	7/24/17	FCM	MISC. REVISIONS PER PEER REVIEW COMMENTS 7/10/17
A	5/28/17	FCM	ADD WETLAND BUFFER ZONES

REVISIONS

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DRAWN BY:	NIG	DESIGNED BY:	FCM
SCALE:	1"=20'	APPROVED BY:	
DATE:	5/18/17	PROPERTY NO.:	
CAD FILE: 4051SP.DWG		REF-BLK:	
PLOTTED:		REF-BLK:	

OWNERS OF RECORD

MAP 94 LOT 138
ELIZABETH A. COYLE
P.O. BOX 556
BELLINGHAM, MA 02019
BOOK 6883 PAGE 200

MAP 94 LOT 161
PULBELL CORPORATION
50 OLIVER STREET, SUITE 102
NORTH EASTON, MA 02356
BOOK 8889 PAGE 458

MAP 94 LOT 162
DOUBLE S. INC.
6 KIMBALL LANE
LYNNFIELD, MA 01940
BOOK 4775 PAGE 39

IRVING OIL

190 COMMERCE WAY
PORTSMOUTH, NH 03801

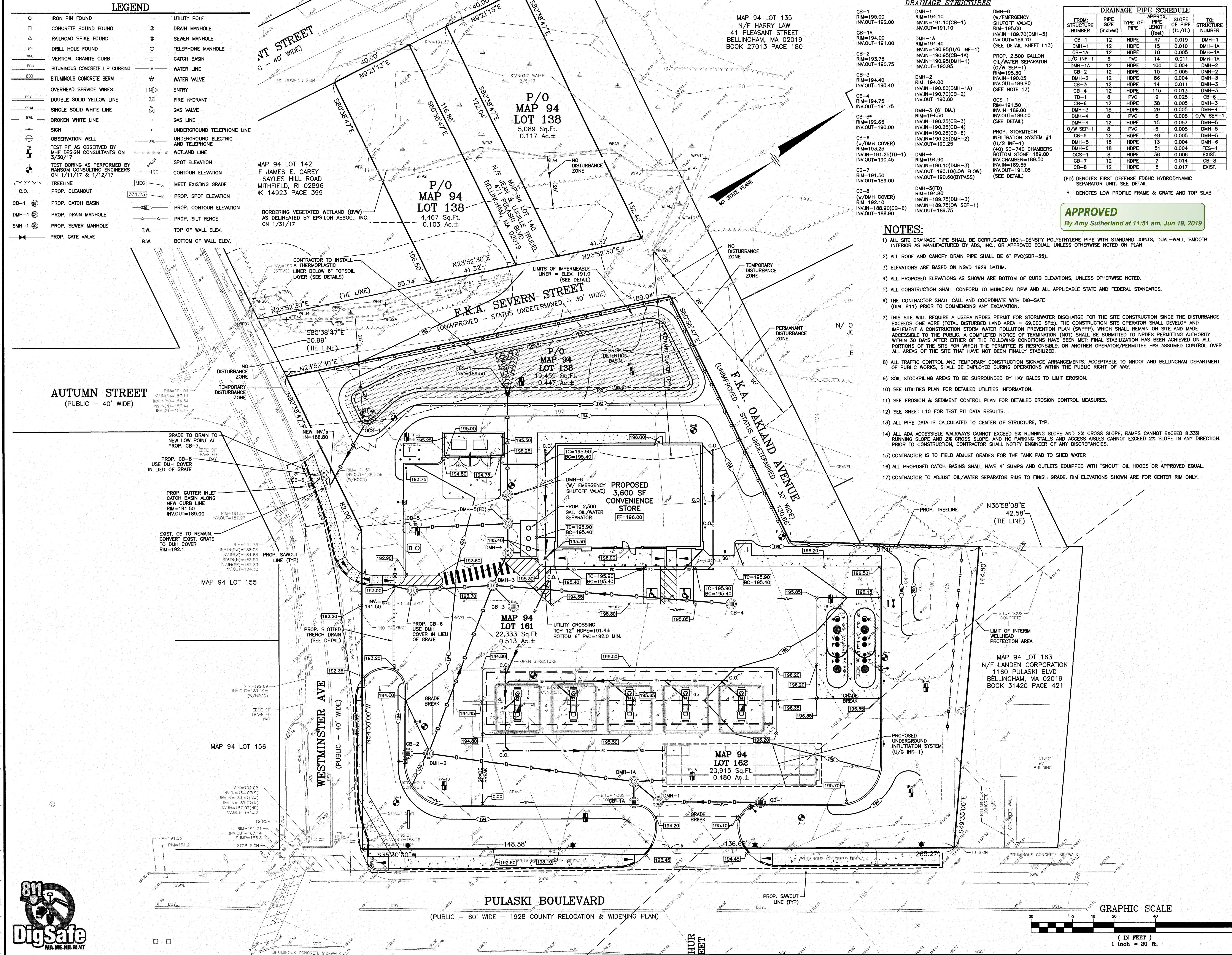
PROJECT: ASSESSORS MAP 94 - LOTS 138, 161, & 162
310 PULASKI BOULEVARD
BELLINGHAM, MA

SHEET TITLE: **SITE PLAN**

PROJECT:	DRAWING NO: L4	REVISION: E
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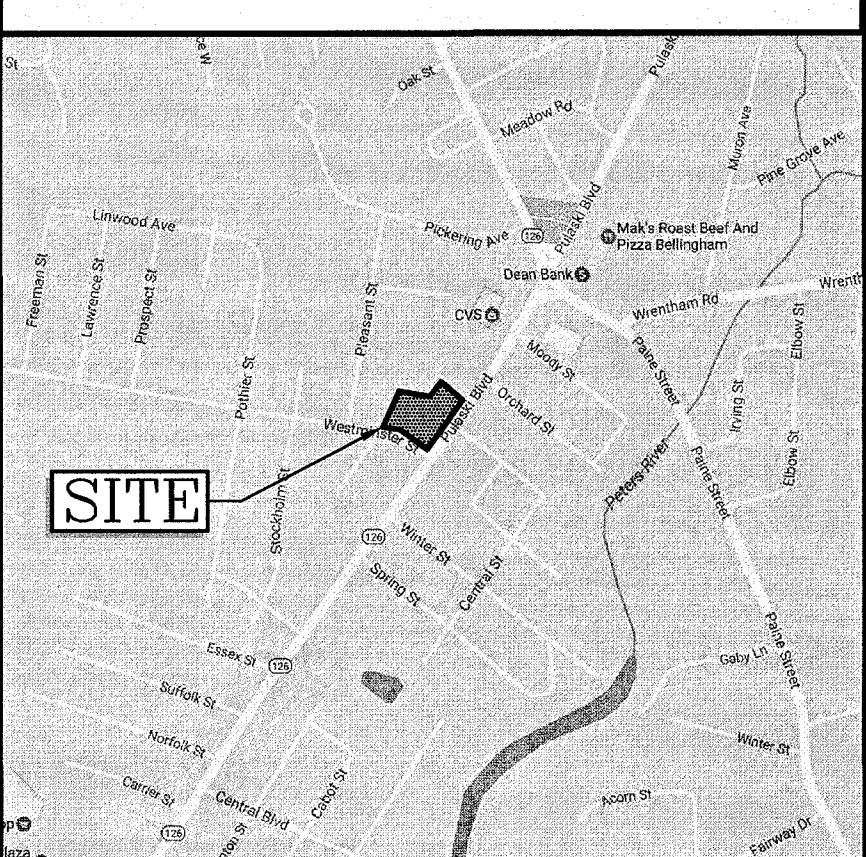
LEGEND table with symbols for various features like IRON PIN FOUND, CONCRETE BOUND FOUND, RAILROAD SPIKE FOUND, etc.



Tables for DRAINAGE STRUCTURES, DRAINAGE PIPE SCHEDULE, and DRAINAGE PIPE SCHEDULE (continued).

- NOTES: 1) ALL SITE DRAINAGE PIPE SHALL BE CORRUGATED HIGH-DENSITY POLYETHYLENE PIPE WITH STANDARD JOINTS, DUAL-WALL, SMOOTH INTERIOR AS MANUFACTURED BY ADS, INC., OR APPROVED EQUAL, UNLESS OTHERWISE NOTED ON PLAN.

Supersedes all previous issues, Approved for construction, Preliminary-not for construction, Issued to: DATE



LOCATION MAP (NOT TO SCALE)

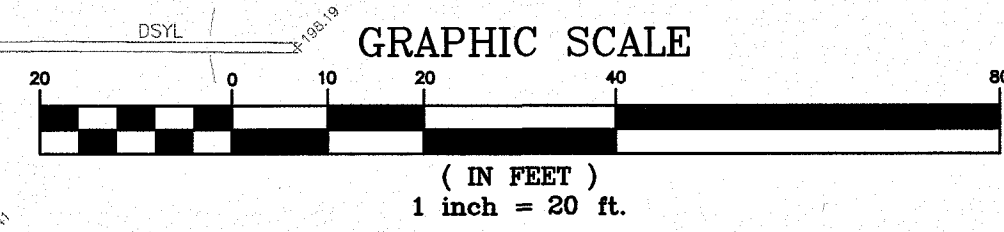
Table with 4 columns: E, D, C, B, A, REV, DATE, BY, REVISION. Contains revision history.

Revisions section with MHF Design Consultants, Inc. logo and contact information.

Professional Engineer seal for Frank C. Montero, State of Massachusetts.

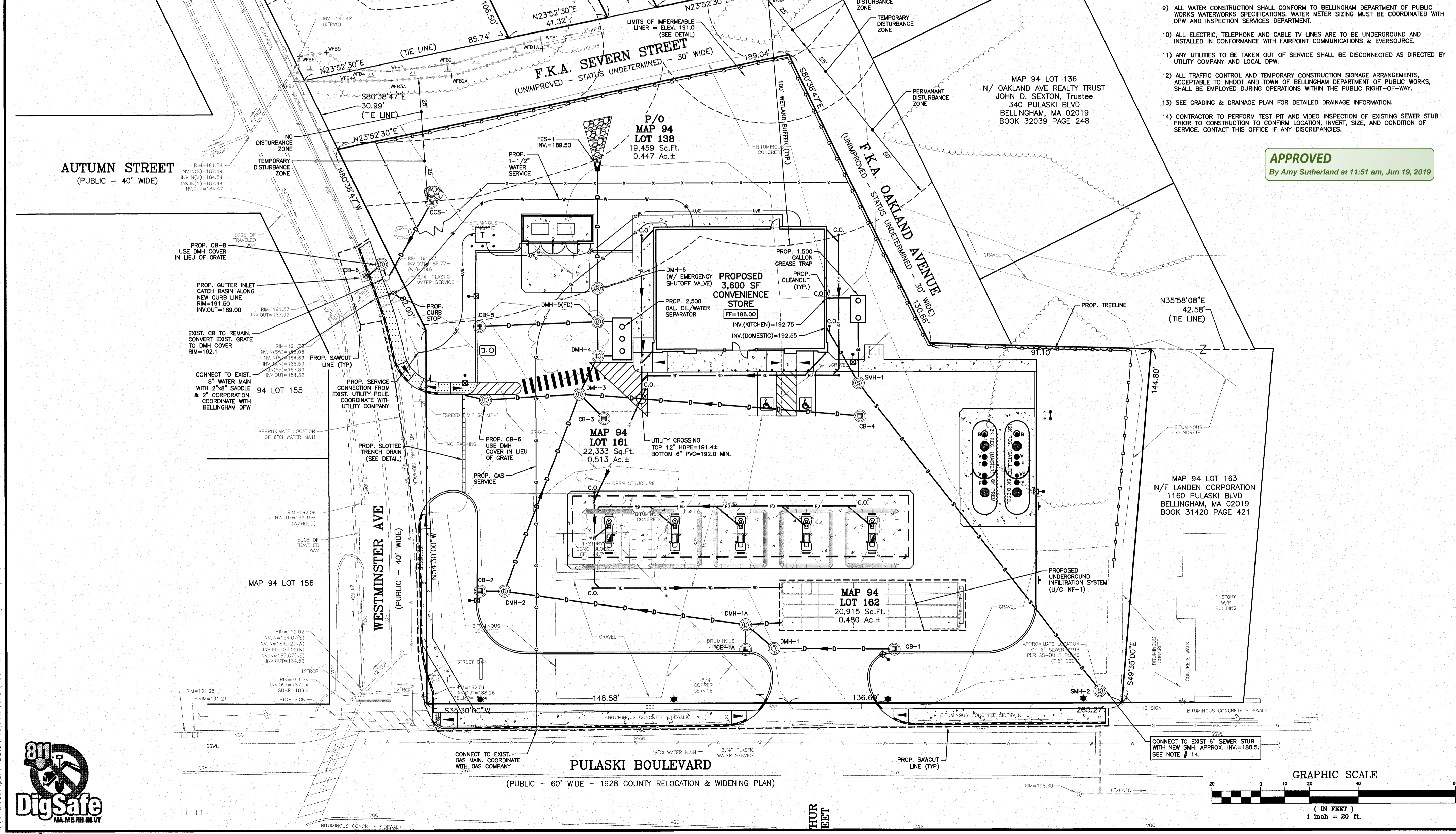
IRVING logo and project information: IRVING OIL, 190 COMMERCE WAY, PORTSMOUTH, NH 03801.

GRADING & DRAINAGE PLAN title block with project details, drawing number L5, and revision E.



LEGEND

○	IRON PIN FOUND	○	UTILITY POLE
□	CONCRETE BOUND FOUND	○	DRAIN MANHOLE
△	RAILROAD SPIKE FOUND	○	SEWER MANHOLE
○	DRILL HOLE FOUND	○	TELEPHONE MANHOLE
—	VERTICAL GRANITE CURB	□	CATCH BASIN
—	BITUMINOUS CONCRETE UP CURBING	—	WATER LINE
—	BITUMINOUS CONCRETE BERM	—	WATER VALVE
—	OVERHEAD SERVICE WIRES	—	ENTRY
—	DOUBLE SOLID YELLOW LINE	—	FIRE HYDRANT
—	SINGLE SOLID WHITE LINE	—	GAS VALVE
—	BROKEN WHITE LINE	—	GAS LINE
—	SIGN	—	UNDERGROUND TELEPHONE LINE
—	OBSERVATION WELL	—	UNDERGROUND ELECTRIC AND TELEPHONE
—	TEST PIT AS OBSERVED BY RANSOM CONSULTING ENGINEERS ON 3/30/17	—	WETLAND LINE
—	TEST BORING AS PERFORMED BY RANSOM CONSULTING ENGINEERS ON 1/11/17 & 1/12/17	—	SPOT ELEVATION
—	TREELINE	—	CONTOUR ELEVATION
—	C.O.	—	MEET EXISTING GRADE
—	CB-1	—	PROP. SPOT ELEVATION
—	DMH-1	—	PROP. CONTOUR ELEVATION
—	SMH-1	—	PROP. SILT FENCE
—	PROP. CATCH BASIN	—	T.W.
—	PROP. DRAIN MANHOLE	—	B.W.
—	PROP. SEWER MANHOLE	—	TOP OF WALL ELEV.
—	PROP. GATE VALVE	—	BOTTOM OF WALL ELEV.



SEWER PIPE SCHEDULE

FROM: STRUCTURE NUMBER	PIPE SIZE (INCHES)	TYPE OF PIPE	APPROX. PIPE LENGTH (FEET)	SLOPE OF PIPE (FT./FT.)	TO: STRUCTURE NUMBER
BLDG(K)	4	PVC	10	0.020	GREASE TRAP
BLDG(D)	4	PVC	25	0.030	SMH-1
GREASE TRAP	4	PVC	24	0.020	SMH-1
SMH-1	4	PVC	160	0.020	SMH-2

SEWER STRUCTURES

1,500 GAL. GREASE TRAP
RIM=195.50
INV.N=192.55
INV.OUT=192.30

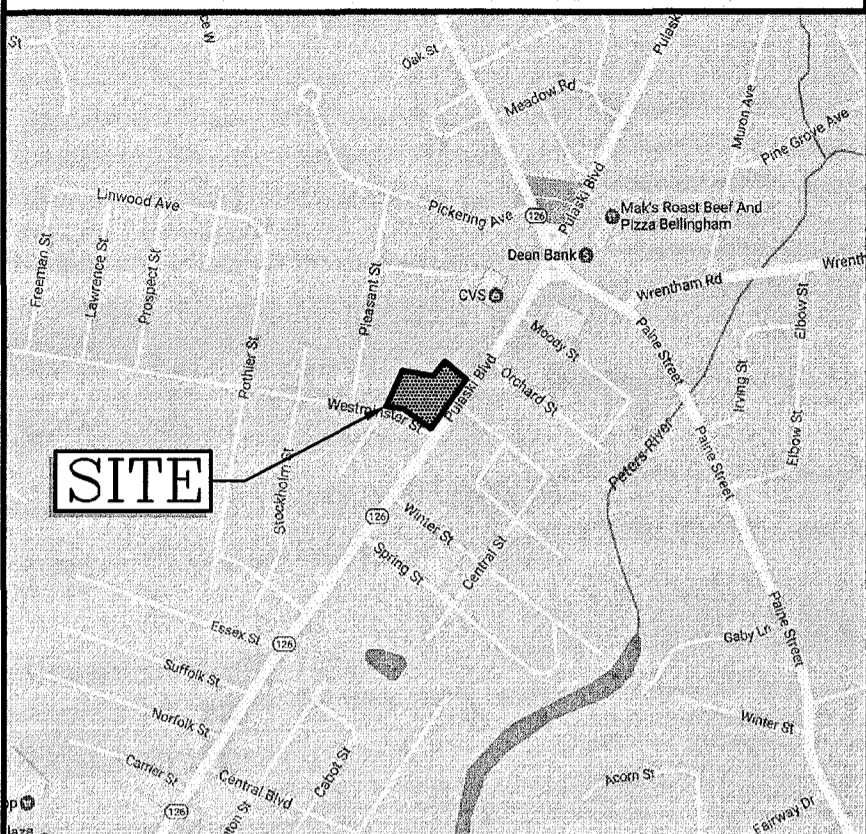
SMH-1
RIM=195.50
INV.S.N=191.80
INV.OUT=191.70

SMH-2
RIM=196.00
INV.N=188.5±
INV.OUT=188.5±

- NOTES:
- ALL SANITARY SEWER PIPE SHALL BE PVC (SDR-35), UNLESS OTHERWISE NOTED.
 - ALL WATER PIPE SHALL BE 2000 PSI UHMW POLYETHYLENE PER BELLINGHAM DPW SPECIFICATIONS, UNLESS OTHERWISE NOTED.
 - ELEVATIONS ARE BASED ON NGVD 1929 DATUM.
 - ANY UTILITY FIELD ADJUSTMENTS SHALL BE APPROVED BY THE LOCAL AUTHORITIES AND THE DEVELOPER PRIOR TO INSTALLATION.
 - THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE ONLY. THE CONTRACTOR IS TO VERIFY EXACT LOCATION PRIOR TO CONSTRUCTION. THE CONTRACTOR IS TO NOTIFY THE DESIGN ENGINEER OF ANY DISCREPANCIES.
 - ALL CONSTRUCTION SHALL CONFORM TO MUNICIPAL DPW AND ALL APPLICABLE STATE AND FEDERAL STANDARDS.
 - THE CONTRACTOR SHALL CALL AND COORDINATE WITH DIG-SAFE (811) PRIOR TO COMMENCING ANY EXCAVATION.
 - ALL SEWER CONSTRUCTION SHALL CONFORM TO DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS.
 - ALL WATER CONSTRUCTION SHALL CONFORM TO BELLINGHAM DEPARTMENT OF PUBLIC WORKS WATERWORKS SPECIFICATIONS. WATER METER SIZING MUST BE COORDINATED WITH DPW AND INSPECTION SERVICES DEPARTMENT.
 - ALL ELECTRIC, TELEPHONE AND CABLE TV LINES ARE TO BE UNDERGROUND AND INSTALLED IN CONFORMANCE WITH FAIRPOINT COMMUNICATIONS & EVERSOURCE.
 - ANY UTILITIES TO BE TAKEN OUT OF SERVICE SHALL BE DISCONNECTED AS DIRECTED BY UTILITY COMPANY AND LOCAL DPW.
 - ALL TRAFFIC CONTROL AND TEMPORARY CONSTRUCTION SIGNAGE ARRANGEMENTS, ACCEPTABLE TO NHDOT AND TOWN OF BELLINGHAM DEPARTMENT OF PUBLIC WORKS, SHALL BE EMPLOYED DURING OPERATIONS WITHIN THE PUBLIC RIGHT-OF-WAY.
 - SEE GRADING & DRAINAGE PLAN FOR DETAILED DRAINAGE INFORMATION.
 - CONTRACTOR TO PERFORM TEST PIT AND VIDEO INSPECTION OF EXISTING SEWER STUB PRIOR TO CONSTRUCTION TO CONFIRM LOCATION, INVERT, SIZE, AND CONDITION OF SERVICE. CONTACT THIS OFFICE IF ANY DISCREPANCIES.

APPROVED
By Amy Sutherland at 11:51 am, Jun 19, 2019

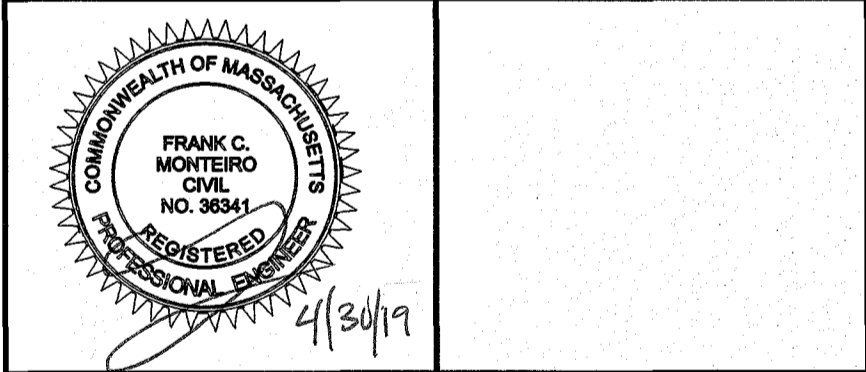
- ☐ SUPERSEDES ALL PREVIOUS ISSUES
 - ☐ APPROVED FOR CONSTRUCTION
 - ☐ PRELIMINARY-NOT FOR CONSTRUCTION
 - ☐ ISSUED TO: _____
- DATE _____



REVISIONS

REV	DATE	BY	REVISION
E	4/30/19	HS	DELETE ONE DISPENSER/ADD BOLLARDS AT STORE/MOVE SMH-1
D	9/6/17	FCM	REV. DRIVEWAY/DETENTION POND
C	8/4/17	FCM	MISC. REVISIONS PER PEER REVIEW COMMENTS 8/2/17
B	7/24/17	FCM	MISC. REVISIONS PER PEER REVIEW COMMENTS 7/10/17
A	5/26/17	FCM	ADD WETLAND BUFFER ZONES

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Salem, New Hampshire 03079
(603) 893-0720
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DRAWN BY:	NIG	DESIGNED BY:	FCM
SCALE:	1"=20'	APPROVED BY:	
DATE:	5/18/17	PROPERTY NO.:	
CAD FILE: 40519P		REF-BLK:	
PLOTTED:		REF-BLK:	

IRVING OIL
190 COMMERCE WAY
PORTSMOUTH, NH 03801

PROJECT: ASSESSORS MAP 94 - LOTS 138, 161, & 162
310 PULASKI BOULEVARD
BELLINGHAM, MA

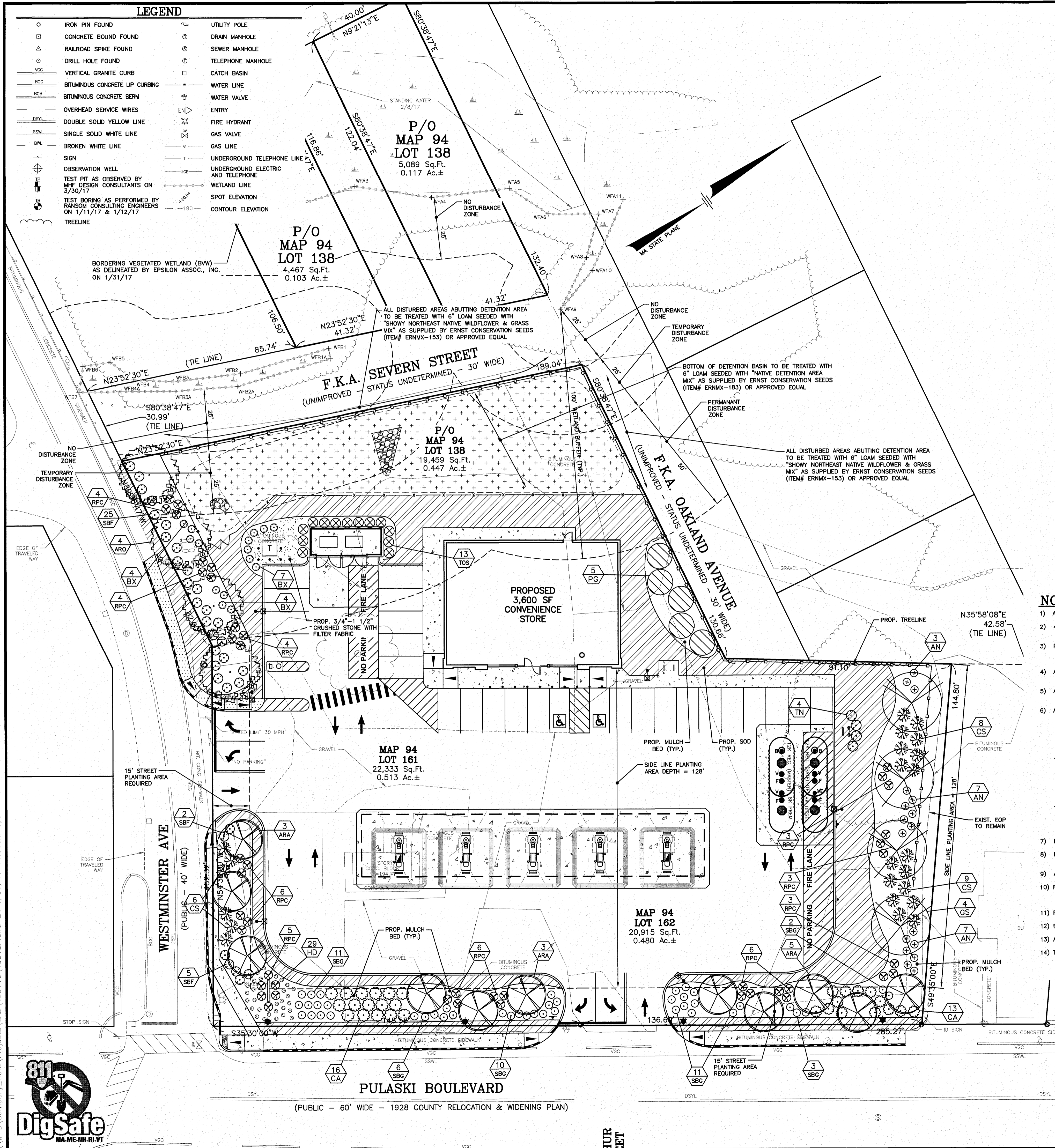
SHEET TITLE: UTILITY PLAN

PROJECT:	DRAWING NO:	REVISION:
	L6	E

COMPANY SUPERVISOR AND CONTRACTOR TO VERIFY ALL MEASUREMENTS ON WORK ON AT SITE. THIS DRAWING IS THE PROPERTY OF IRVING OIL LTD. AND SHALL BE RETURNED ON COMPLETION OF WORK.



MHF PROJECT NO. 405116 SHEET 7 OF 14



Plant Schedule					
SYMB.	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	COMMENTS
SHRUBS					
BX	15	BUXUS MICROPHYLLA CULTVAR	BOXWOOD	24" HT. MIN.	B & B
CA	29	CORNUS ALBA ELEGANTISSIMA	VARIEGATED RED TWIG DOGWOOD	24" HT. MIN.	B & B
CS	23	CORNUS SERICEA	RED OSIER DOGWOOD - NATIVE	24" HT. MIN.	B & B
AN	17	AZALEA HYBRID	AZALEA	24" HT. MIN.	B & B
TN	4	TAXUS X MEDIA CULTVAR	YEW SPREADING GLOVE	24" HT. MIN.	B & B
RPC	45	RHODODENDRON PJM COMPACTA	RHODODENDRON PJM COMPACT	2-2.5' HT.	3' HT. COMPACT GROWTH
SBG	43	SPIRAEA X BUMALDI "GOLDMOUND"	GOLDMOUND SPIREA	24" HT. MIN.	3 GAL.
SBF	32	SPIRAEA X BUMALDI "GOLD FLAME"	GOLD FLAME SPIREA	24" HT. MIN.	3 GAL.
TOS	13	THUJA OCCIDENTALIS "SMARAGD"	EMERALD GREEN ARBORVITAE	6' - 7' HT	B & B OR 5 GAL.
SHADE & ORNAMENTAL TREES					
ARO	4	ACER RUBRUM "OCTOBER GLORY"	OCTOBER GLORY RED MAPLE	2 1/2"-3" CAL.	B & B
ARA	11	ACER REBRUM "ARMSTRONG"	ARMSTRONG COLUMNAR RED MAPLE	2 1/2"-3" CAL.	B & B
GS	4	GLEDITSIA TRIACANTHOS CULTVAR	HONEY LOCUST THORNLESS	2 1/2"-3" CAL.	B & B
PG	5	PICEA GLAUCA	WHITE SPRUCE	2 1/2"-3" CAL.	B & B
PERENNIALS					
HD	29	HEMEROCALLIS "STELLA D'ORO"	DWARF YELLOW DAYLILY	15"-18" HT. 1 GAL.	24" O.C.

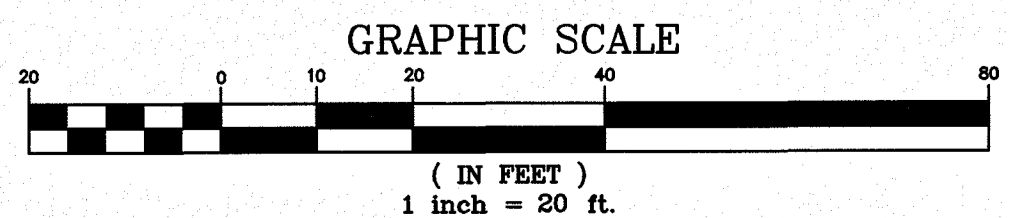
1 XXX PLANT QUANTITY
XXX PLANT DESIGNATION
PROPOSED SOD

TOWN OF BELLINGHAM LANDSCAPE REQUIREMENTS			
SECTION OF BY-LAW	REQUIRED	REQUIRED	PROVIDED
240-66. PLANTINGS	A. TO BE CREDITED TOWARDS MEETING THE REQUIREMENTS: TREES MUST BE AT LEAST 2 1/2" CAL. AND BE AT LEAST 4' ABOVE GRADE, BE OF A SPECIES COMMON IN THE AREA, AND REACH AN ULTIMATE HEIGHT OF AT LEAST 30 FEET. SHRUBS MUST BE AT LEAST 24" HT. AT TIME OF BUILDING OCCUPANCY, REACH AN ULTIMATE HEIGHT OF AT LEAST 36", AND BE OF A SPECIES COMMON TO THE AREA. B. THE NUMBER OF TREES IN THE PLANTING AREA MUST BE EQUAL, NOT LESS THAN THE PLANTING AREA LENGTH IN FEET DIVIDED BY 30 AND THE NUMBER OF SHRUBS MUST EQUAL, NOT LESS THAN THE PLANTING AREA LENGTH IN FEET DIVIDED BY 3.	YES	YES
240-67. PLANTING AREAS	A. STREET PLANTING AREA: REQUIRED FOR PREMISES ABUTTING ANY STREET. REQUIRED STREET PLANTING SHALL BE PROVIDED WITHIN 15 FT. OF THE STREET PROPERTY LINE ALONG THE ENTIRE STREET FRONTAGE EXCEPT AT DRIVES. PULASKI BLVD: 225.27 LF FRONTAGE/30=8 TREES 225.27 LF FRONTAGE/3=75 SHRUBS WESTMINSTER AVE: 204.32 LF FRONTAGE/30=7 TREES 204.32 LF FRONTAGE/3=68 SHRUBS B. SIDELINE PLANTING AREA: REQUIRED FOR ALL PREMISES ABUTTING ANY ARTERIAL STREET. REQUIRED SIDELINE PLANTING SHALL BE PROVIDED WITHIN 5 FT. OF THE SIDE LOT LINE BETWEEN THE FRONT LOT LINE AND THE BUILDING SETBACK (AS BUILT, NOT REQUIRED). PULASKI BLVD: 128' LF FRONTAGE/30=4 TREES 128' LF FRONTAGE/3=43 SHRUBS C. PARKING AREA PLANTINGS: A MIN. OF 5% OF THE INTERIOR AREA OF THE PARKING LOTS CONTAINING 30 OR MORE SPACES MUST BE PLANTED, TO CONTAIN A MIN. OF 1 TREE AND 4 SHRUBS EXCLUSIVE OF PERIMETER PLANTINGS MUST BE PLANTED FOR EVERY 1,500 SF OF PARKING LOT. PLANTING AREAS MUST CONTAIN NOT LESS THAN 40 SF OF UNPAVED SOIL AREA.	8 TREES 75 SHRUBS 7 TREES 68 SHRUBS 4 TREES 43 SHRUBS N/A - TOTAL PARKING = 27 SPACES	8 TREES 88 SHRUBS 7 TREES 68 SHRUBS 4 TREES 43 SHRUBS N/A

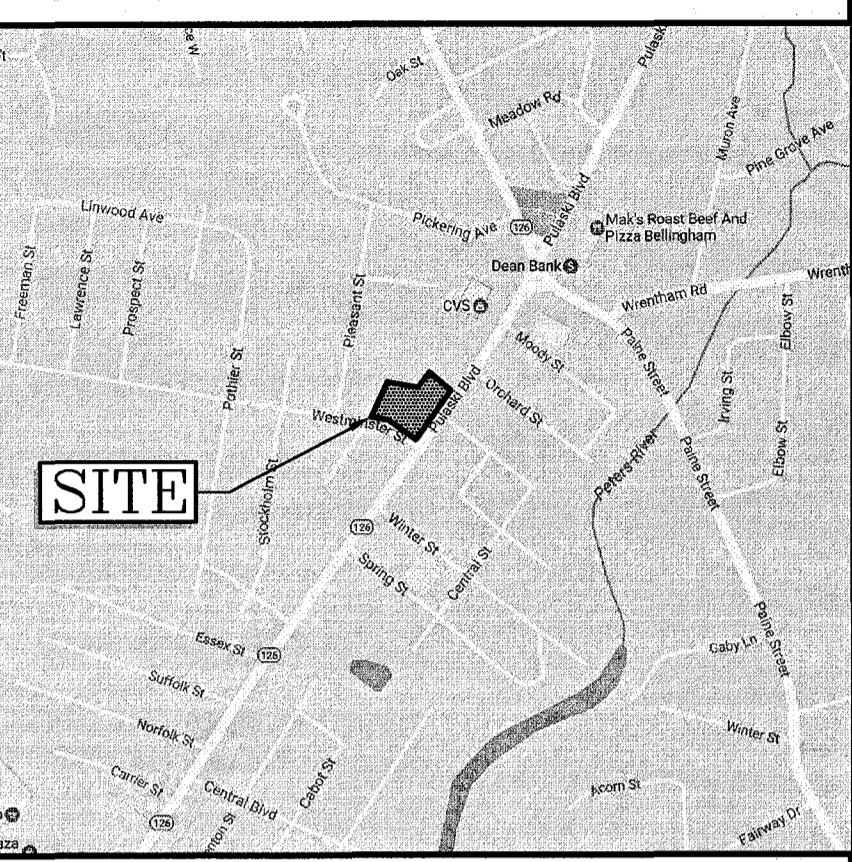
NOTES:

- ALL PLANT STOCK SHALL CONFORM TO ANSI Z260.1 - NURSERY STOCK, LATEST EDITION (AMERICAN ASSOCIATION OF NURSERYMEN, INC.).
- 4" AGED PINEBARK MULCH AND A WEED BARRIER (TY-PAR FABRIC OR APPROVED EQUAL) SHALL BE APPLIED TO ALL SHRUB AND GROUND COVER BEDS. INSTALL WEED BARRIER AS PER MANUFACTURERS RECOMMENDATIONS.
- PLANT PIT BACKFILL SHALL BE MIXED AT A RATE OF 7 PARTS OF TOPSOIL TO 2 PARTS OF DEHYDRATED COW MANURE. SLOW RELEASE FERTILIZER SHALL BE APPLIED AS PER MANUFACTURERS RECOMMENDATIONS. USE EXISTING ON-SITE TOPSOIL AS PART OF BACKFILL WHEN AVAILABLE.
- ALL LANDSCAPED AREAS NOT PLANTED WITH TREES, SHRUBS OR GROUND COVER SHALL BE RESTORED WITH SEED OR SOD AS INDICATED ON PLANS.
- ALL SOD, SEED, SHRUB AND TREE AREAS SHALL RECEIVE 6" PH CORRECTED TOPSOIL AFTER TOPSOIL IS SPREAD EVENLY OVER ENTIRE AREA, ALL CLODS, LUMPS, STONES AND OTHER DELETERIOUS MATERIAL SHALL BE RAKED UP AND REMOVED.
- APPLICATION OF GRASS SEED, FERTILIZERS AND MULCH SHALL BE ACCOMPLISHED BY BROADCAST SEEDING OR HYDROSEEDING AT THE RATES OUTLINED BELOW:
LIMESTONE: 100 LBS./1,000 SQUARE FEET.
FERTILIZER: 500 LBS./ACRE OF 10-20-20 OR 1000 LBS./ACRE OF 5-10-10.
MULCH: HAY MULCH APPROXIMATELY 3 TONS/ACRE
SEED MIX (SLOPES LESS THAN 4:1)
CREeping RED FESCUE 20
TALL FESCUE 15
PERENNIAL RYEGRASS 5
REDTOP 2
SLOPE MIX (SLOPES GREATER THAN 4:1)
CREeping RED FESCUE 20
TALL FESCUE 20
BIRDSFOOT TREEFOIL 48
- FOR TEMPORARY EROSION CONTROL NOTES, SEE DETAIL SHEET.
- NEWLY GRADED AREAS REQUIRING SLOPE PROTECTION OUTSIDE OF NORMAL SEEDING SEASON SHALL RECEIVE STRAW MULCH AT THE APPROXIMATE RATE OF NO MORE THAN 3 TONS PER ACRE.
- ANY CHANGES IN PLANT LOCATIONS OR TYPES SHALL BE APPROVED BY THE DEVELOPER AND TOWN PRIOR TO INSTALLATION.
- FOR SEED (& SOD) AREAS USE EXISTING TOPSOIL, IF AVAILABLE, FOR A 4" DEPTH (3/4" SCREEN OR LESS) AND TOP DRESS WITH 2" OF SCREENED TOPSOIL, UNLESS OTHERWISE NOTED ON PLAN. ALL LOAM OR TOPSOIL IMPORTED OR RE-UTILIZED FROM ON SITE SHALL BE TESTED AND AMENDED AS DIRECTED BY DEVELOPER TO MEET MINIMUM REQUIREMENTS.
- PLANTINGS SHALL BE GUARANTEED BY THE CONTRACTOR FOR ONE YEAR AFTER WRITTEN ACCEPTANCE OF THE DEVELOPER.
- EXPOSED SOILS SHALL BE SEED OR HAY MULCHED WITHIN 72 HOURS OF FINAL GRADING.
- ALL WORK SHALL BE COORDINATED WITH APPLICABLE EPA NPDES/SWPPP PERMIT WORK AS REQUIRED.
- THE CONTRACTOR SHALL INSTALL AN IRRIGATION SYSTEM TO PROVIDE COMPLETE COVERAGE OF ALL SEED AREAS AND SHRUB BEDS WITHIN THE PROPERTY. THE SYSTEM SHALL INCLUDE A TIMER AND SHALL BE INSTALLED IN ACCORDANCE WITH LOCAL CODES. IRRIGATION SYSTEM SHALL BE ROUTED TO FREESTANDING SIGN PLANTER BED AND ANY PLANTER BEDS WITHIN PARKING LOT.

APPROVED
By Amy Sutherland at 11:52 am, Jun 19, 2019

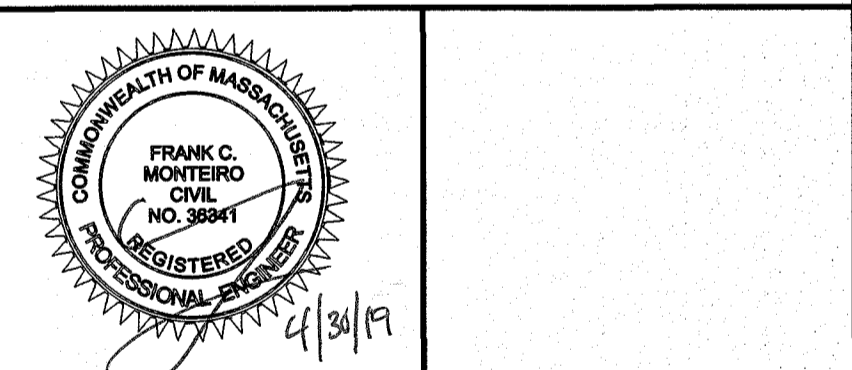


- ☐ SUPERSEDES ALL PREVIOUS ISSUES
- ☐ APPROVED FOR CONSTRUCTION
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- ☐ ISSUED TO: _____
- DATE: _____



REVISIONS			
REV	DATE	BY	REVISION
E	4/30/19	HS	DELETE ONE DISPENSER/ADD BOLLARDS AT STORE
D	9/6/17	FCM	REV. DRIVEWAY/DETENTION POND
C	8/4/17	FCM	MISC. REVISIONS PER PEER REVIEW COMMENTS 8/2/17
B	7/24/17	FCM	MISC. REVISIONS PER PEER REVIEW COMMENTS 7/10/17
A	5/26/17	FCM	ADD WETLAND BUFFER ZONES

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DRAWN BY:	NIG	DESIGNED BY:	FCM
SCALE:	1"=20'	APPROVED BY:	
DATE:	5/18/17	PROPERTY NO.:	
CAD FILE: 405116.dwg		REF-BLK:	
PLOTTED:		REF-BLK:	

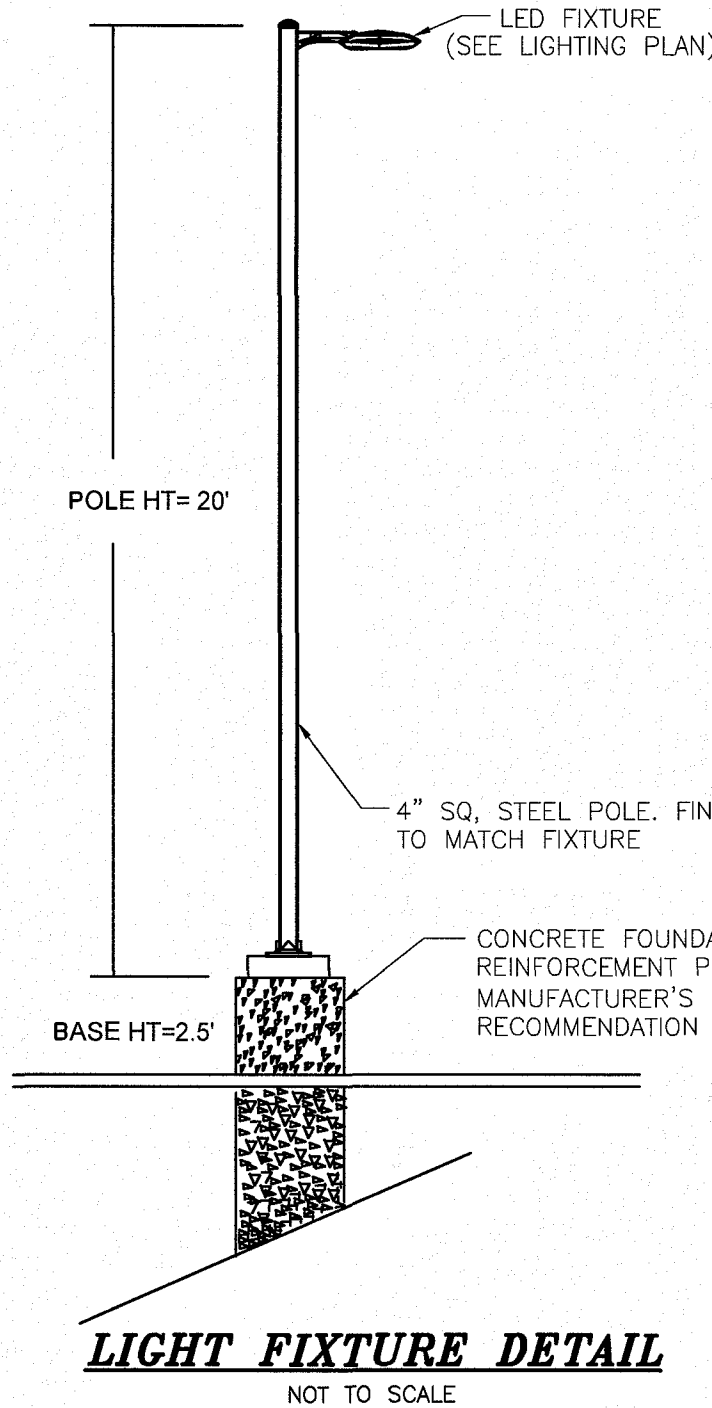
IRVING OIL
190 COMMERCE WAY
PORTSMOUTH, NH 03801

PROJECT: ASSESSORS MAP 94 - LOTS 138, 161, & 162
310 PULASKI BOULEVARD
BELLINGHAM, MA

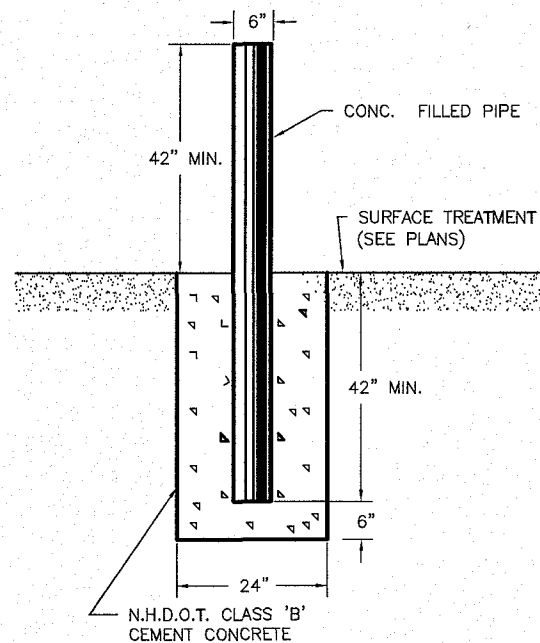
SHEET TITLE: **LANDSCAPE PLAN**

PROJECT:	DRAWING NO: L8	REVISION: E
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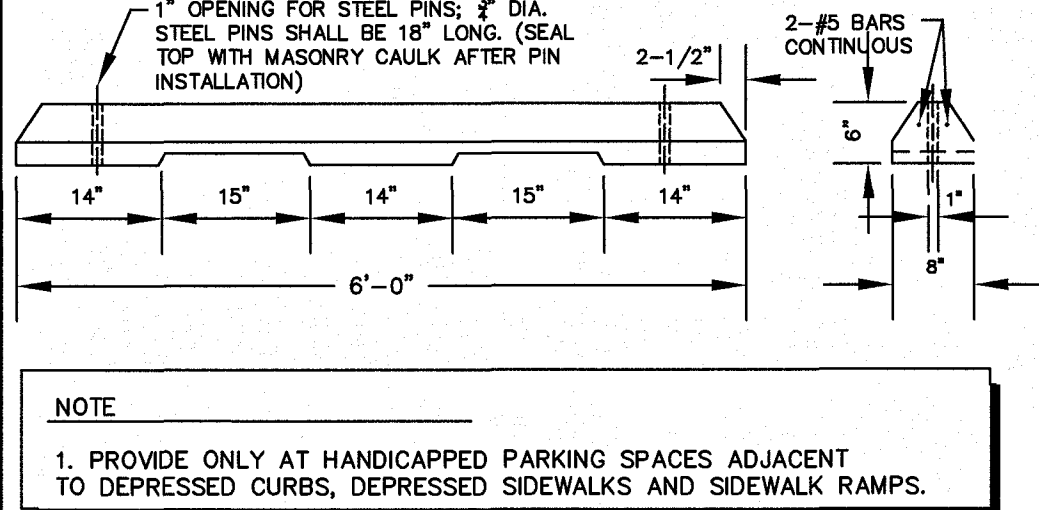
COMPANY SUPERVISOR AND CONTRACTOR TO VERIFY ALL MEASUREMENTS ON WORK OR AT SITE. THIS DRAWING IS THE PROPERTY OF IRVING OIL LTD. AND SHALL BE RETURNED ON COMPLETION OF WORK.



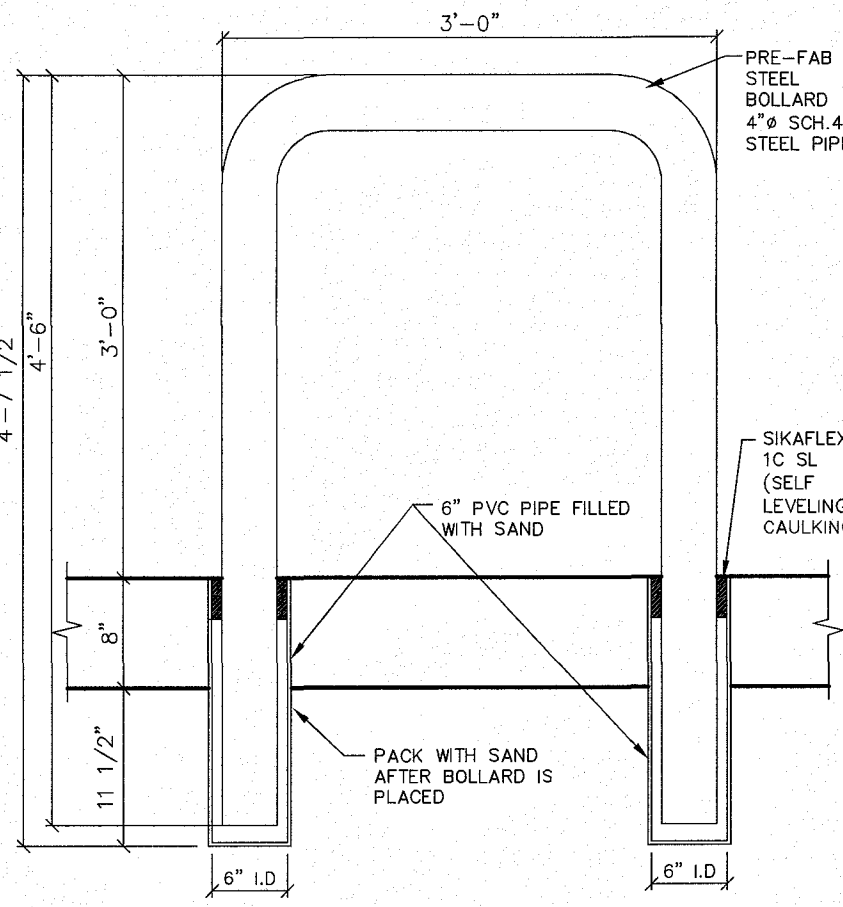
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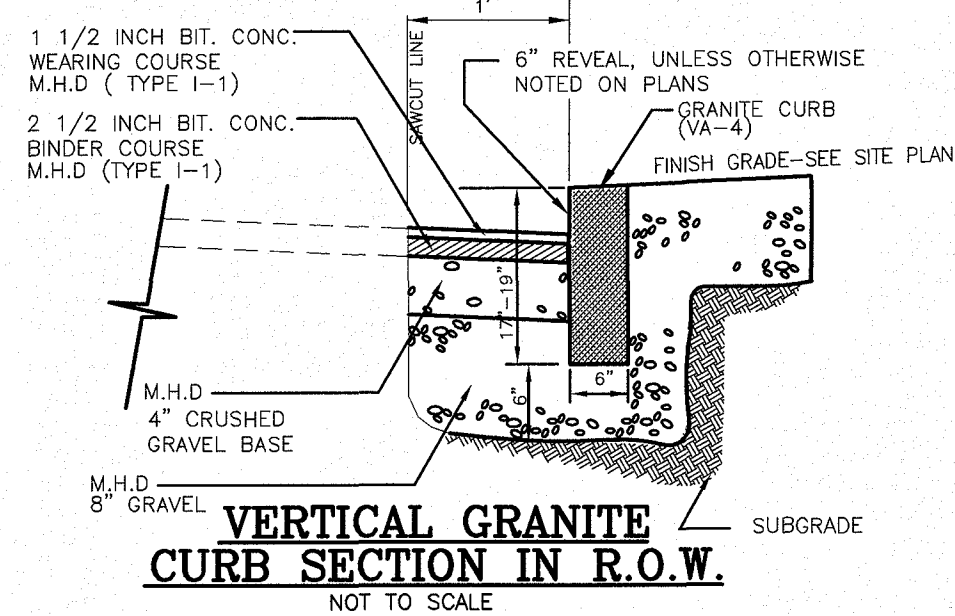
PIPE BOLLARD DETAIL
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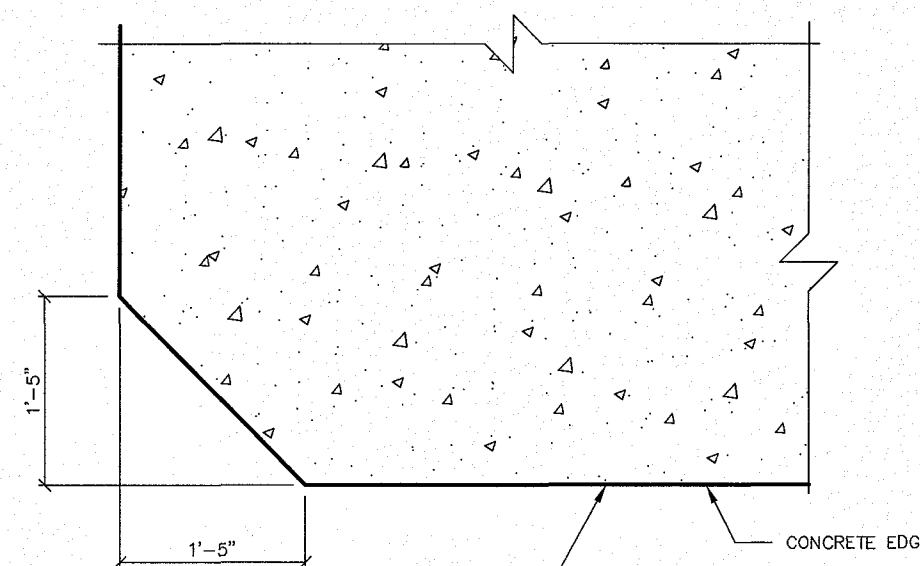
CONCRETE CURB STOP
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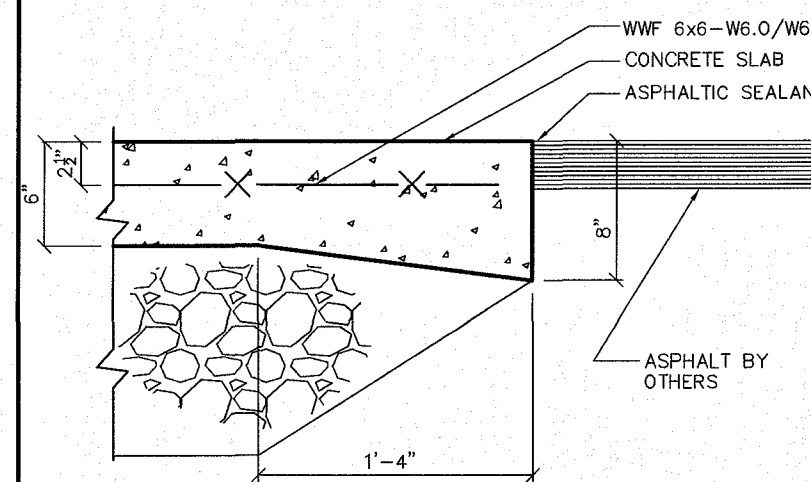
TYPICAL U-SHAPED BOLLARD
NOT TO SCALE



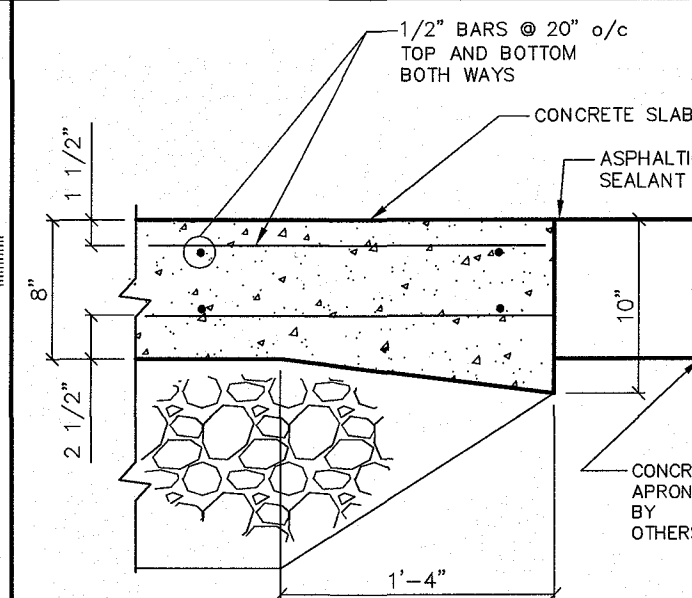
VERTICAL GRANITE CURB SECTION IN R.O.W.
NOT TO SCALE



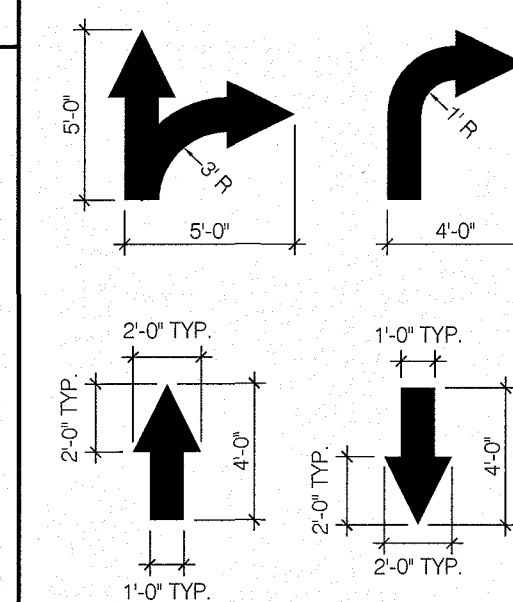
DISPENSER APRON CHAMFER DETAIL
NOT TO SCALE



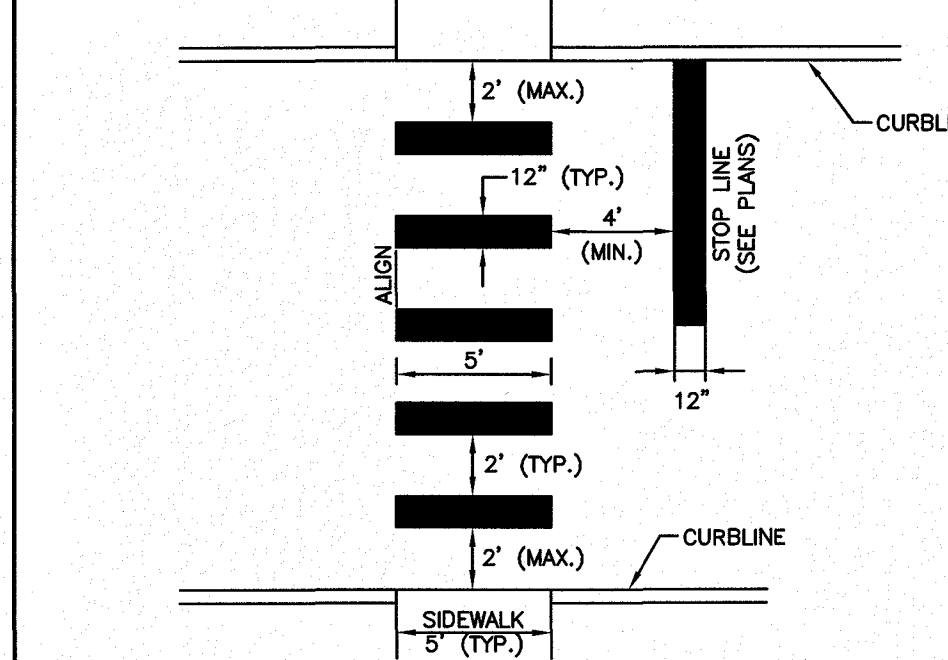
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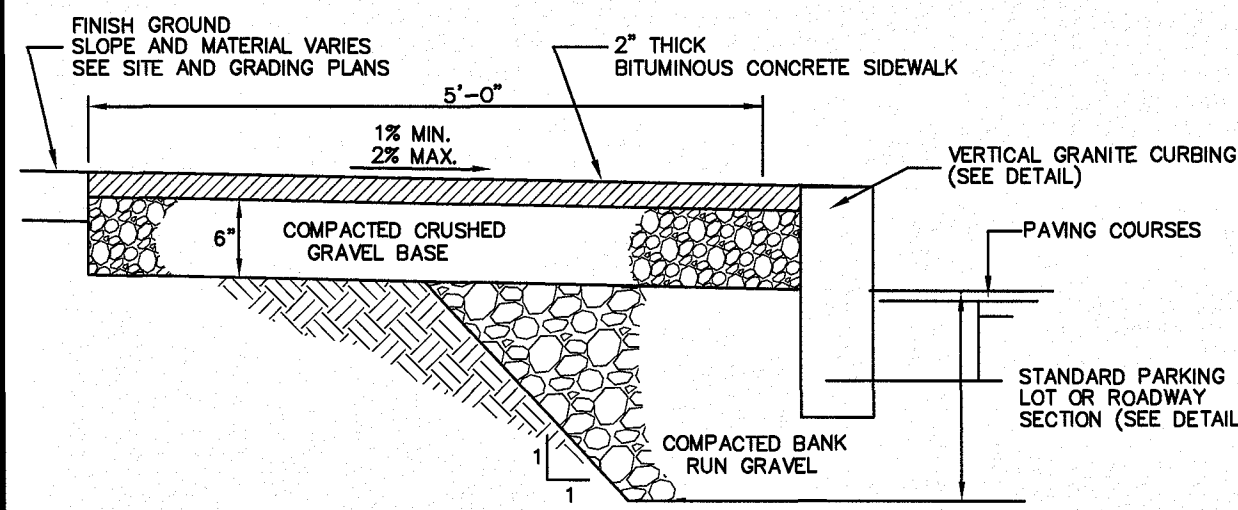
TANK APRON EDGE DETAIL
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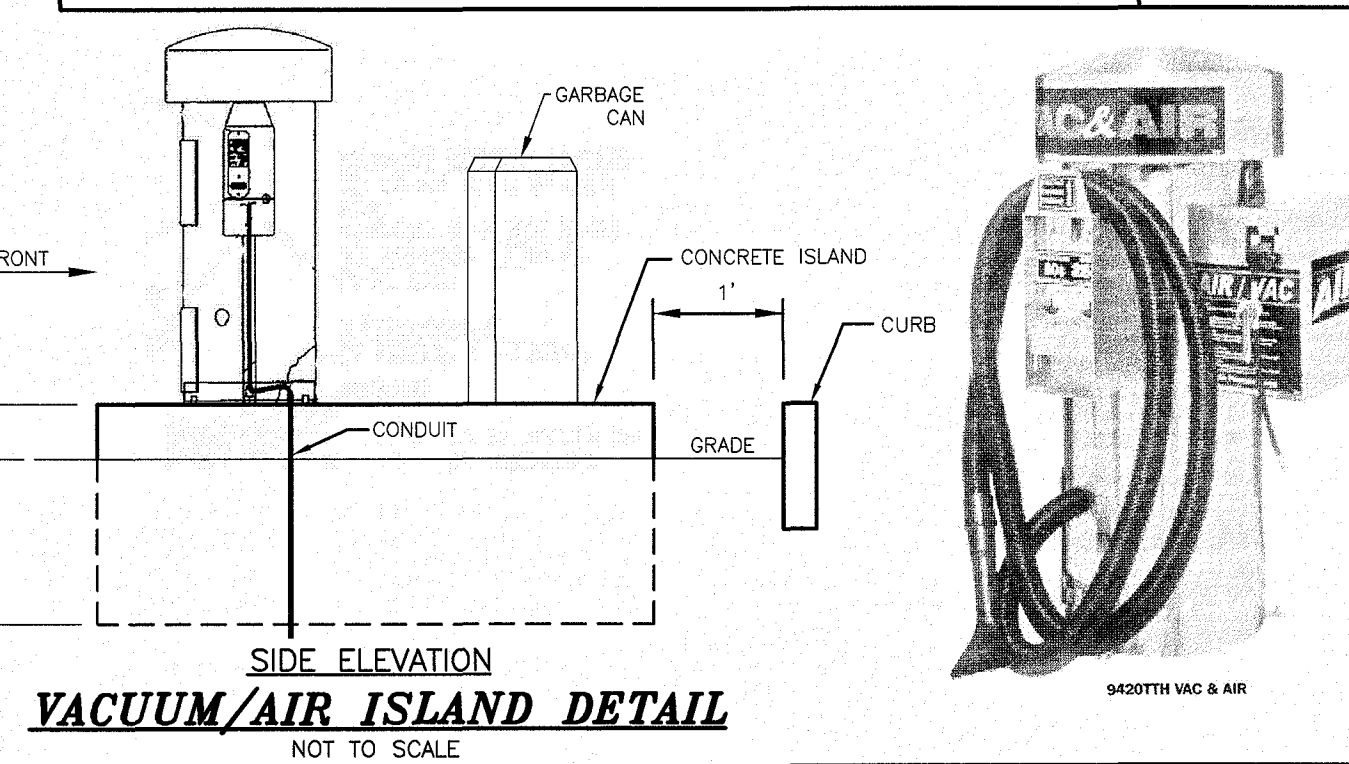
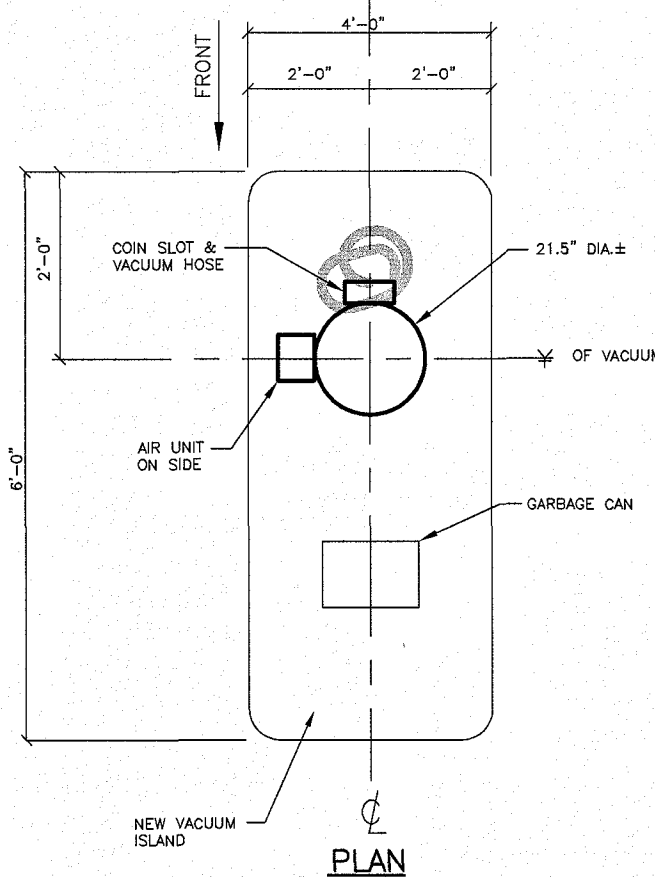
ON-SITE PAVEMENT MARKING DETAILS
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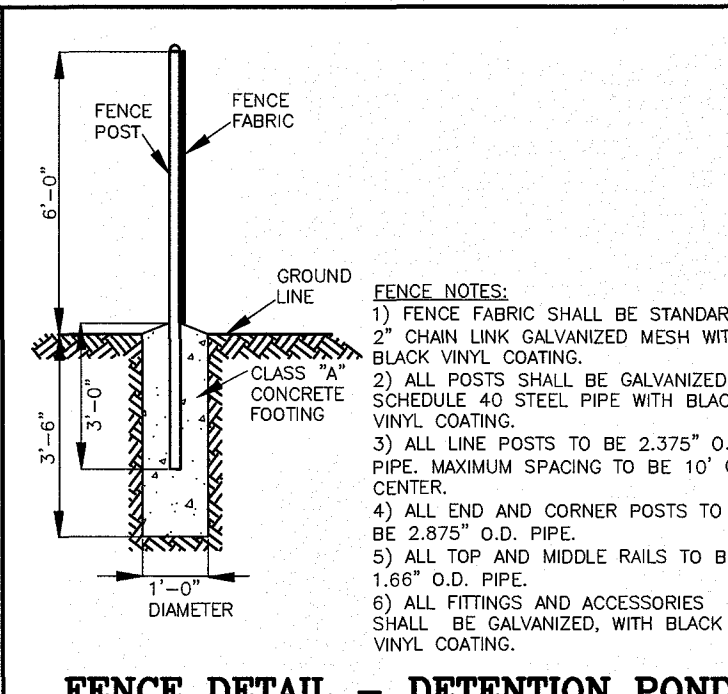
CROSSWALK
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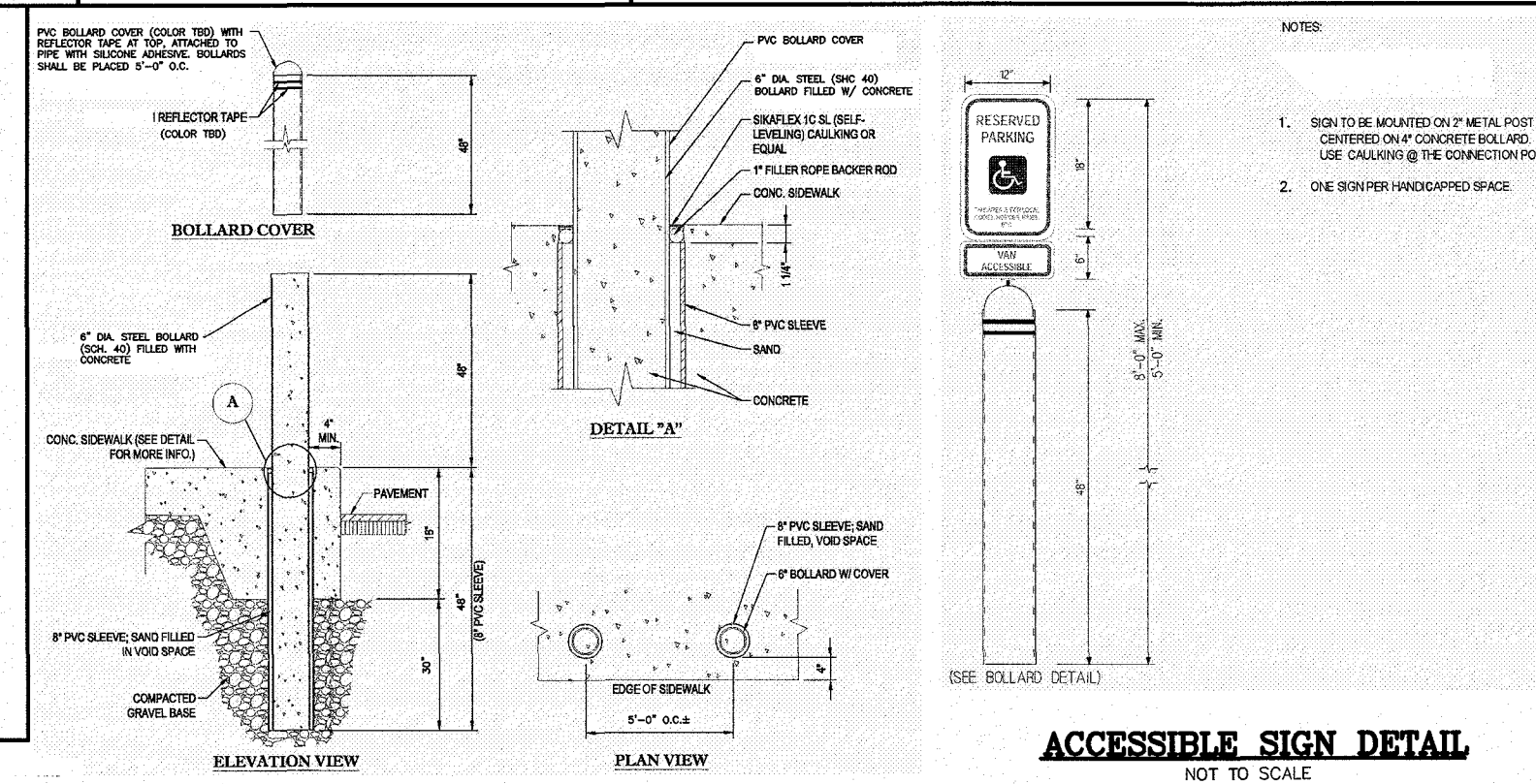
BITUMINOUS SIDEWALK
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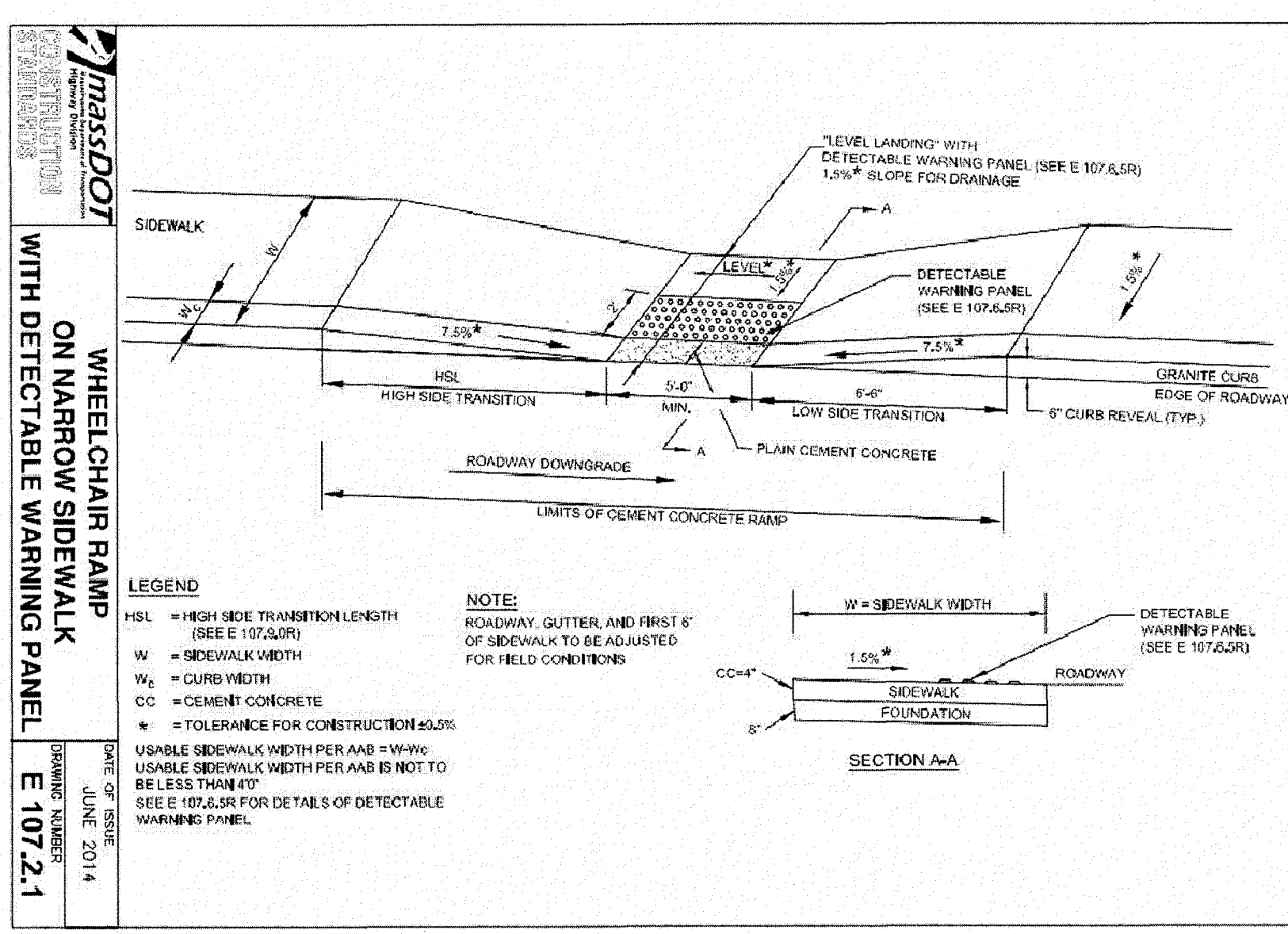
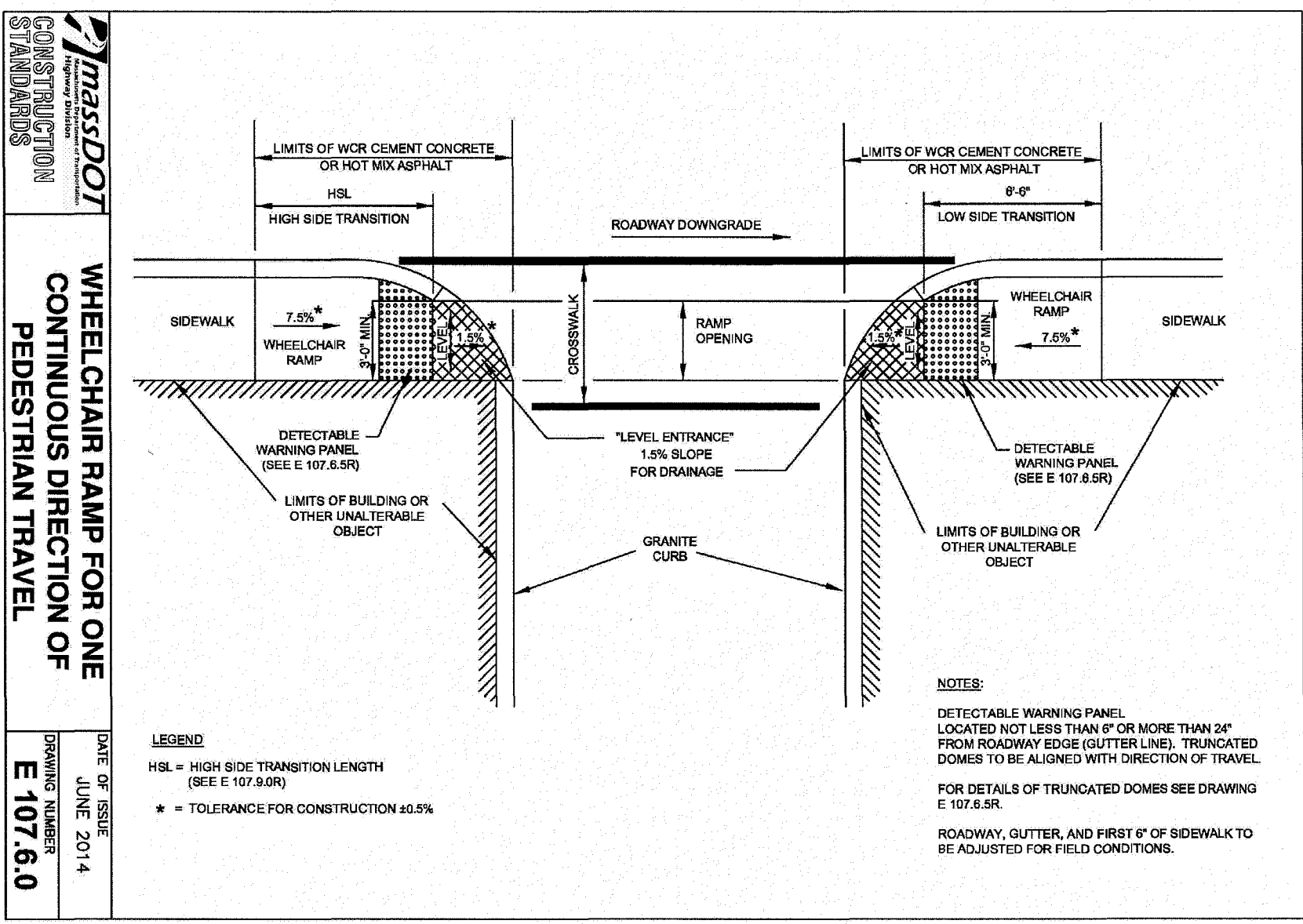
VACUUM/AIR ISLAND DETAIL
NOT TO SCALE



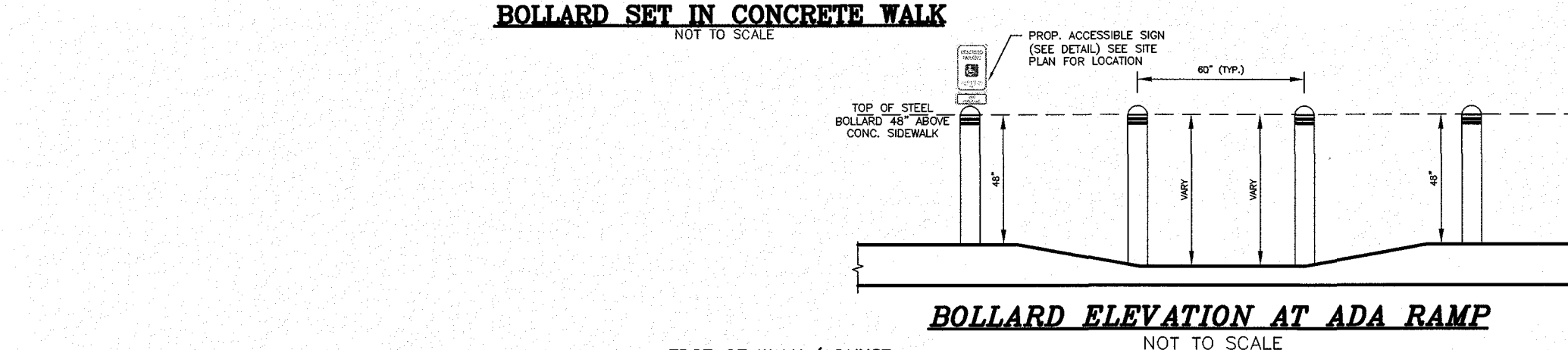
FENCE DETAIL - DETENTION POND
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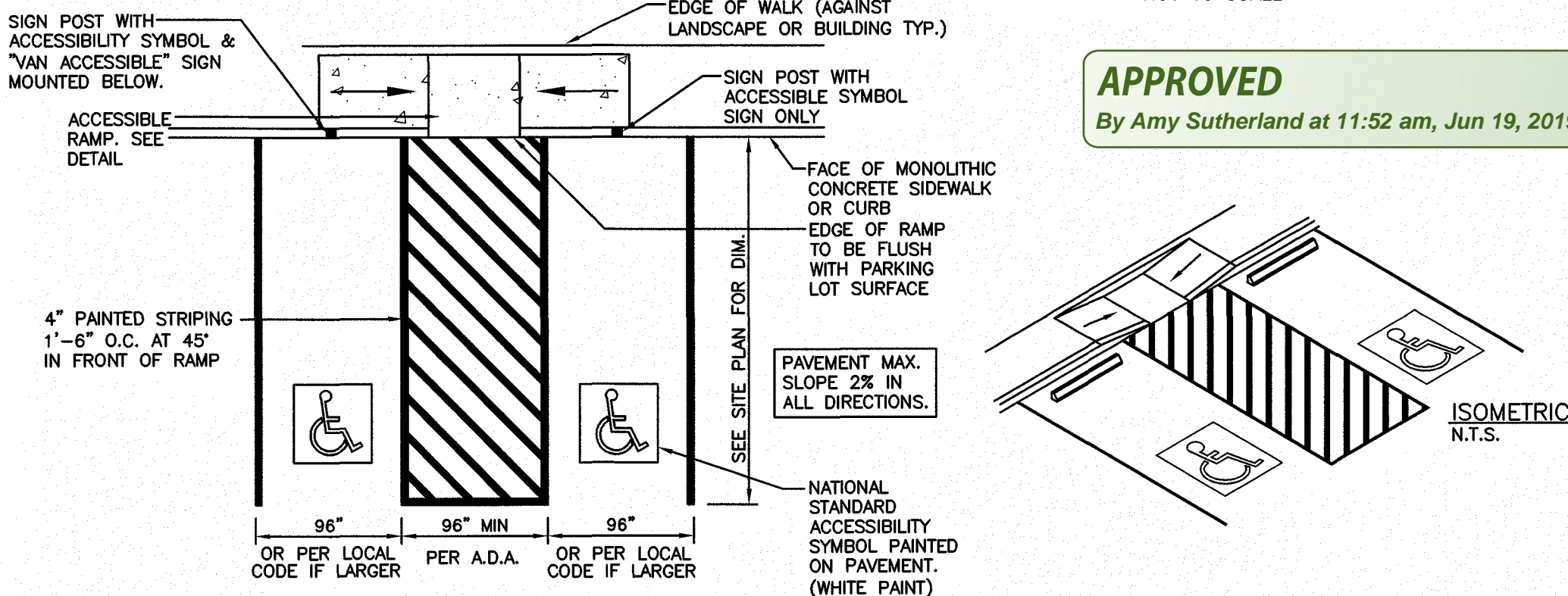
ACCESSIBLE SIGN DETAIL
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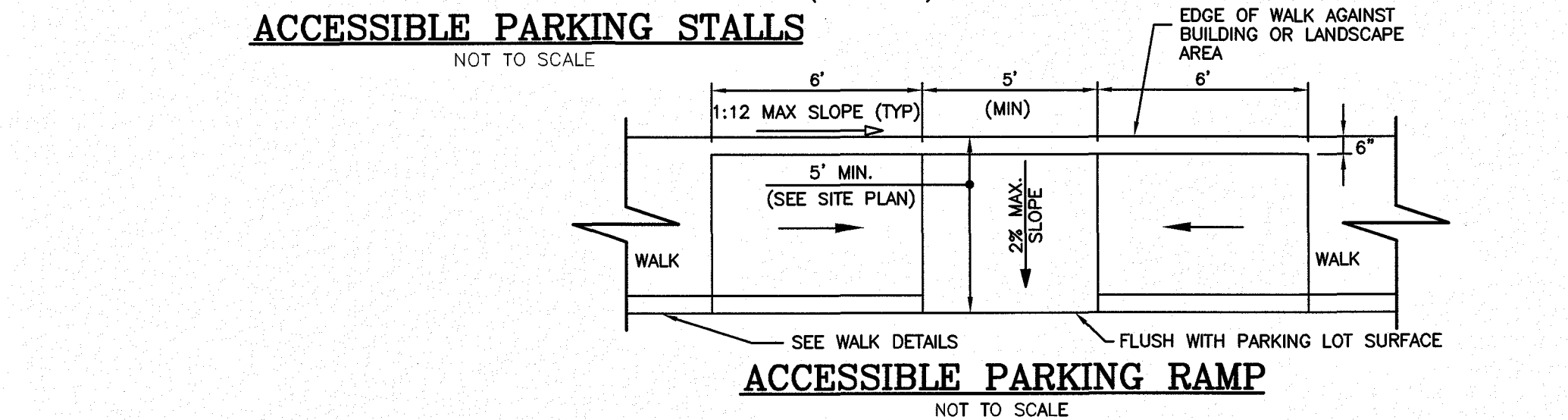
WHEELCHAIR RAMP ON NARROW SIDEWALK WITH DETECTABLE WARNING PANEL
E 107.2.1



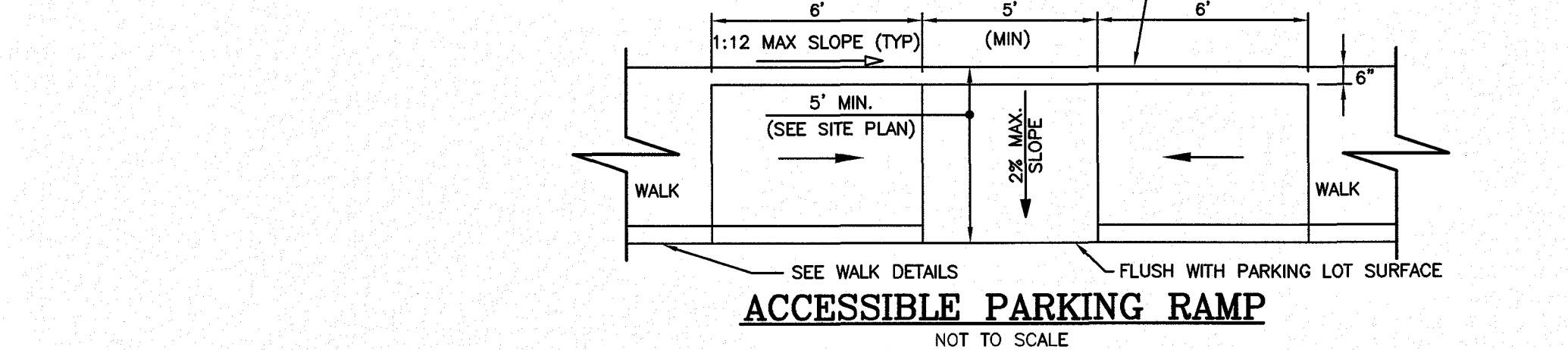
BOLLARD SET IN CONCRETE WALK
NOT TO SCALE



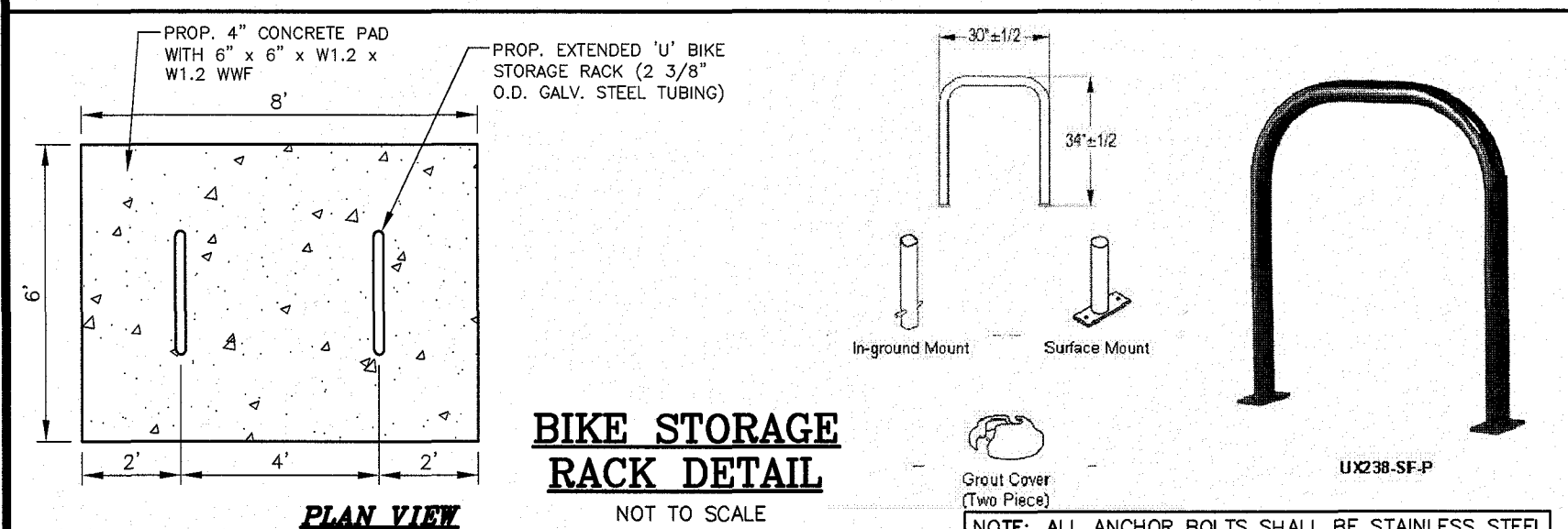
BOLLARD ELEVATION AT ADA RAMP
NOT TO SCALE



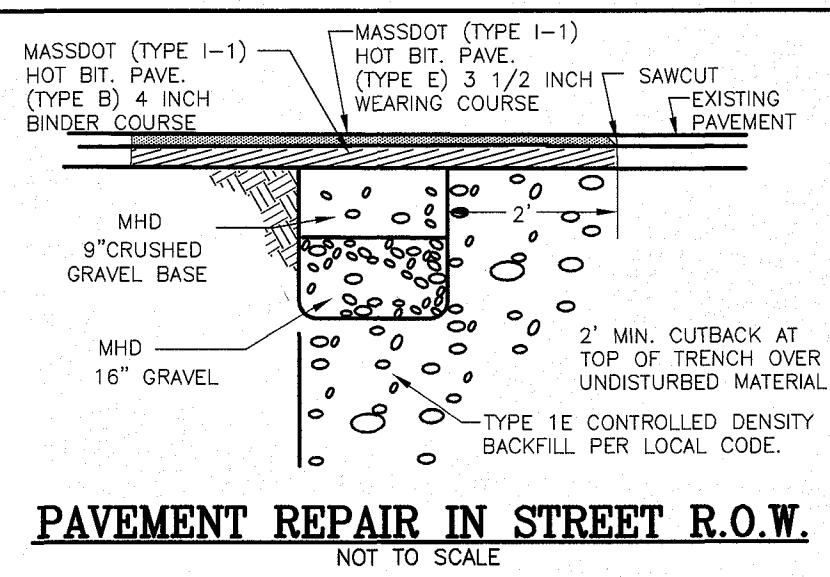
ACCESSIBLE PARKING STALLS
NOT TO SCALE



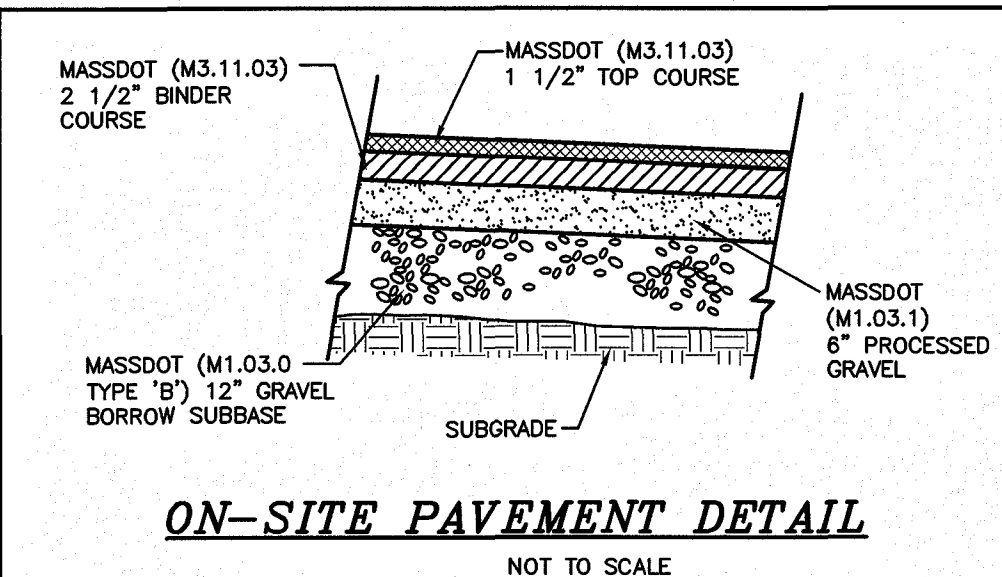
ACCESSIBLE PARKING RAMP
NOT TO SCALE



BIKE STORAGE RACK DETAIL
NOT TO SCALE

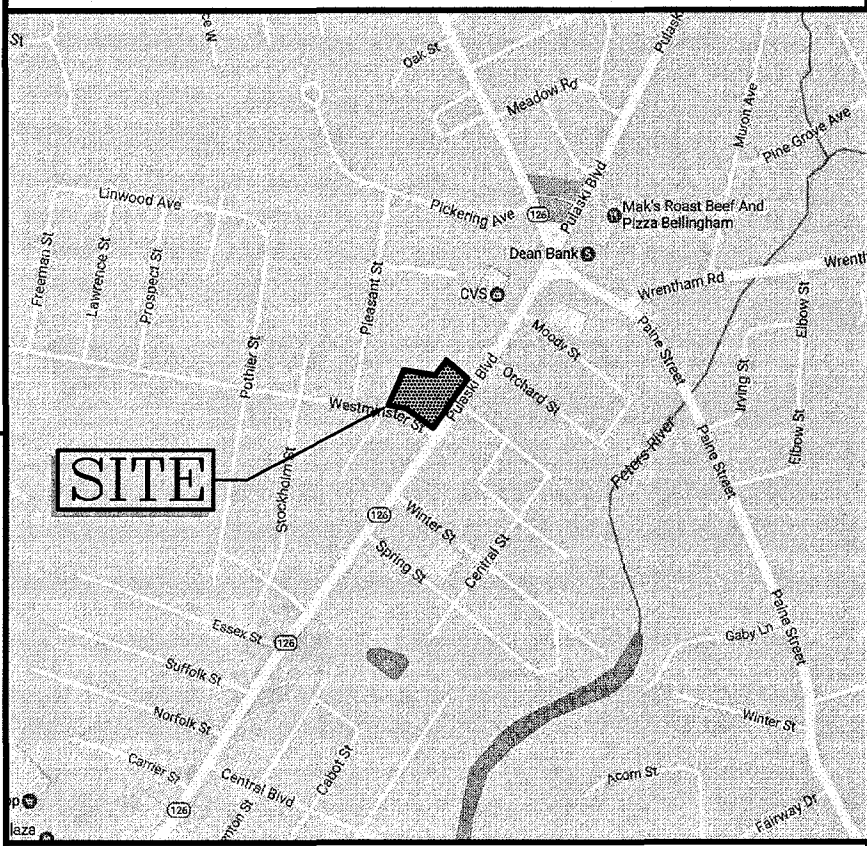


PAVEMENT REPAIR IN STREET R.O.W.
NOT TO SCALE



ON-SITE PAVEMENT DETAIL
NOT TO SCALE

☐ SUPERSEDES ALL PREVIOUS ISSUES
☐ APPROVED FOR CONSTRUCTION
☐ PRELIMINARY-NOT FOR CONSTRUCTION
☐ ISSUED TO: _____
DATE: _____

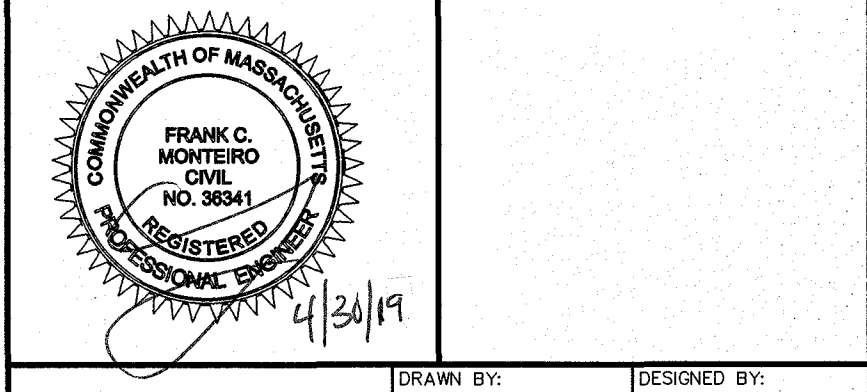


LOCATION MAP
(NOT TO SCALE)

REV	DATE	BY	REVISION
B	4/30/18	HS	ADD DETAILS FOR BOLLARDS AT STORE
A	7/24/17	FCM	MISC. REVISIONS PER PEER REVIEW COMMENTS 7/10/17

REVISIONS

IRVING
MHF Design Consultants, Inc.
44 Stiles Road, Suite One
Salem, New Hampshire 03079
(603) 893-0720
ENGINEERS • PLANNERS • SURVEYORS
www.mhfdesign.com



DRAWN BY:	DESIGNED BY:
NIG	FCM
SCALE:	APPROVED BY:
AS SHOWN	
DATE:	PROPERTY NO.:
5/18/17	
CAD FILE: 405101.dwg	REF-BLK:
PLOTTED:	REF-BLK:

IRVING OIL
190 COMMERCE WAY
PORTSMOUTH, NH 03801

PROJECT: ASSESSORS MAP 94 - LOTS 138, 161, & 162
310 PULASKI BOULEVARD
BELLINGHAM, MA

SITE DETAILS		
PROJECT:	DRAWING NO:	REVISION:
	L9	B

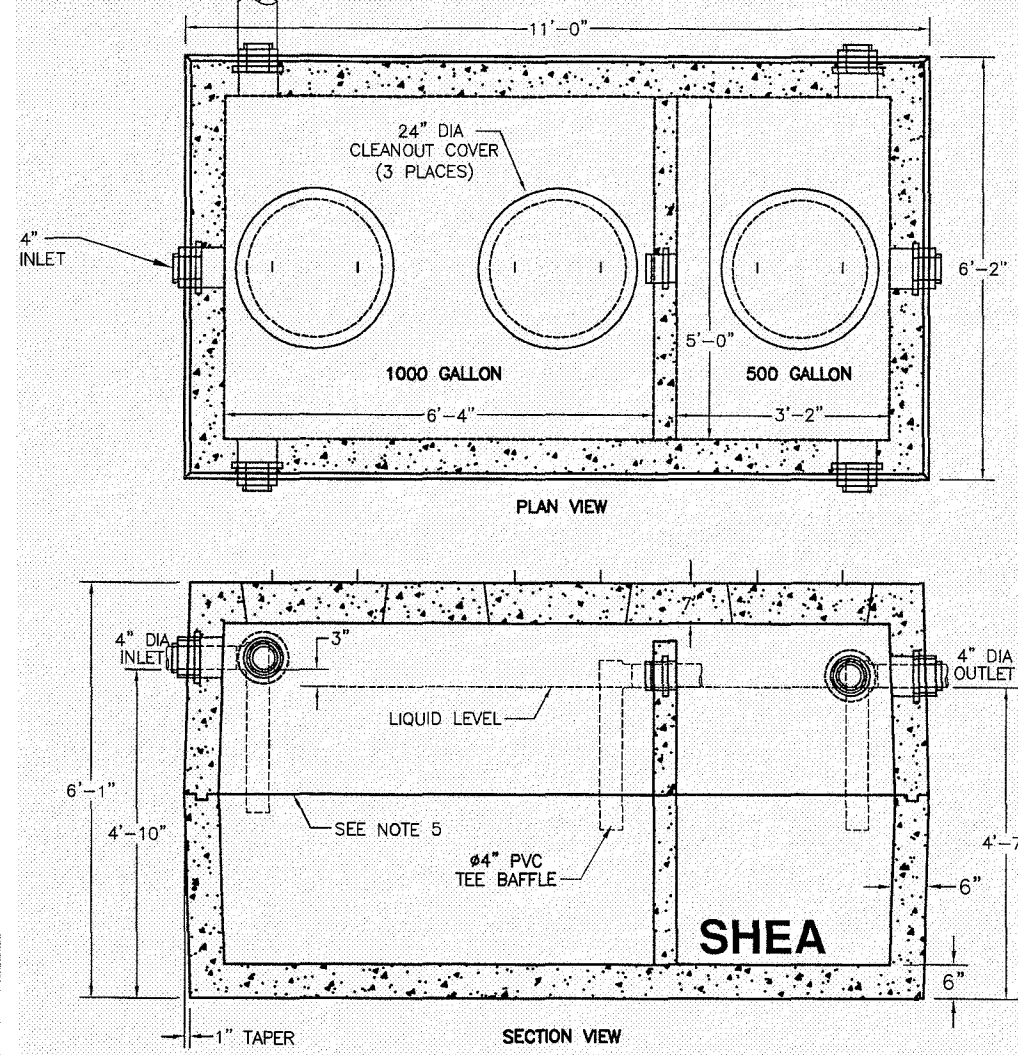
COMPANY SUPERVISOR AND CONTRACTOR TO VERIFY ALL MEASUREMENTS ON WORK OR AT SITE. THIS DRAWING IS THE PROPERTY OF IRVING OIL LTD. AND SHALL BE RETURNED ON COMPLETION OF WORK.

248 CMR 10.09 Table 2. SIZING FORMULAS FOR LARGE CAPACITY GREASE INTERCEPTORS (INSIDE OR OUTSIDE BUILDINGS)

For Restaurants:	Other Establishments with Commercial Kitchens:
(S) X (GS) X (HR/12) X (LF) = Effective Capacity of Grease Traps and Interceptors in Gallons	(M) X (GM) X (LF) = Effective Capacity of Grease Traps and Interceptors in Gallons
WHERE:	WHERE:
S = Number of Seats in Dining Area GS = Gallons of Waste Water Per Seat HR = Number of Hours Restaurant is Open. LF = Loading Factor Use 25 Gallons for Restaurants with China Dishes and/or automatic dishwashers Use 10 Gallons for Restaurants with Paper or Baskets and No Dishwashers.	M = Meals Prepared Per Day GM = Gallons of Waste Water Per Meal (Use 5 Gallons) LF = Loading Factor Use 1.00 with dishwashing machines and 0.75 without dishwashing machine.
Loading Factors:	
Use 2.00 Interstate Highway, Use 1.00 Main Highway, Use 0.75 Other Highways Use 1.50 Other Roadways Use 1.25 Recreational Areas	

NOTE:
A) REQUIRED CAPACITY PER 248CMR 10.09 TABLE 2
ASSUME 12 SEATS x 10 GPD/SEAT x (24 HOURS/12) x 1.50
= 360 GALLONS
USE 1,500 GALLON GREASE TRAP.

THE GREASE TRAP SHALL BE INSPECTED MONTHLY BY THE OWNER/OPERATOR AND SHALL BE CLEANED BY A LICENSED SEPTAGE HAULER WHENEVER THE LEVEL OF GREASE IS 25% OF THE EFFECTIVE DEPTH OF THE TRAP, OR AT LEAST EVERY THREE MONTHS, WHICHEVER IS SOONER. THE OWNER/OPERATOR SHALL KEEP ALL INSPECTION AND PUMPING RECORDS.

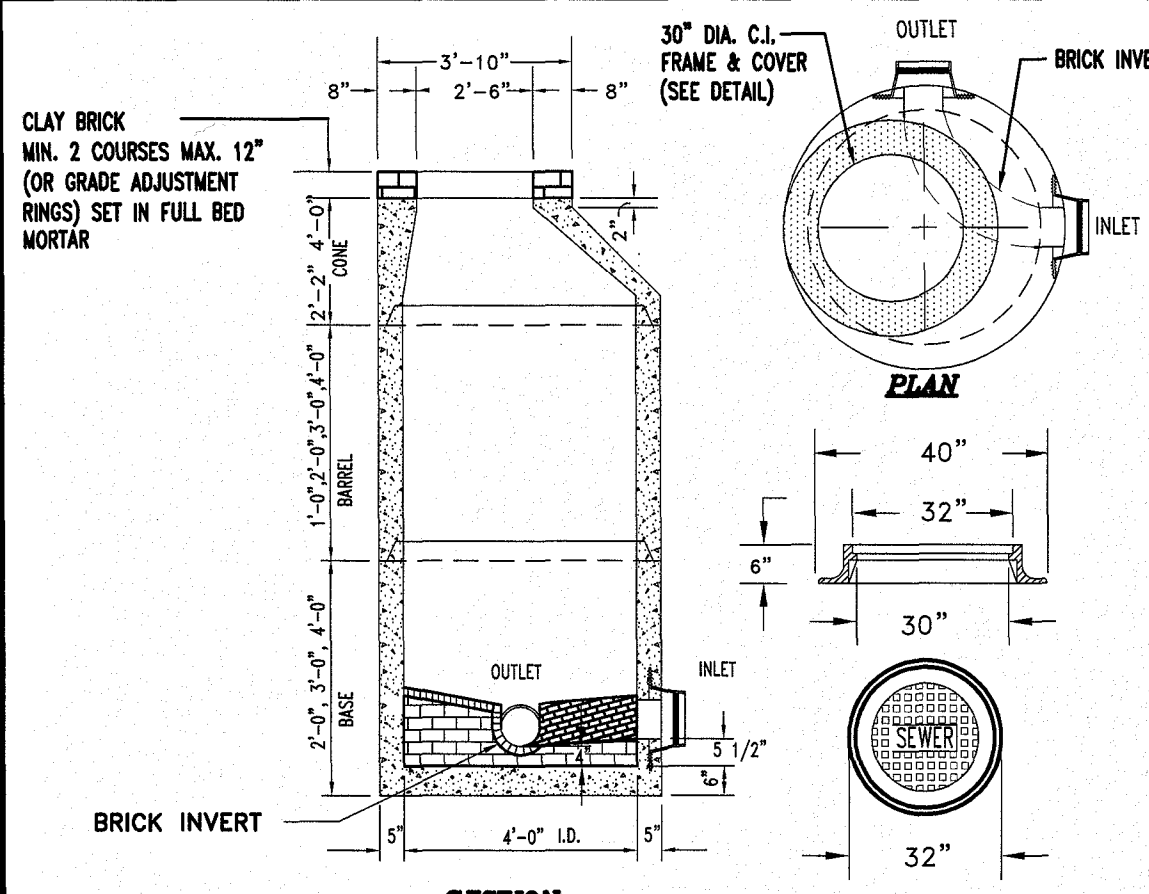


- NOTES:
1. CONCRETE, 5,000 PSI MINIMUM AFTER 28 DAYS.
 2. DESIGN CONFORMS WITH 310CMR 15.00, DEP TITLE 5 REGS. FOR SEPTIC TANKS
 3. ALL REINFORCEMENT PER ASTM C1227.
 4. DESIGNED FOR H-20 LOADING.
 5. TONGUE & GROOVE JOINT SEALED WITH BUTYL RESIN.
 6. TEES AND BAFFLES SOLD SEPARATELY.
 7. GREASE TRAP AS MANUFACTURED BY SHEA CONCRETE PRODUCTS OR APPROVED EQUAL.
 8. CONTRACTOR TO PROVIDE DESIGN ENGINEER SHOP DRAWINGS PRIOR TO CONSTRUCTION.
 9. GREASE TRAP SHALL BE PROPERLY VENTED PER 248 CMR 10.00.

WEIGHT
SHEA ITEM NO. TK-M1500C 22,840#
TK-M1500CC 24,783#

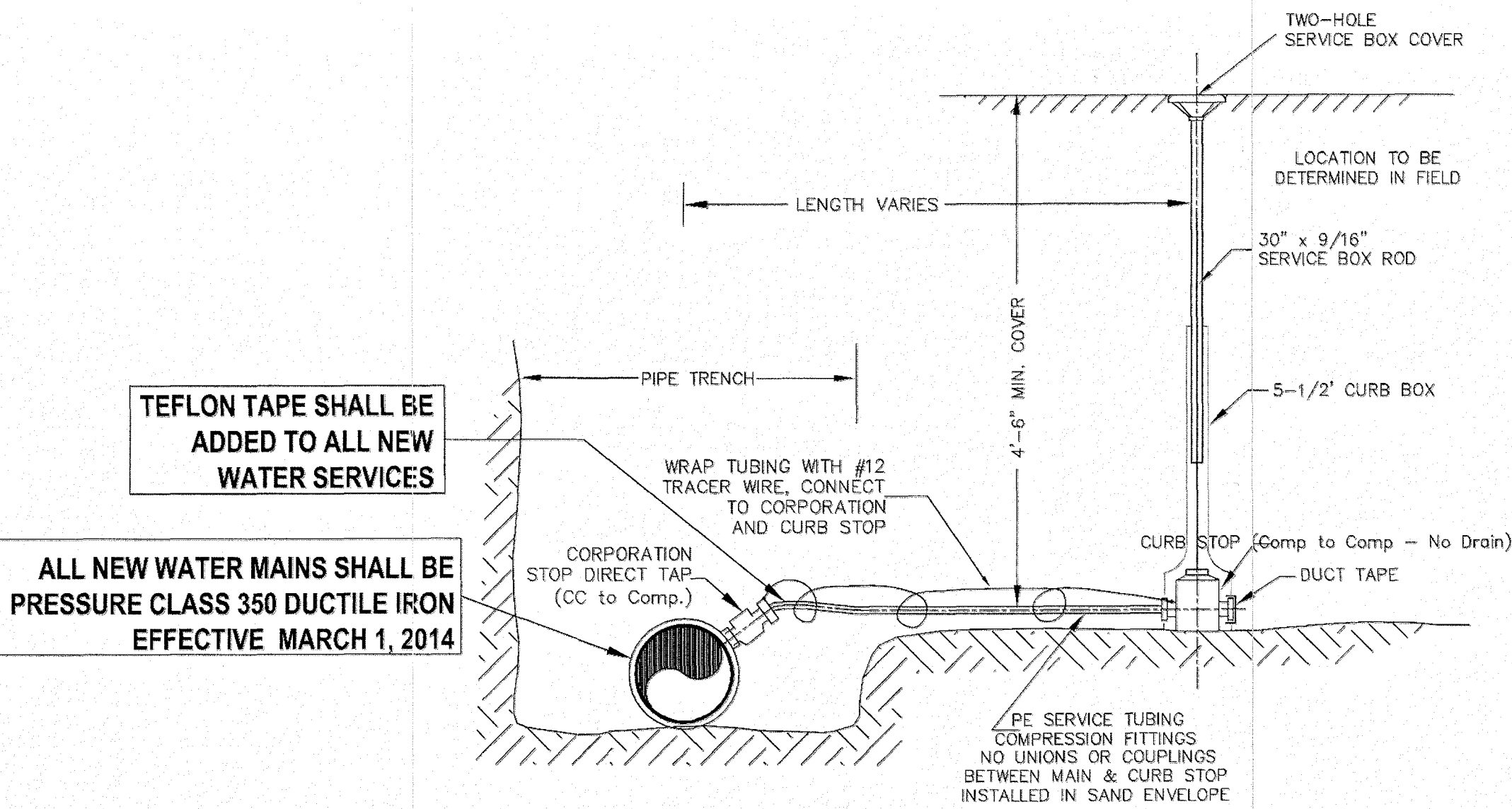
COMMERCIAL LINE TANK
1500 GALLON MONOLITHIC

1,500 GALLON GREASE TRAP DETAIL
(H-20 LOADING)
NOT TO SCALE

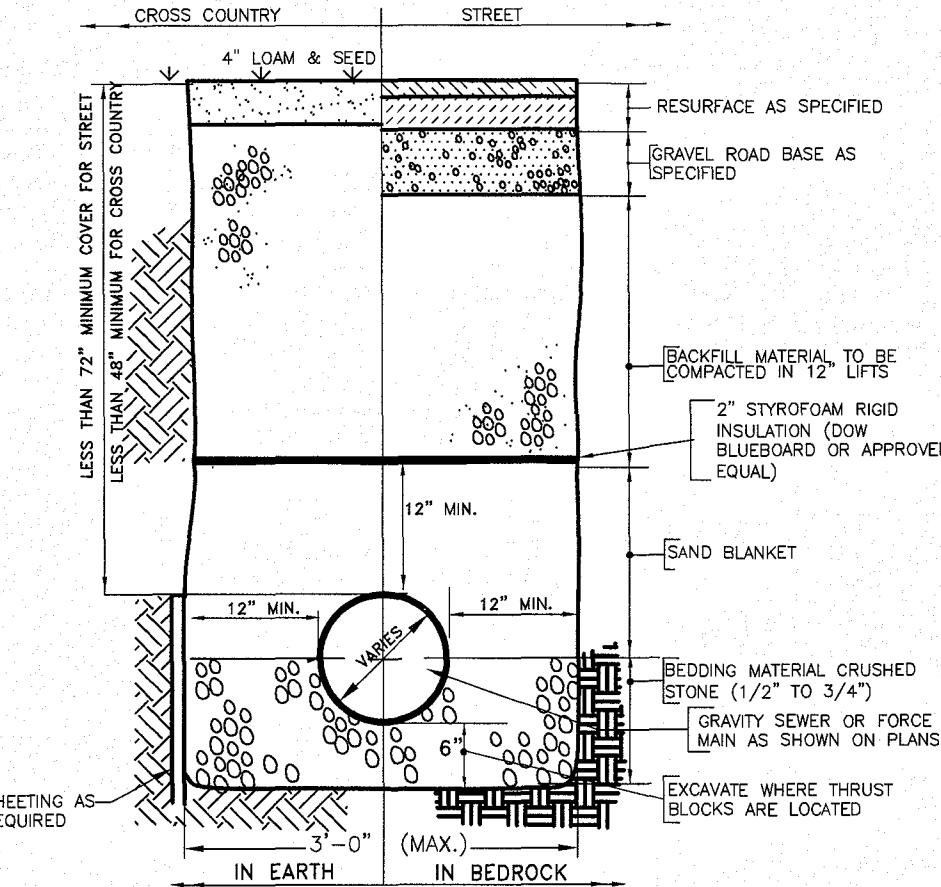


- NOTES:
1. PRECAST CONCRETE MANHOLE AS MANUFACTURED BY SUPERIOR CONCRETE OR APPROVED EQUAL.
 2. CONCRETE, 4,000 PSI AFTER 28 DAYS.
 3. REINFORCING: H-20 LOADING 4 X 4/4 X 4 W.W.M.
 4. SHUPLAP JOINTS SEALED WITH 1 STRIP OF 1\"/>
 5. EXTERIOR ASPHALT COATED.
 6. LOCK JOINT FLEXIBLE PIPE SLEEVES, CAST IN.
 7. EACH CASTING TO HAVE LIFTING HOES CAST IN.
 8. EACH SECTION TO BE LABELED AS NOTED.
 9. MANHOLE STEPS @ 12\"/>
 10. 2\"/>

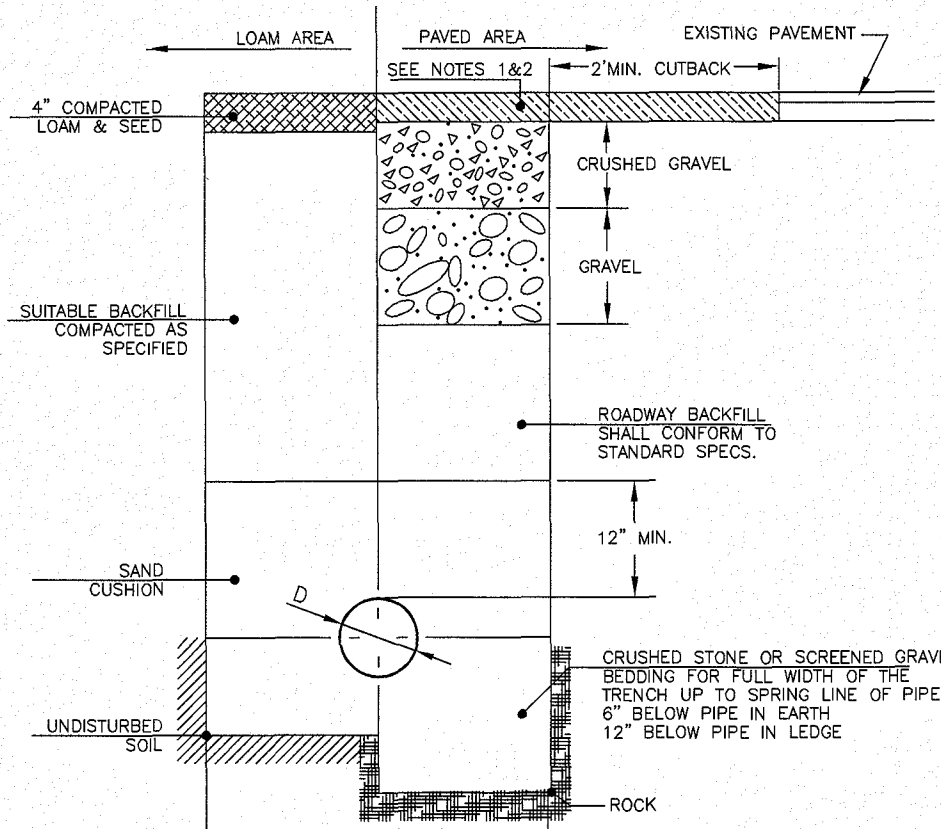
PRECAST CONCRETE SANITARY MANHOLE
NOT TO SCALE



TEFLON TAPE SHALL BE ADDED TO ALL NEW WATER SERVICES
ALL NEW WATER MAINS SHALL BE PRESSURE CLASS 350 DUCTILE IRON EFFECTIVE MARCH 1, 2014
TYPICAL SERVICE CONNECTION
SEE SPEC. SHEET (TOWN OF BELLINGHAM, MA)

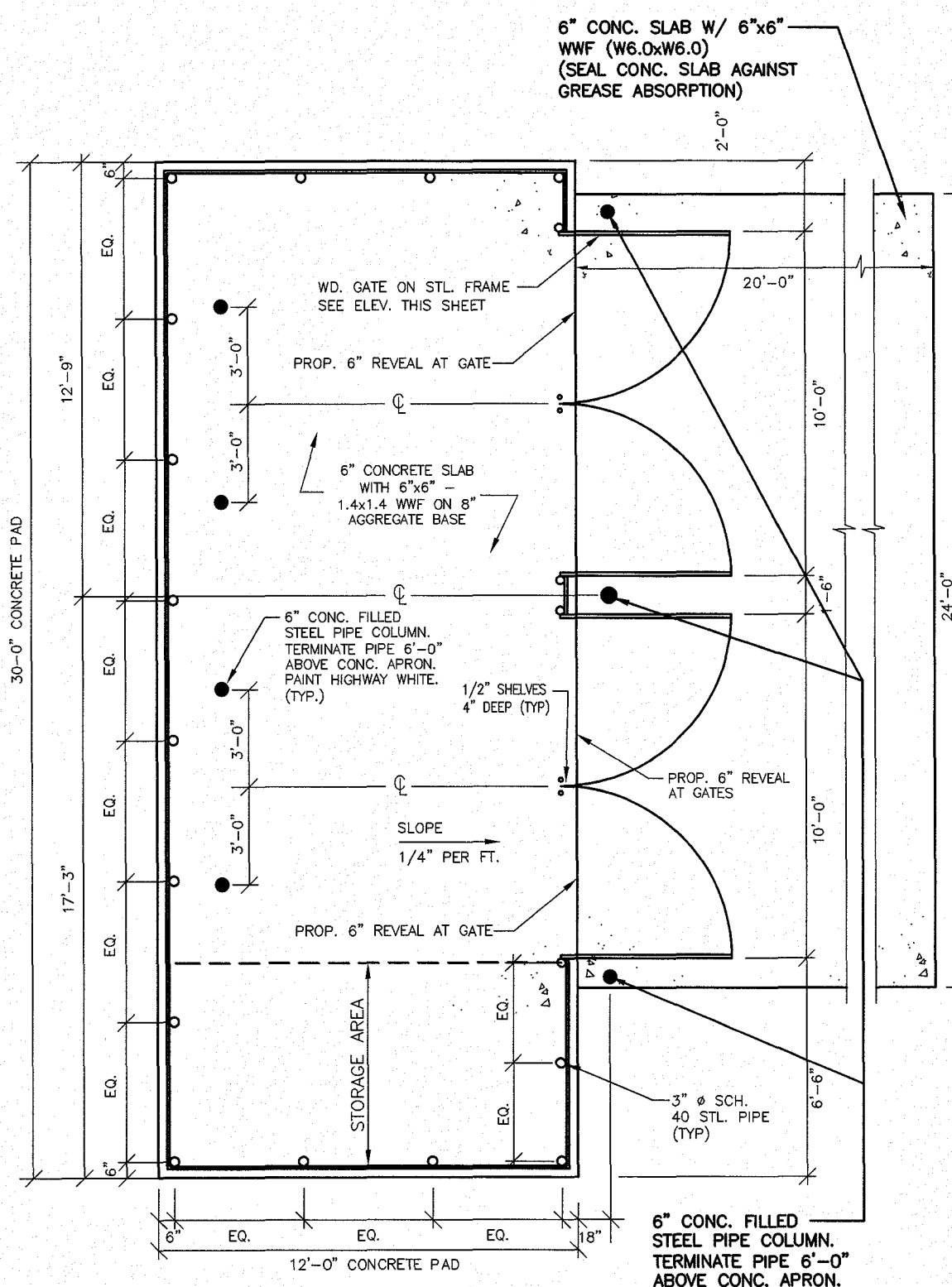


TYPICAL TRENCH SECTION FOR SANITARY SEWER SERVICE WITH LESS THAN 6' OF COVER
NOT TO SCALE

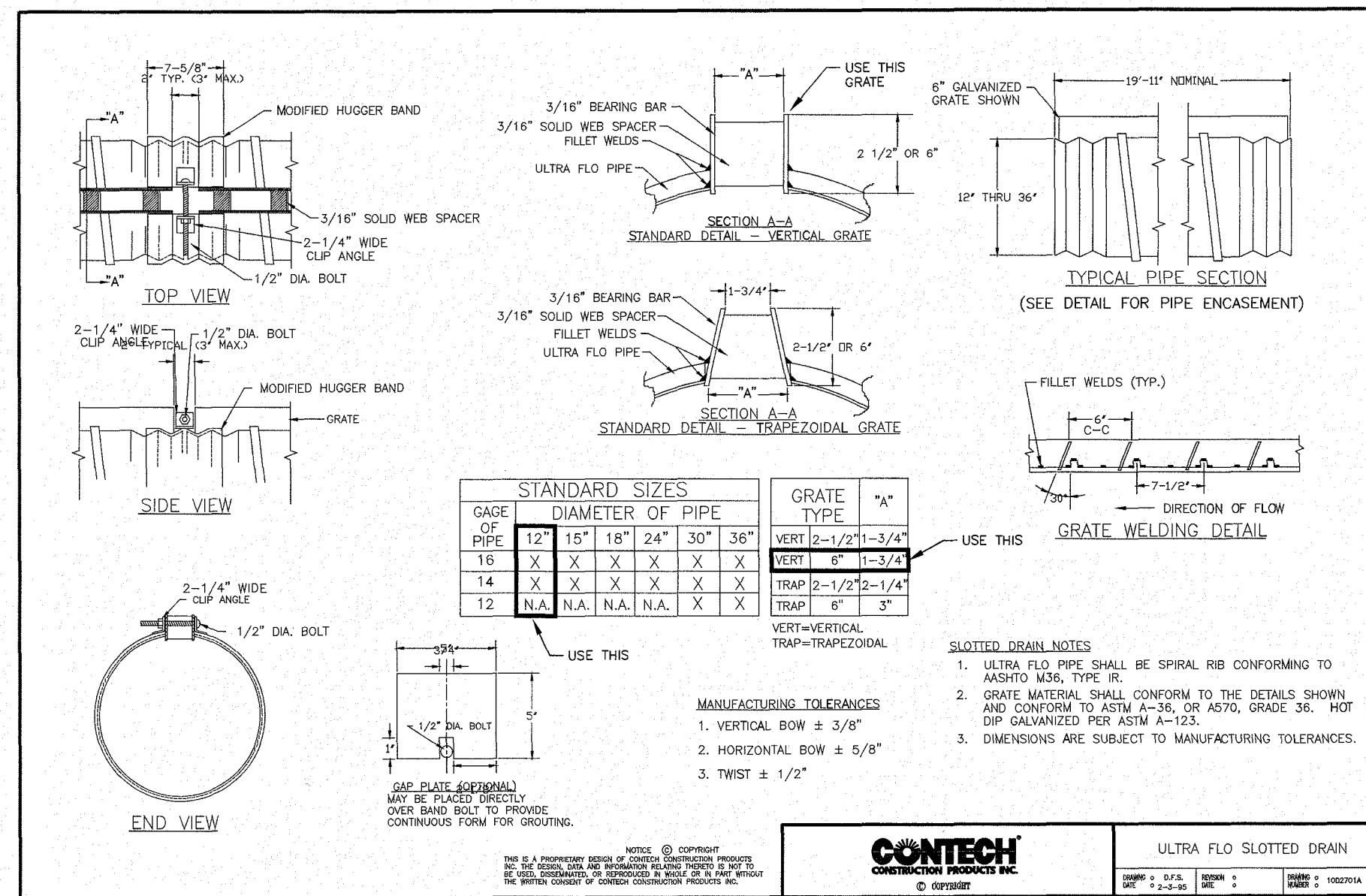
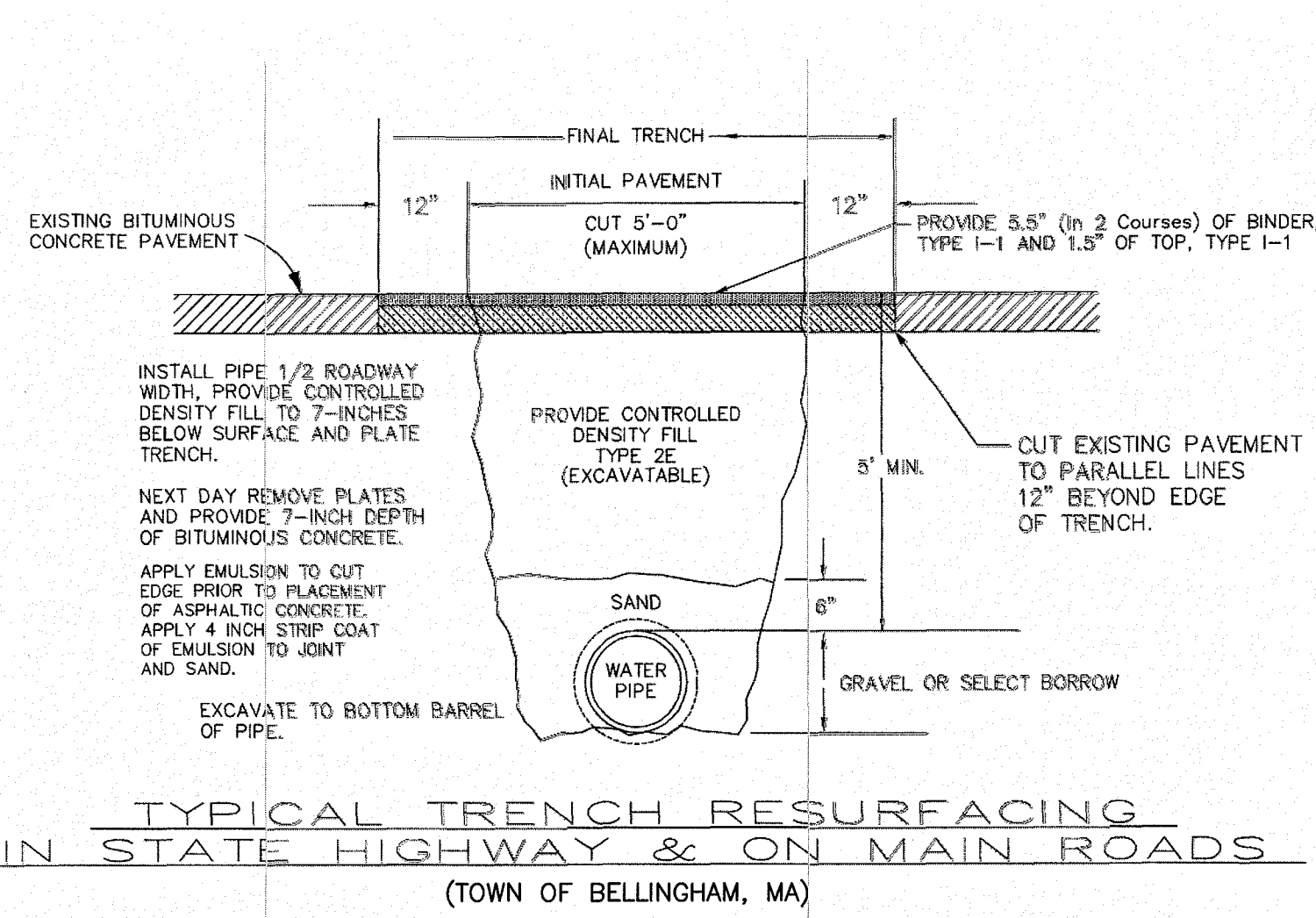


- NOTES:
1. PAVEMENT REPAIR IN EXISTING ROADWAYS SHALL CONFORM TO STREET OPENING REGULATIONS. DEPTH FOR BITUMINOUS PAVEMENT SHALL BE EQUAL TO EXISTING PAVEMENT WITH 3\"/>
 2. NEW ROADWAY CONSTRUCTION SHALL CONFORM TO SUBDIVISION SPECIFICATIONS.
 3. IN LIEU OF THE 12\"/>
 4. MATERIAL SHALL BE REPLACED IN KIND WHENEVER POSSIBLE.
 5. A MINIMUM 2\"/>

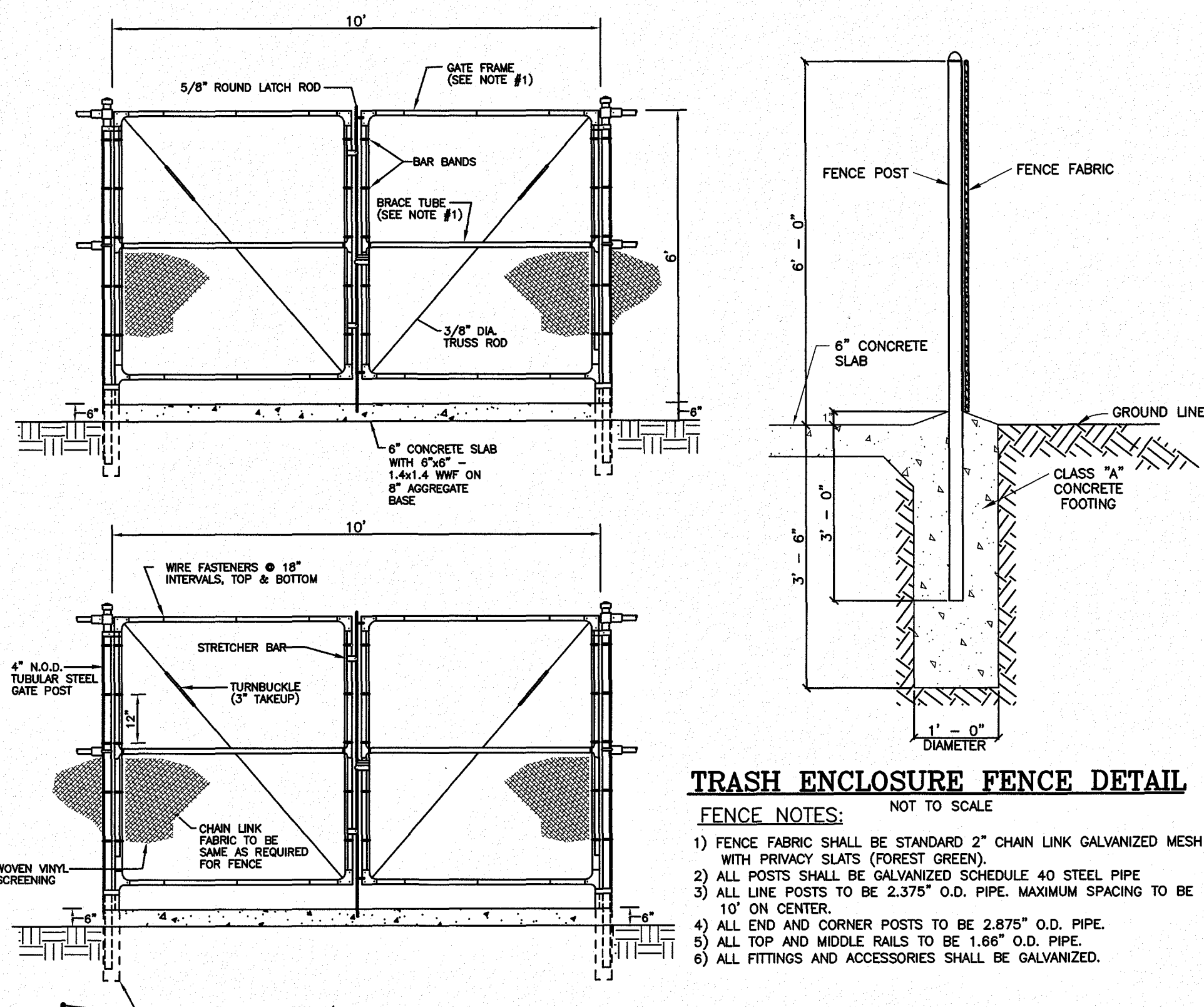
TYPICAL SEWER TRENCH DETAIL
NOT TO SCALE



CHAINLINK TRASH ENCLOSURE
NOT TO SCALE



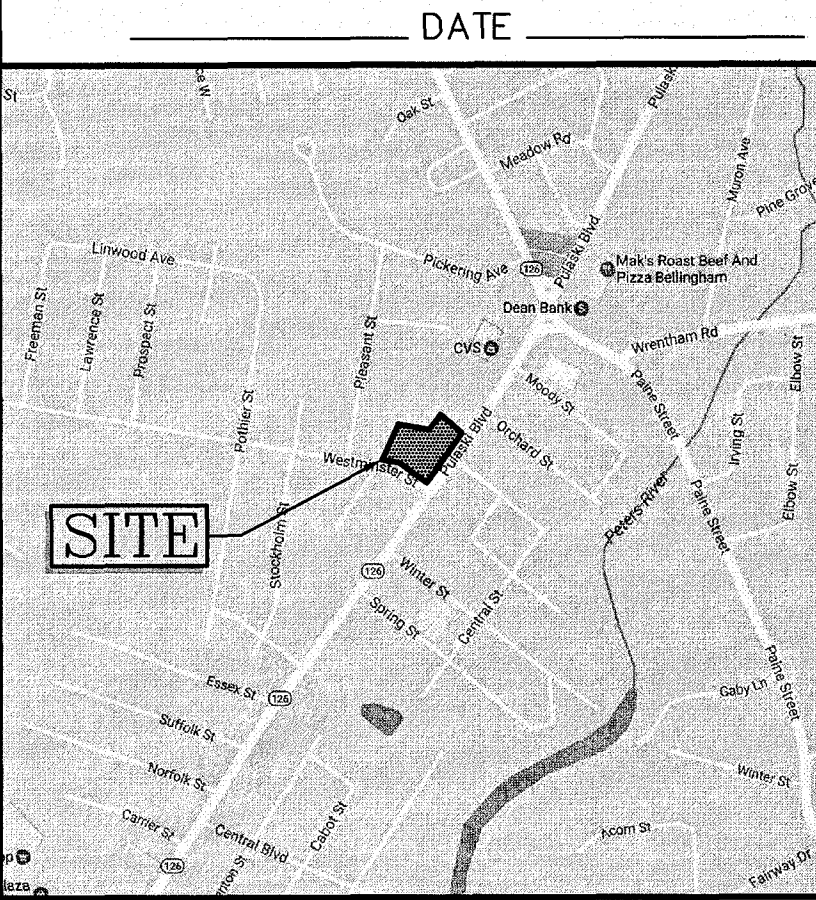
SLOTTED TRENCH DRAIN DETAIL
NOT TO SCALE



- FENCE NOTES:
- 1) FENCE FABRIC SHALL BE STANDARD 2\"/>
 - 2) ALL POSTS SHALL BE GALVANIZED SCHEDULE 40 STEEL PIPE
 - 3) ALL LINE POSTS TO BE 2.375\"/>
 - 4) ALL END AND CORNER POSTS TO BE 2.875\"/>
 - 5) ALL TOP AND MIDDLE RAILS TO BE 1.68\"/>
 - 6) ALL FITTINGS AND ACCESSORIES SHALL BE GALVANIZED.

APPROVED
By Amy Sutherland at 11:53 am, Jun 19, 2019

- ☐ SUPERSEDES ALL PREVIOUS ISSUES
☐ APPROVED FOR CONSTRUCTION
☐ PRELIMINARY--NOT FOR CONSTRUCTION
☐ ISSUED TO: _____

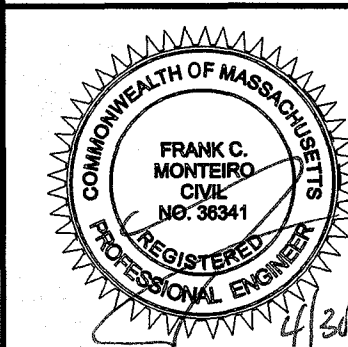


LOCATION MAP
(NOT TO SCALE)

REV	DATE	BY	REVISION
B	4/30/19	HS	REVISE TRASH ENCLOSURE DETAIL
A	7/24/17	FCM	MISC. REVISIONS PER PEER REVIEW COMMENTS 7/10/17

REVISIONS

MHF Design Consultants, Inc.
44 Stiles Road, Suite One
Salem, New Hampshire 03079
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www.mhfdesign.com



IRVING OIL
190 COMMERCE WAY
PORTSMOUTH, NH 03801

PROJECT: ASSESSORS MAP 94 - LOTS 138, 161, & 162
310 PULASKI BOULEVARD
BELLINGHAM, MA

SITE DETAILS

PROJECT:	DRAWING NO:	REVISION:
	L12	B

COMPANY SUPERVISOR AND CONTRACTOR TO VERIFY ALL MEASUREMENTS ON WORK OR AT SITE. THIS DRAWING IS THE PROPERTY OF IRVING OIL LTD. AND SHALL BE RETURNED ON COMPLETION OF WORK.

FORM 11 - SOIL EVALUATOR

No. 406156 Date: 3/31/2017

Commonwealth of Massachusetts
Bellingham, Massachusetts
Soil Suitability Assessment Form

Performed By: Diane Pantneroller, Soil Evaluator Date: 3/30/17
Witnessed By: Mike Catalano, Bellingham Board of Health

<small>Geocode Address = L&B</small> 319-328 Palaski Boulevard 21 Westmainster Avenue Bellingham, MA	<small>Owner's Name, Address, and Telephone #</small> Gibbs Oil Service Elizabeth Coyle
---	---

New Construction ☒ Repair ☐

Office Review
Published Soil Survey Availability: No ☐ Yes ☒
Year Published: 2016 Publication Scale: 1:25,000 Soil Map Unit: 25-B, 260B & 602
Drainage Class: _____ Soil Limitations: _____
Surficial Geologic Report Available: No ☒ Yes ☐
Year Published: _____ Publication Scale: _____
Geologic Material (Map Unit): _____
Landform: _____
Flood Insurance Rate Map: _____
Above 500 year flood boundary No ☐ Yes ☒
Within 500 year flood boundary No ☒ Yes ☐
Within 100 year flood boundary No ☐ Yes ☐
Wetland Area: _____
National Wetland Inventory Map (map unit): _____
Wetlands Conservancy Program Map (map unit): _____
Current Water Resource Conditions (USGS): Month January
Range: Above Normal ☐ Normal ☐ Below Normal ☐
Other References Reviewed: _____

DEP APPROVED FORM - 1207/05

Location Address or Lot No. Pulaski Blvd & Westminster Ave

On-site Review

Deep Hole Number TP-3 Date: 3/30/17 Weather: 30-40s Sunny

Location (identify on site plan). See Attachment Plan

Land Use Commercial Slope (%) 10-5% Surface Stones None Visible

Vegetation Wetlands to the east, site is mostly disturbed

Landform N/A

Disturbance from (sketch on back):

Open Water Body >40 feet Draining way >10 feet

Possible Wet Area >40 feet Property Line >10 feet

Drinking Water Well >100 feet Other _____

DEEP OBSERVATION HOLE LOG*					
Depth from Surface (feet)	Soil Horizon	Sell Texture (CRN)	Sell Color (Munsell)	Sell Moisture	Other (Structure, Stones, Debris, Contaminants, % Gravel)
0-14"	Fill	Mixed Soils			
14-20"	A	Loamy Sand	10yr 3/2		
20-29"	B	Loamy Sand	10yr 5/8		
29-120"	C	Medium Sand	2.5y 7/4	@46" Distinct	

* MINIMUM OF 2 HOLES REQUIRED AT EVERY PROPOSED DISPOSAL AREA

Parent Material (geologic): Till Depth to Bedrock: >120"

Depth to Groundwater: 46" Standing Water in Hole: 69" Weeping from pit face: 69"

Permitted Seasonal High Groundwater: 46"

DEF APPROVED FORM - 120769

FORM 11 - SOIL EVALUATOR

Location Address or Lot No. Pulaski Blvd & Westminster Ave.

On-site Review

Deep Hole Number TD-6 Date 3/30/17 Weather 30-50° Sunny

Location (identify on site plan) See Attached Plan

Land Use Commercial Slope (%) 0-5% Surface Stones None Visible

Vegetation Wetlands to the rear, site is mostly disturbed

Landscape N/A

Position on landscape (sketch on back)

Fluorescein from _____

Open Water Body >40' feet Drainage way >30' feet

Possible Wet Area >400' feet Property Line >10' feet

Drinking Water Well >100' feet Other _____

DEEP OBSERVATION HOLE LOG*					
Depth from Surface (feet)	Soil Horizon	Soil Texture (USDA)	Soil Color (Munsell)	Soil Moisture	Other (Structure, Shrink Swells, Consistency, % Gravel)
0-10"	A	Loamy Sand	10yr 8.2		
10-20"	B		10yr 5/6		
20-121"	C	Loamy Sand	2.5y 7.4	@72"	

* MINIMUM OF 3 HOLES REQUIRED AT EVERY PROPOSED DISPOSAL AREA

Parent Material (geologic): Till Depth to Bedrock: >121"

Depth to Groundwater: 72" Standing Water in Hole: 110" Weeping from pit face: 110"

Estimated Seasonal High Groundwater: 72"

06P APPROVED FORM - 1207/06

FORM 11 - SOIL EVALUATOR USE ONLY

Location Address or Lot No. Pulaski Blvd & Westminster Ave.

On-site Review

Deep Hole Number: TD-9 Date: 3/30/17 Weather: 30-55s Sunny

Location (Identify on site plan). See Attached Plan

Land Use: Commercial Slope (%): 0-5% Surface Stones: None Visible

Vegetation: Wetlands to the rear, site is mostly disturbed

Landform: N/A

Position on landscape (sketch on back): _____

Distances from: _____

Open Water Body: >40' feet Drainage way: >10' feet

Possible Wet Area: >40' feet Property Line: >10' feet

Drinking Water Well: >100' feet Other: _____

Depth from Surface (feet)	Soil Horize	Soil Texture (ORCA)	Soil Color (Munsell)	Soil Moisture	Other (Structure, Stone, Rootlets, Contaminants, % Gravel)
0-48"	Fill	Mixed Soil			
48-51"	A	Loamy Sand	10yr 3/2		
51-58"	B	Loamy Sand	10yr 5/6		
58-120"	C	Sand	2 5y 7/4	@60" Distinct	

*** MINIMUM OF 2 HOLES REQUIRED AT EVERY PROPOSED DISPOSAL AREA ***

PARENT MATERIAL (geologic): Fill Depth to Bedrock: >120"

Depth to Groundwater: 60" Standing Water in Hole: 72" Weeping from pit face: 72"

Estimated Seasonal High Groundwater: 60"

CEP APPROVED FORM - 11-2017(M)

Location Address or Lot No. Palisak Blvd & Westminster Ave

On-site Review

Dep't Hole Number TP-1 Date 3/30/17 Weather 30-40 Sunny

Location (Identify on site plan) See Attached Plan

Land Use Commercial Slope (%) 0-5% Surface Stones None Visible

Vegetation Wetlands to the rear, site is mostly disturbed

Landform N/A

Position on landscape (sketch on back)

Distances from:

Open Water Body >40 feet Drainage way >10 feet

Possible Wet Area >40 feet Property Line >10 feet

Drinking Water Well >100 feet Other _____

DEEP EXPLORATION HOLE LOG*					
Depth from Surface (feet)	Soil Horizon	Soil Texture (USDA)	Soil Color (Munsell)	Soil Binding	Other (Structure, Stones, Boulders, Contaminants, etc. Observed)
0-48"	Fill	Mixed Soils			
48-60"		Loamy Sand	10yr 3/2		
60-70"	B	Loamy Sand	10yr 5/6		
70-110"	CD	Loamy Sand	5yr 4/3	@72" Distinct	Stones, Cobbles

* MINIMUM OF 2 HOLES REQUIRED AT EVERY PROPOSED DISPOSAL AREA

Parent Material (geologic): Till Depth to Bedrock: >110'

Depth to Groundwater: 72" Standing Water in Hole: 84" Weeping from pit face: 84"

Estimated Seasonal High Groundwater: 72"

REP: AR09061051 / EGM: 11070406

Location Address or Lot No. Pulaski Blvd & Westminster Ave

On-site Review

Deep Hole Number 124 Date: 3/30/17 Weather: 30-45 Sunny

Location (identify on site plan) See Attachment #1

Land Use Commercial Slope (%) 0-5% Surface Stones None Visible

Vegetation Windbreaks to the rear, site as mostly disturbed

Landform N/A

Position on landscape (sketch on back)

Distances from:

Open Water Body >40 feet Draining way >10 feet

Possible Wet Area >10 feet Property Line >10 feet

Drinking Water Well >100 feet Other _____

Depth Feet (Suction Feet)	Soil Horizon	Soil Texture (USDA)	Soil Color (Munsell)	Soil Moisture	Other (Structure, Stones, Boulders, Contaminants, No Gravity)
0-24"	Fill	Mixed Soil			
34-120"	C	Sand	2.5y 7/3	@ 48" Distinct	

* MINIMUM OF 2 HOLES REQUIRED AT EVERY PROPOSED DISPOSAL AREA

Parent Material (geologic): Tu Depth to Bedrock: >120"

Depth to Groundwater: 48" Standing Water in Hole: 68" Weeping from pit face: 68"

Estimated Seasonal High Groundwater: 48"

Location Address or Lot No. Pulaski Blvd & Westminster Ave

On-site Review

Deep Hole Number: TP-7 Date: 3/30/17 Weather: 30-40s Sunny

Location (identify on site plan): See Attached Plan

Land Use: Commercial Slope (N/S, E/W): Surface Stones: None Visible

Vegetation: Wetlands to the east, site is mostly disturbed

Transform: N/A

Position on landscape (sketch on back):

Distances from:

Open Water Body: >40' feet Draining way: >10' feet

Possible Wet Area: <40' feet Property Line: >10' feet

Drinking Water Well: >100' feet Other: _____

DEEP OBSERVATION HOLE LOG*					
Depth from Surface (feet)	Soil Horizon	Soil Texture (USDA)	Soil Color (Munsell)	Soil Mixing	Other (Structure, Stones, Boulders, Contaminants, etc. (if any))
0-20"	Fill	Mixed Soil			
20-120"	C	Sand	2.5y 7/4	None	

* MINIMUM OF 2 HOLES REQUIRED AT EVERY PROPOSED DISPOSAL AREA

Parent Material (include geologic): Outwash Depth to Bedrock: >120"

Depth to Groundwater: None Standing Water in Hole: None Weeping from pit face: None

Estimated Seasonal High Groundwater: >120"

FORM 11 - SOIL EVALUATOR

Location Address or Lot No. Pulaski Blvd & Westminster Ave.

On-site Review

Deep Hole Number TP-10 Date 3/30/17 Weather 30-40s Sunny

Location (identify on site plan) See Attached Plan

Land Use Commercial Slope (W) 0-5% Surface Stones None Visible

Vegetation Wetlands to the rear; site is mostly disturbed

Landform N/A

Position on landscape (sketch on back)

Distances from:

Open Water Body >40' feet Driveway >10' feet

Possible Wet Area >10' feet Property Line >10' feet

Drinking Water Well >100' feet Other _____

DEEP OBSERVATION HOLE LOG*					
Depth from Surface (inches)	Soil Horizon	Soil Temp. (USD4)	Soil Color (Munsell)	Soil Binding	Other (Structure, Stones, Rootlets, Counters, or Gases)
0-48"	Fill	Mixed Soil			
48-120"	C	Sand	2.5y 7/4	@ 72"	Old PVC pipe filled with soil

* MINIMUM OF 2 HOLES REQUIRED AT EVERY PROPOSED DISPOSAL AREA

Parent Material (geologic): Till Depth to Bedrock: >120"

Depth to Groundwater: 72" Sanding Water from: 115" Weeping from pit face: 115"

Estimated Seasonal High Groundwater: 72"

DEP APPROVED FORM 1250/95

FORM 11 - SOIL EVALUATOR'S REPORT

Location Address or Lot No. Pulaski Blvd & Westminster Ave

On-site Review

Deep Hole Number: 122 Date: 10/11/11 Weather: 20-63a Sunny

Location (identity or rate plan) Sas Ajmashid 12th

Land Use Commercial Slope (%) 0-5% Surface Stones None Visible

Vegetation Wetlands to the rear, site is mostly disturbed

Landforms N/A

Position on landscape (sketch on back)

Distances from:

Open Water Body >40 feet Draining way >10 feet

Potable Wet Area >80 feet Property Line >10 feet

Drinking Water Well >100 feet Other _____

DEEP OBSERVATION HOLE LOG*

Depth from Surface (feet)	Soil Horizon	Soil Texture (USDA)	Soil Color (Munsell)	Soil Moisture	Other (Structure, Station, Elevation, Coordinates, N. Arrow)
0-48"	Fill	Mixed Soil			
48"-126"	C	Fine Sand	2.5y 6/4	@ 48" Distinct 5y 5/8	

* MINIMUM OF 2 HOLES REQUIRED AT EVERY PROPOSED EXPOSURE AREA

Parent Material (geologic): Tall Depth to Bedrock: >126"

Depth to Groundwater: 48" Standing Water in Hole: 60" Weeping from pit face: 60"

Estimated Seasonal High Groundwater: 48"

[illegible]

FORM 11 - SOIL EVALUATION SHEET

Location Address or Lot No. Palaski Blvd & Westminster Ave

On-site Review

Dry Hole Number: TP-3 Date: 3/20/17 Weather: 20-40 Sunny

Location (Identify on site plan): See Attachment

Land Use: Commercial Slope (%): 0-5% Surface Stones: None Visible

Vegetation: Wetlands to the west, site is mostly disturbed

Landform: N/A

Position on landscape (sketch on back)

Distances from:

Open Water Body: >40' feet Drainage way: >10' feet

Possible Wet Area: >40' feet Property Line: >10' feet

Drinking Water Well: >100' feet Other: _____

DEEP OBSERVATION HOLE LOG*					
Depth From Surface (feet)	Soil Horizons	Soil Textures (USDA)	Soil Color (Munsell)	Soil Moisture	Other (Structure, Roots, Boulders, Contaminants, % Gravel)
0-6"	Fill	Mixed Soils			
6-96"	C	Sand	2.5y 7/4	None	
96"	Refusal				

* MINIMUM OF 2 HOLES REQUIRED AT EVERY PROPOSED DISPOSAL AREA

Parent Material (geologic): Till Depth to Bedrock: 96"

Depth to Groundwater: None Standing Water in Hole: None Weeping from pit face: None

Estimated Seasonal High Groundwater: 96"

DEC 6/2009/07/2016/07/2016

FORM 11 - SOIL EVALUATOR FORM

Location Address or Lot No. 310-320 Pulaski Boulevard & 21 Westminster Avenue
Bellingham, MA

Determination for Seasonal High Water Table

Method Used:

☐ Depth observed standing in observation hole _____ inches
☐ Depth weeping from side of observation hole _____ inches
☒ Depth to soil mottles _____ inches
☐ Groundwater adjustment _____ feet

Index Well Number _____ Reading Date _____ Index well level _____
Adjustment factor _____ Adjusted groundwater level _____


Depth of Naturally Occurring Pervious Material

Does at least four feet of naturally occurring pervious material exist in all areas observed throughout the area proposed for the soil absorption system? yes _____

If not, what is the depth of naturally occurring pervious material? _____

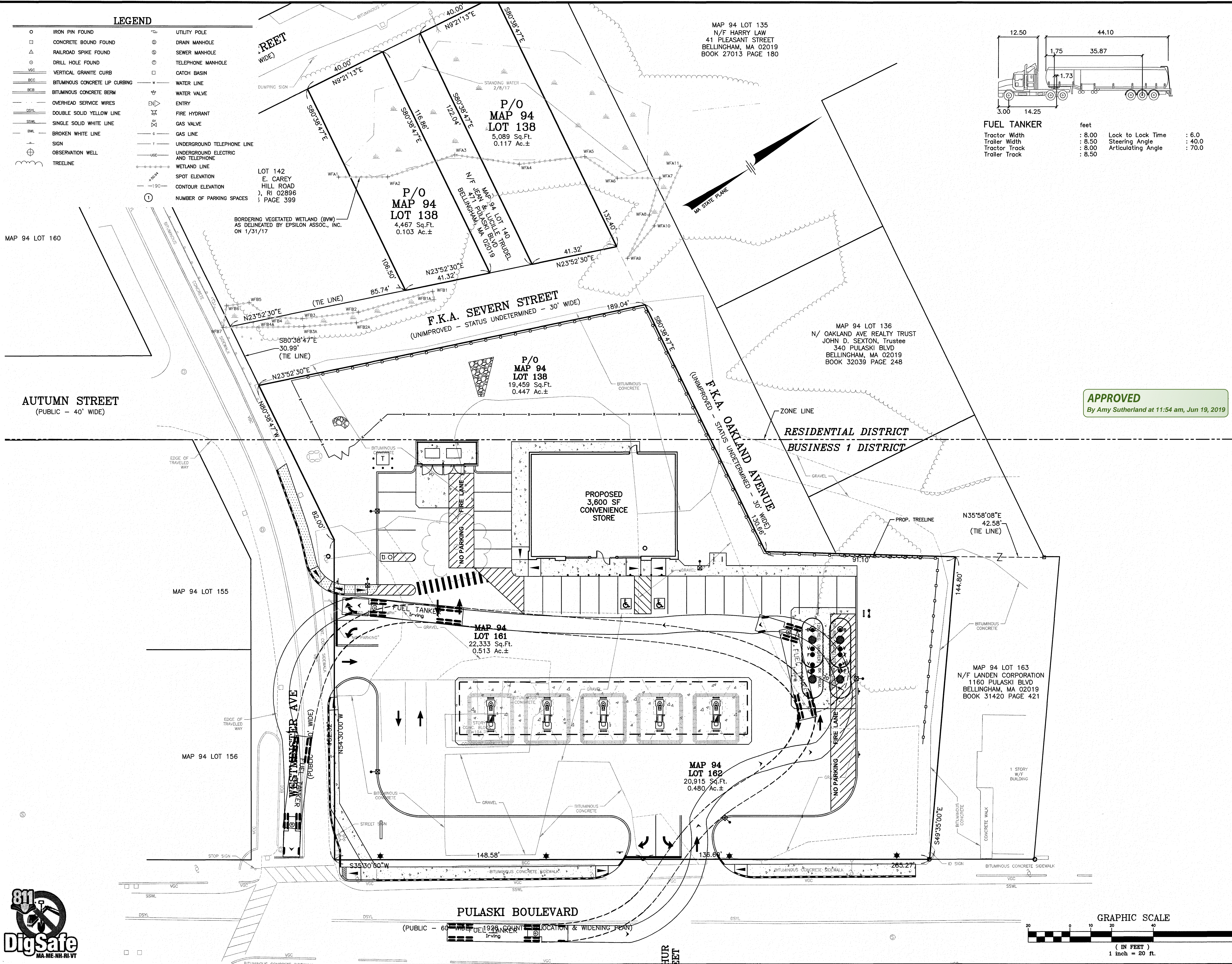
Certification

I certify that on September 1998, (date) I have passed the soil evaluator examination approved by the Department of Environmental Protection and that the above analysis was performed by me consistent with the required training, expertise and experience described in 310 CMR 15.017.

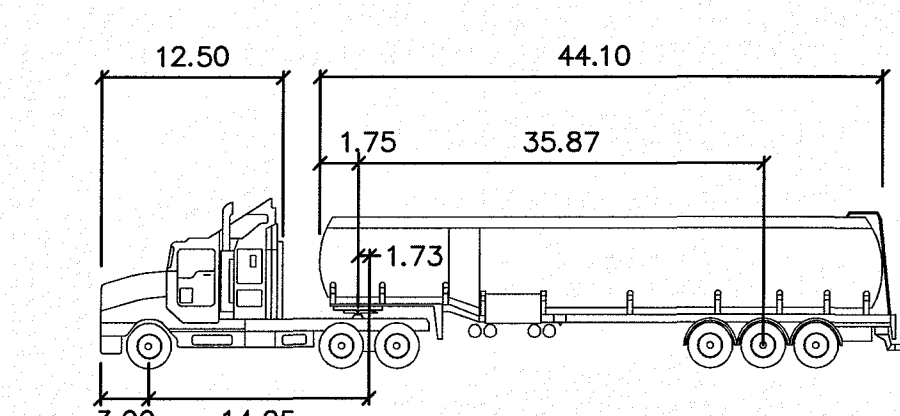
Signature  Date 3/31/17
Diane M. Pantermoller (SE # 1835)

DEP APPROVED FORM - 1201050

[illegible]



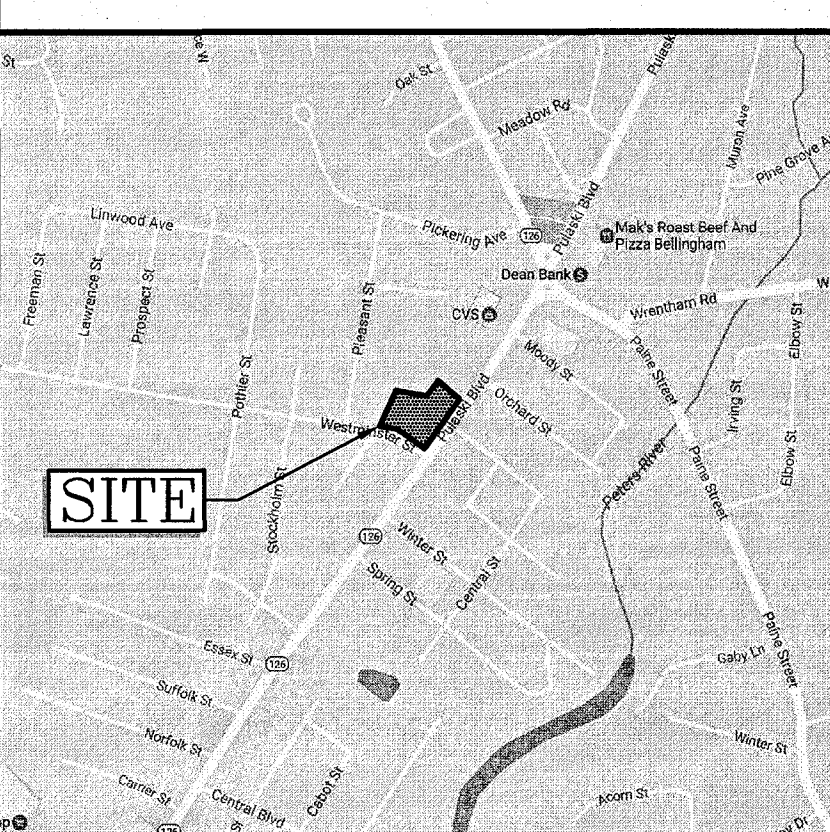
- LEGEND**
- IRON PIN FOUND
 - CONCRETE BOUND FOUND
 - RAILROAD SPIKE FOUND
 - DRILL HOLE FOUND
 - VERTICAL GRANITE CURB
 - BITUMINOUS CONCRETE UP CURBING
 - BITUMINOUS CONCRETE BERM
 - OVERHEAD SERVICE WIRES
 - DOUBLE SOLID YELLOW LINE
 - SINGLE SOLID WHITE LINE
 - BROKEN WHITE LINE
 - SIGN
 - OBSERVATION WELL
 - TREELINE
 - UTILITY POLE
 - DRAIN MANHOLE
 - SEWER MANHOLE
 - TELEPHONE MANHOLE
 - CATCH BASIN
 - WATER LINE
 - WATER VALVE
 - ENTRY
 - FIRE HYDRANT
 - GAS VALVE
 - GAS LINE
 - UNDERGROUND TELEPHONE LINE
 - UNDERGROUND ELECTRIC AND TELEPHONE
 - WETLAND LINE
 - SPOT ELEVATION
 - CONTOUR ELEVATION
 - NUMBER OF PARKING SPACES



FUEL TANKER

Tractor Width	: 8.00	Lock to Lock Time	: 6.0
Trailer Width	: 8.50	Steering Angle	: 40.0
Tractor Track	: 8.00	Articulating Angle	: 70.0
Trailer Track	: 8.50		

- ☐ SUPERSEDES ALL PREVIOUS ISSUES
- ☐ APPROVED FOR CONSTRUCTION
- ☐ PRELIMINARY-NOT FOR CONSTRUCTION
- ☐ ISSUED TO: _____
- DATE: _____



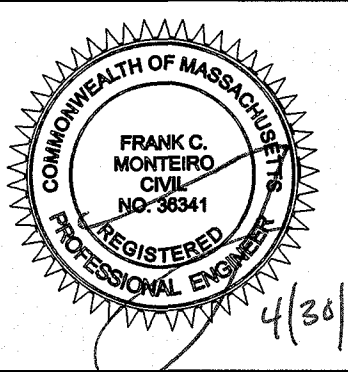
LOCATION MAP
(NOT TO SCALE)

APPROVED
By Amy Sutherland at 11:54 am, Jun 19, 2019

REV	DATE	BY	REVISION
C	4/30/19	HS	DELETE ONE DISPENSER/ADD BOLLARDS AT STORE
B	9/6/17	FCM	REV. DRIVEWAY/DETENTION POND
A	7/24/17	FCM	MISC. REVISIONS PER PEER REVIEW COMMENTS 7/10/17

REVISIONS

MHF Design Consultants, Inc.
44 Stiles Road, Suite One
Salem, New Hampshire 03079
(603) 893-0720
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DRAWN BY:	NIG	DESIGNED BY:	FCM
SCALE:	1"=20'	APPROVED BY:	
DATE:	5/18/17	PROPERTY NO.:	
CAD FILE:	4051SP	REF-BLK:	
PLOTTED:		REF-BLK:	

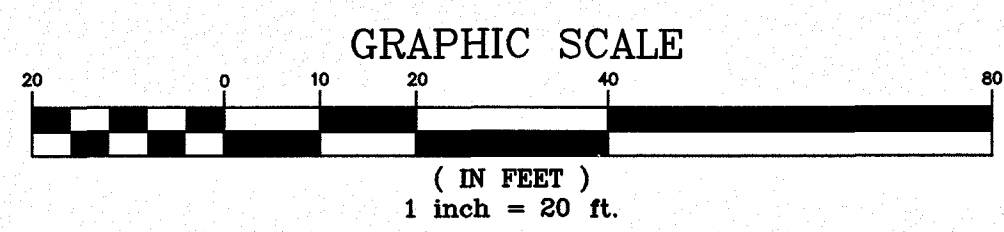
IRVING OIL
190 COMMERCE WAY
PORTSMOUTH, NH 03801

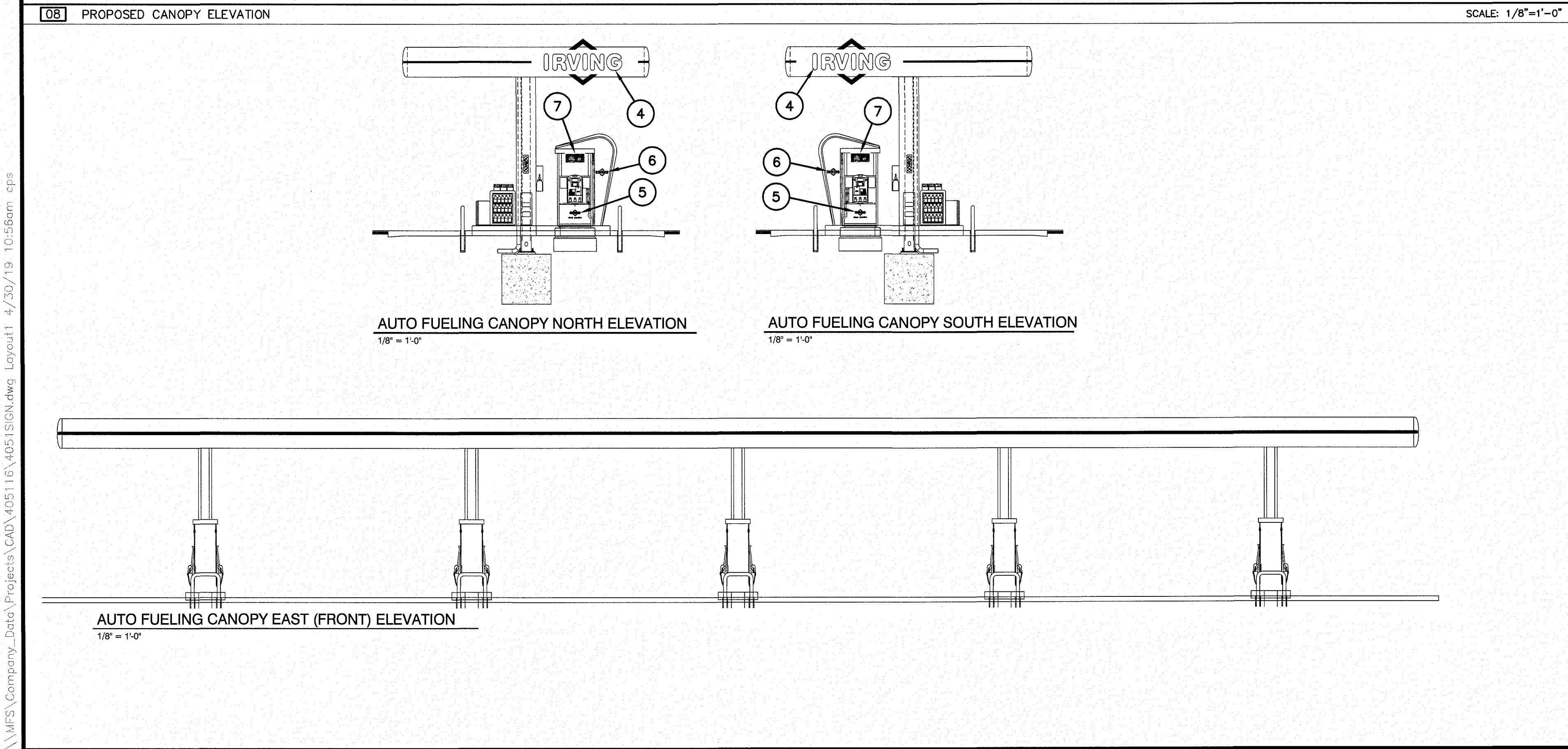
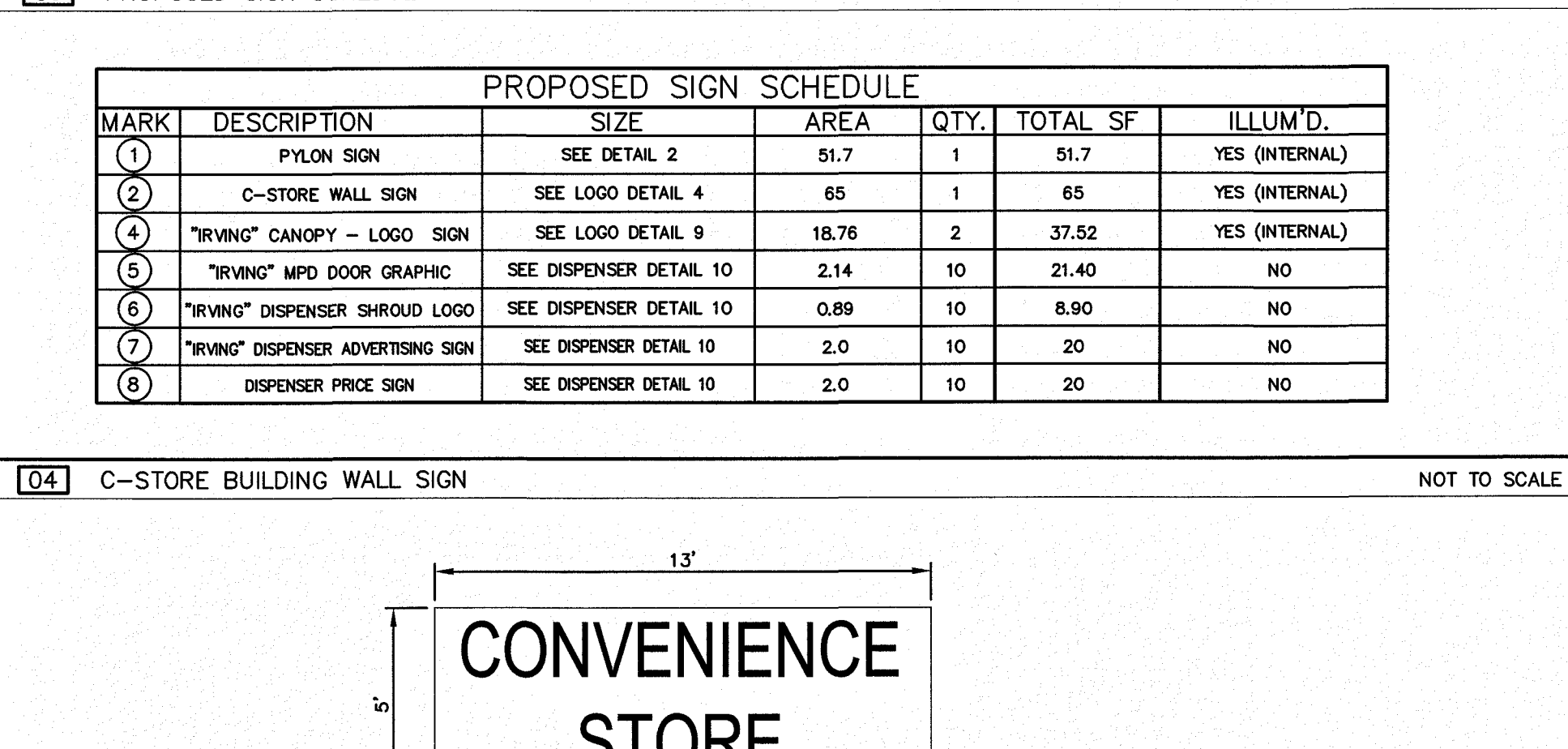
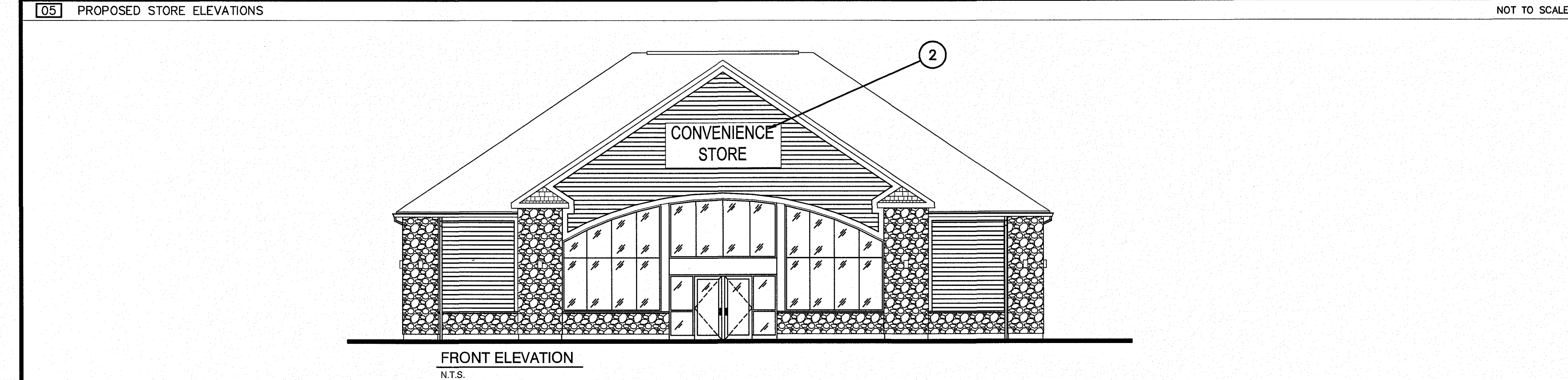
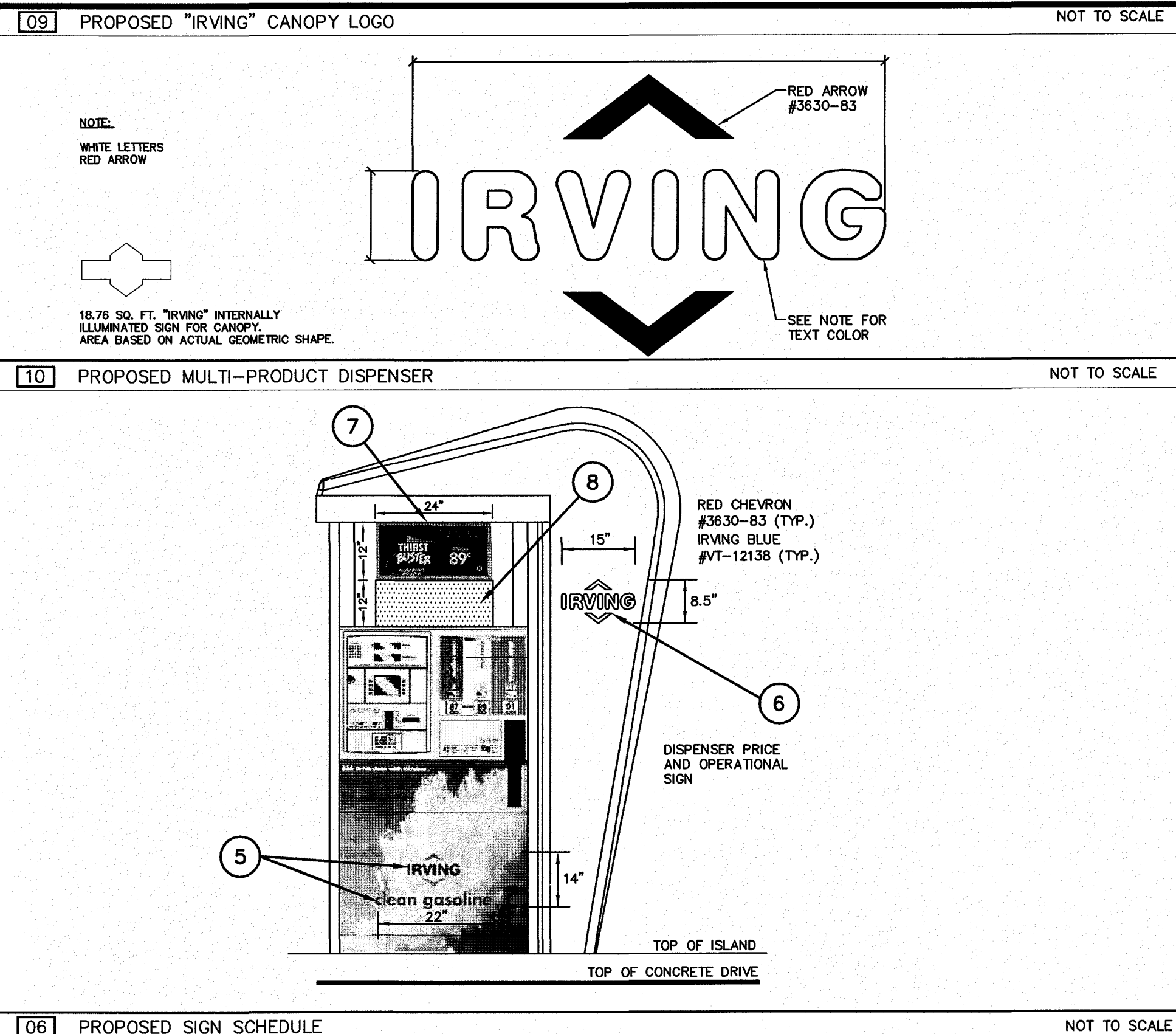
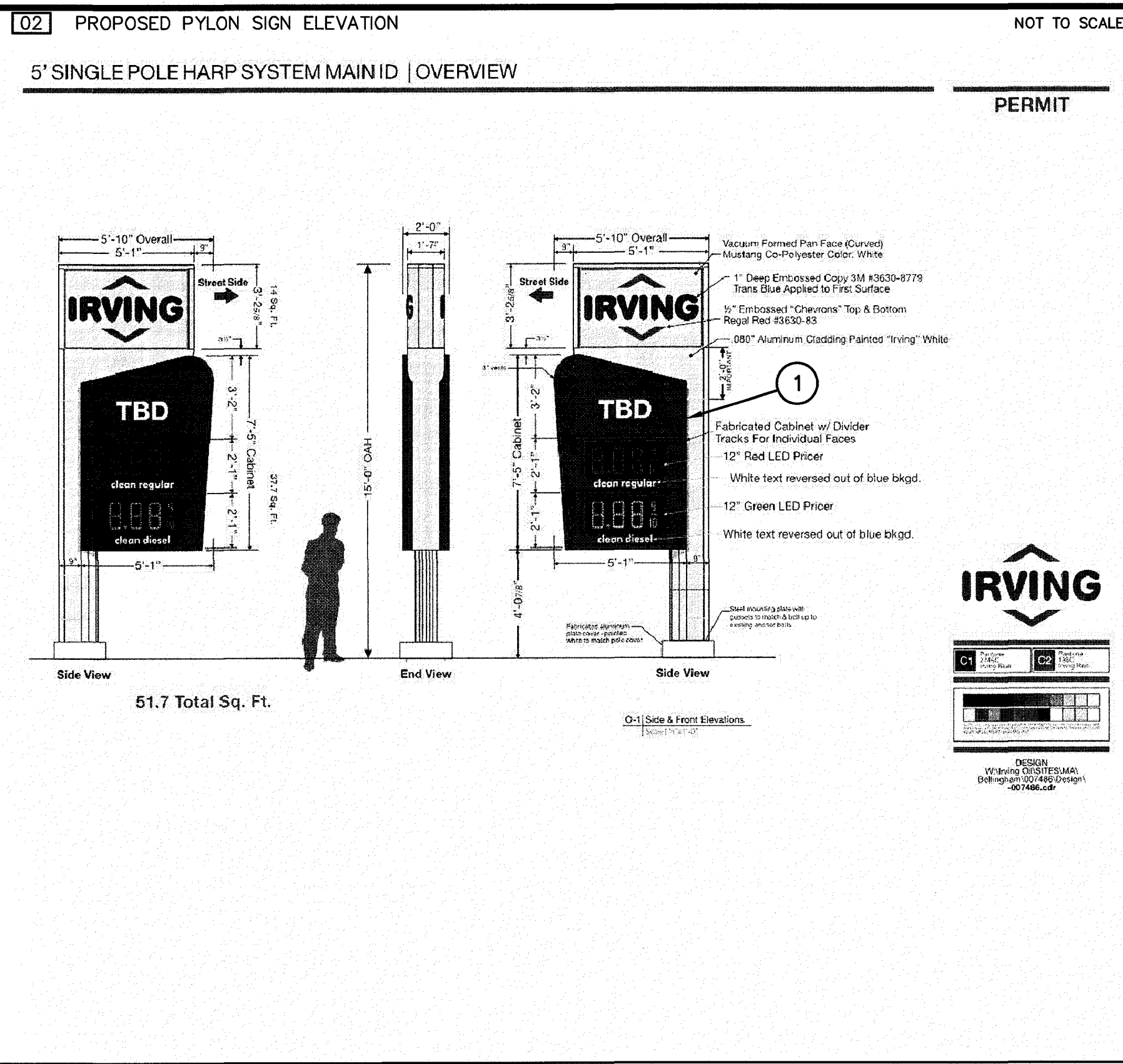
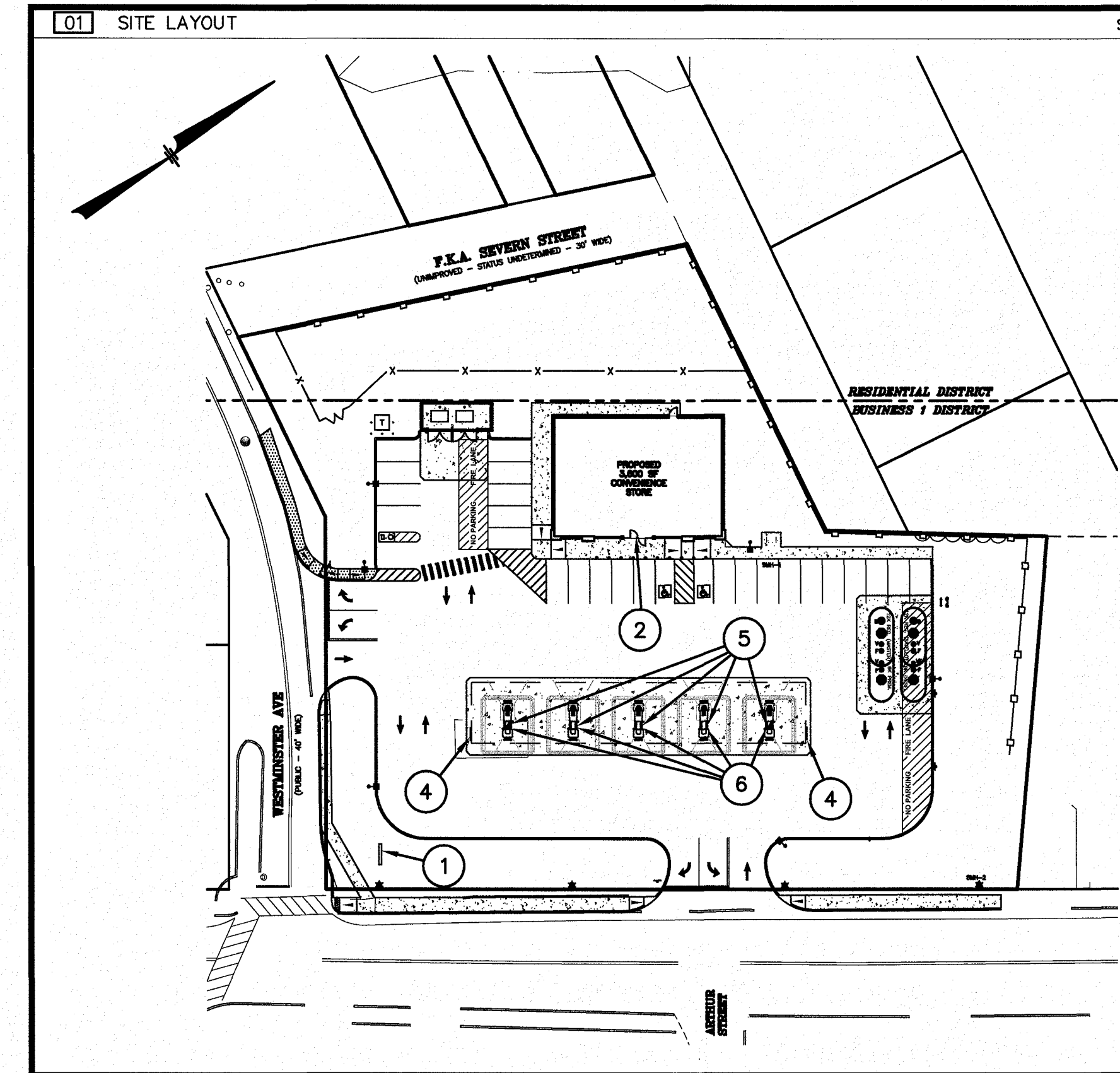
PROJECT: ASSESSORS MAP 94 - LOTS 138, 161, & 162
310 PULASKI BOULEVARD
BELLINGHAM, MA

TRUCK TURN PLAN

PROJECT:	DRAWING NO:	REVISION:
	TT	C

COMPANY SUPERVISOR AND CONTRACTOR TO VERIFY ALL MEASUREMENTS ON WORK OR AT SITE. THIS DRAWING IS THE PROPERTY OF IRVING OIL LTD. AND SHALL BE RETURNED ON COMPLETION OF WORK.





☐ SUPERSEDES ALL PREVIOUS ISSUES
☐ APPROVED FOR CONSTRUCTION
☐ PRELIMINARY-NOT FOR CONSTRUCTION

ISSUED TO: _____

DATE: _____

REV	DATE	BY	REVISION
C	4/30/19	HS	DELETE ONE DISPENSER
B	9/6/17	FCM	REV. DRIVEWAY/DETENTION POND
A	8/4/17	FCM	REVISED PYLON SIGN

REVISIONS

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FRANK C. MONTEIRO
CIVIL
NO. 36341
REGISTERED PROFESSIONAL ENGINEER

IRVING
NIG
AS SHOWN
DATE: 5/18/17
CAD FILE: 4051SIGN.DWG
PLOTTED:

IRVING OIL
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PORTSMOUTH, NH 03801

PROJECT: ASSESSORS MAP 94 - LOTS 138, 161, & 162
310 PULASKI BOULEVARD
BELLINGHAM, MA

SHEET TITLE: **SIGN & GRAPHICS PLAN**

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APPROVED
By Amy Sutherland at 11:54 am, Jun 19, 2019

PROJECT: DRAWING NO: **A50** REVISION: **C**

APPROVED

By Amy Sutherland at 11:55 am, Jun 19, 2019

6 FT. FENCE MODELED AS
LIGHT OBSTRUCTIONRESIDENTIAL DISTRICT
BUSINESS 1 DISTRICTPROPOSED
3,600 SF
CONVENIENCE STOREWESTMINSTER AVE
(PUBLIC - 40' WIDE)

PULASKI BOULEVARD

(PUBLIC - 60' WIDE - 1928 COUNTY RELOCATION & WIDENING PLAN)








NOTE:

- LUMEN CONTRIBUTION FROM FIXTURE TYPE ME NOT INCLUDED IN CALCULATIONS
- AREA LIGHTS ON 20 FT. POLES MOUNTED ON 2.5 FT. CONCRETE BASES

FOOTCANDLE LEVELS CALCULATED AT GRADE USING INITIAL LUMEN VALUES

LABEL	AVG	MAX	MIN	AVG/MIN	MAX/MIN
CANOPY	43.86	60	14	3.13	4.29
IRVING HARP FACE	35.03	42	28	1.25	1.50
PAVED	2.93	11.4	0.4	7.33	28.50
PROPERTY LINE, OTHER	0.50	2.6	0.0	N.A.	N.A.
PROPERTY LINE, RESIDENTIAL	0.01	0.1	0.0	N.A.	N.A.
UNDEFINED	0.45	14.9	0.0	N.A.	N.A.

LUMINAIRE SCHEDULE

SYMBOL	QTY	LABEL	ARRANGEMENT	LUMENS	LLF	ARR. WATTS	TOTAL WATTS	MANUFACTURER	DESCRIPTION
	10	C1	SINGLE	12862	1.050	141	1410	RUUD LIGHTING, INC., A CREE COMPANY	CAN-304-AF-RS-06-E-UL-WH-700
	10	C2	SINGLE	13251	1.050	134	1340	CREE, INC.	CAN-304-SL-RS-06-E-UL-XX-700-57K
	2	EA1	SINGLE	12181	1.000	113	226	EATON - MCGRAW-EDISON (FORMER COOPER LIGHTING)	GLEON-AF-02-LED-E1-T3-7050
	4	EB1	SINGLE	12252	1.000	113	452	EATON - MCGRAW-EDISON (FORMER COOPER LIGHTING)	GLEON-AF-02-LED-E1-T4FT-7050
	4	ME	SINGLE	12490	1.000	185	740	COOPER LIGHTING - MCGRAW-EDISON	MNC-150-MP-X-5-X-V-X (DECORATIVE FIXTURE BY OTHERS)
	2	W3	SINGLE	5893	1.030	68	136	CREE, INC.	SEC-EDG-3M-WM-04-E-UL-XX-525-57K
	6	WS	SINGLE	819	1.000	20.18	121.08		2SRBK-4-9W-LED-120V

REV.	BY	DATE	DESCRIPTION
1	LMP	05/08/17	REVISED AREA FIXTURE FROM CREE TO EATON-MCGRAW-EDISON PER REQUEST
2	LMP	07/21/17	REVISED PER COMMENTS
3	LMP	08/03/17	REVISED PER COMMENTS
4	LMP	08/31/17	REVISED PER UPDATED SITE PLAN

REV.	BY	DATE	DESCRIPTION
RS	JSG	4/30/19	REVISED PER NEW SITE PLAN. ADJUST CANOPY LIGHTING FOR ONE LESS DISPENSER

PERSONS USING THIS PROGRAM ARE ADVISED:
THAT THIS PROGRAM MAY CONTAIN ERRORS.
WHICH RED LEONARD ASSOCIATES, INC. OR ITS
SOFTWARE PROVIDER HAVE NOT OBSERVED.
IN ADDITION, THE USE OF THIS PROGRAM TO ASSESS
LIGHTING REQUIREMENTS IS NOT INTENDED TO REMOVE THE
RESPONSIBILITY OF THE USER TO VERIFY THE
COMPLETENESS OF ANY BILL OF MATERIALS AND
THAT THE LAYOUT OR USE OF LUMINAIRES IS IN
FULL ACCORDANCE WITH ALL LOCAL, STATE OR
FEDERAL REGULATIONS, REQUIREMENTS OR OTHER
REQUIREMENTS OR THE REQUIREMENTS OF ANY
INSURANCE GROUP, ORGANIZATION OR CARRIER
REGARDING LUMINAIRES AND THEIR APPLICATION.

FOR INFORMATIONAL AND ILLUSTRATION PURPOSES ONLY, ALL PRODUCT,
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ANY USE OF THESE DOCUMENTS WITHOUT THE WRITTEN CONSENT OF A RED
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ILLUMINATION RESULTS SHOWN ON THIS LIGHTING APPLICATION ARE BASED
ON PROJECT PARAMETERS PROVIDED BY THE MANUFACTURER LISTED, USED
IN CONJUNCTION WITH LUMINAIRE TEST PROCEDURES CONDUCTED UNDER
LABORATORY CONDITIONS. ACTUAL PROJECT CONDITIONS DIFFERING FROM
THESE PARAMETERS MAY AFFECT FIELD RESULTS. THE CUSTOMER IS
RESPONSIBLE FOR VERIFYING COMPLIANCE WITH ANY APPLICABLE
ELECTRICAL, LIGHTING, OR ENERGY CODES.

SCALE:
1" = 20'

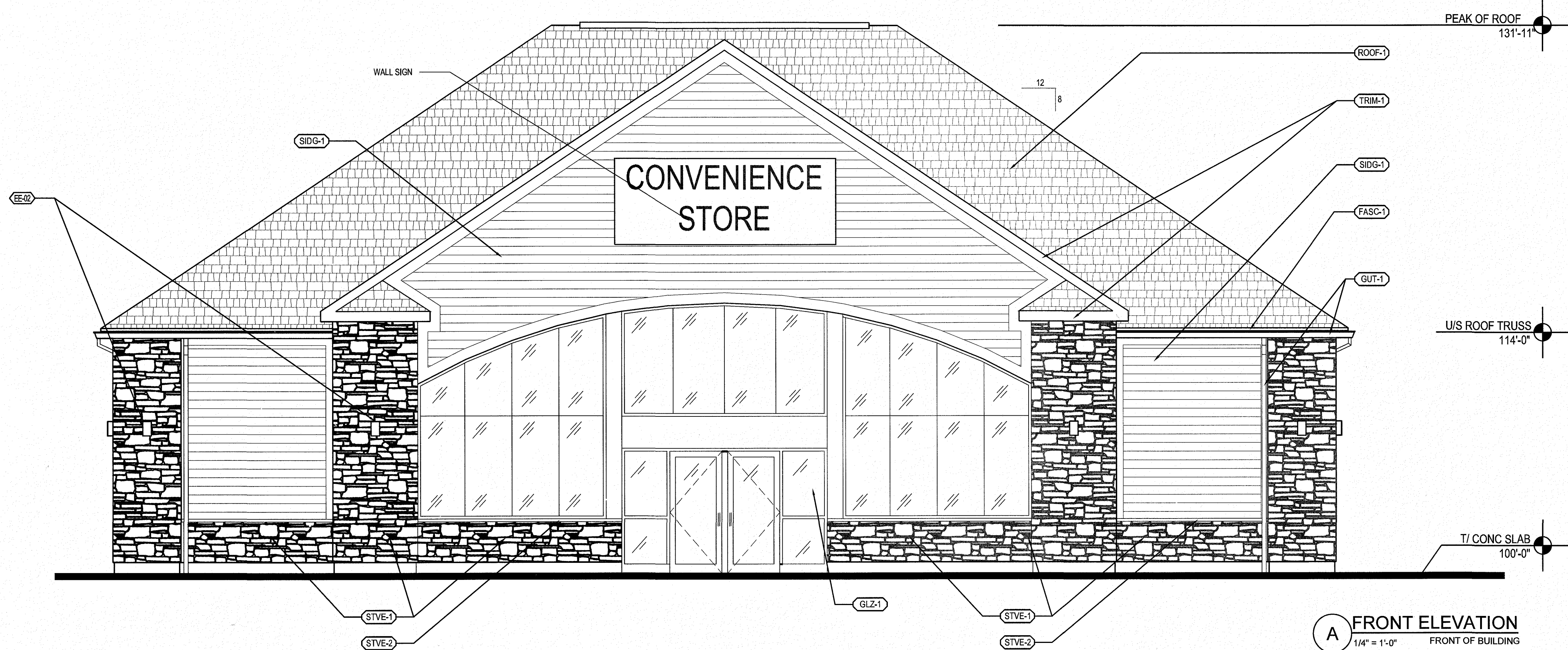
LAYOUT BY:
LMP

DWG SIZE:
D

DATE:
04/28/17

PROJECT NAME
IRVING OIL
BELLINGHAM, MA
DRAWING NUMBER
RL-4531-S1-R5

rla

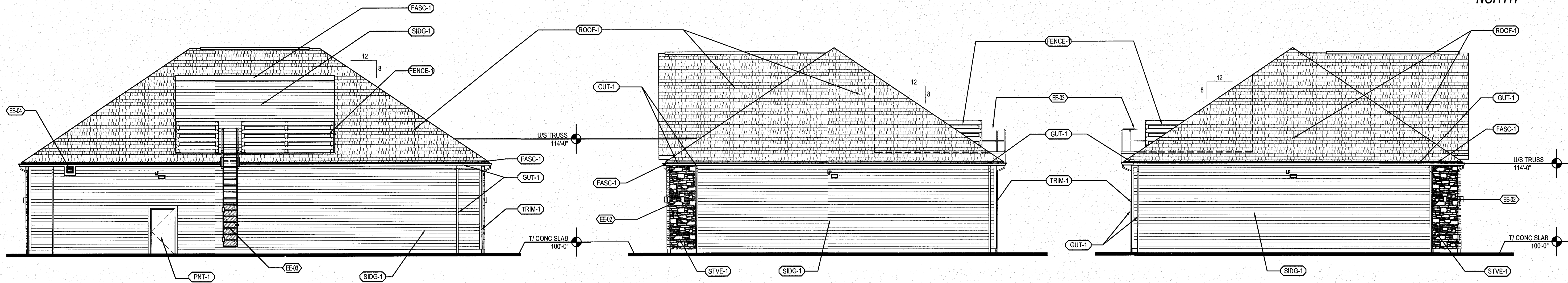
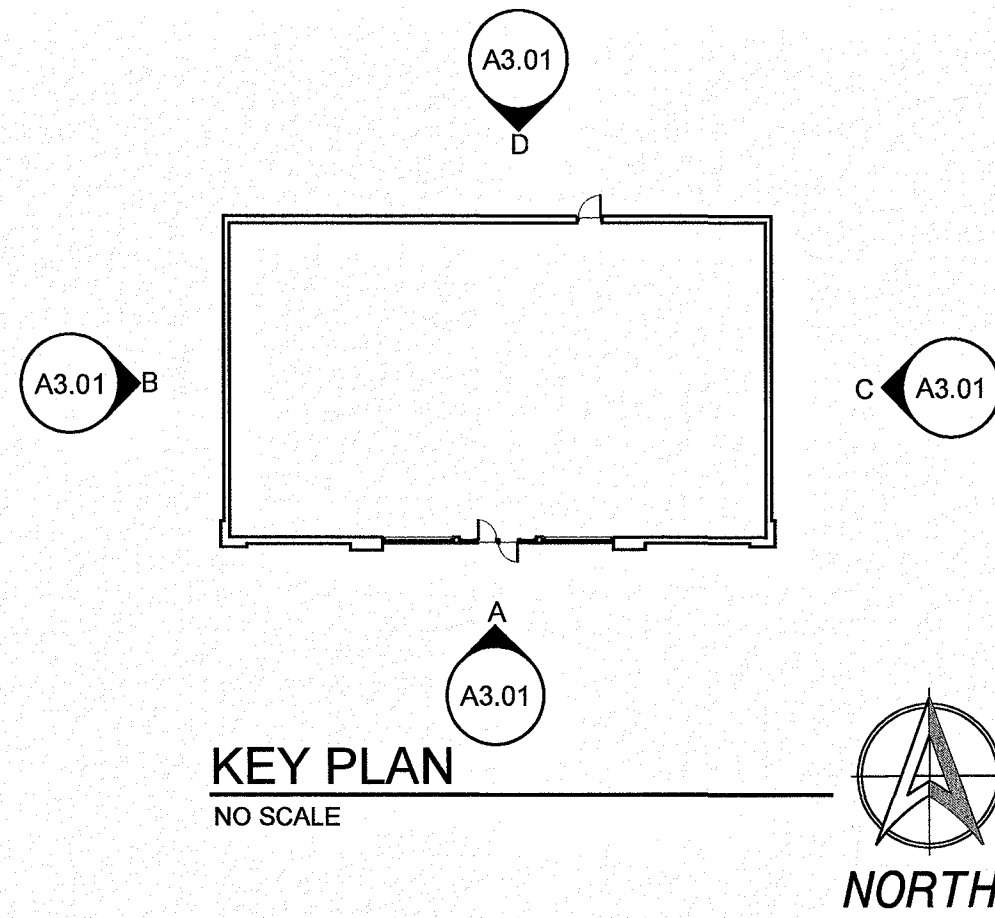


A FRONT ELEVATION
1/4" = 1'-0" FRONT OF BUILDING

EXTERIOR ELEVATION NOTES:

- EE-01 NOT USED
- EE-02 DECORATIVE WALL SCIENCE
- EE-03 EQUIPMENT PLATFORM GALV. STEEL ACCESS LADDER WITH GALV. STEEL SECURITY DOOR (PTD)
- EE-04 ELECTRICAL ROOM EXHAUST, WALL CAP TO BE INSTALLED UNDER SIDING TRIM BELOW SOFFIT

ELEVATION MATERIAL SCHEDULE		
NO.	MATERIAL:	NOTES:
(FASC-1)	MATERIAL: PREFINISHED WOOD FASCIA BOARD MANUFACTURER: TBD FASCIA: TBD COLOR: AS SELECTED BY OWNER FROM FULL RANGE	
(FENCE-1)	MATERIAL: ROOFTOP EQUIPMENT FENCE ENCLOSURE MANUFACTURER: TO BE DETERMINED COLOR: TO MATCH SIDING COLOR	
(GLZ-1)	MATERIAL: PREFINISHED ALUMINUM STOREFRONT SYSTEM STOREFRONT MANUFACTURER: ANOTEC STOREFRONT SYSTEM: 3400 SERIES ALUMINUM WINDOW FRAMING CLEAR ANODIZED STOREFRONT COLOR: CLEAR ANODIZED GLASS: TBD GLASS MANUFACTURER: TBD GLASS TYPE: TBD GLASS COLOR: TBD	SHIM AND SEAL ALL EDGES PER MFRS. REQUIREMENTS
(GUT-1)	MATERIAL: PREFINISHED ALUMINUM GUTTERS AND DOWNSPOUTS MANUFACTURER: TBD GUTTER COLOR: AS SELECTED BY OWNER FROM FULL RANGE DOWNSPOUT COLOR: AS SELECTED BY OWNER FROM FULL RANGE	CONNECT DOWNSPOUTS TO UNDERGROUND STORM. STAINLESS STEEL CONNECTION AT GRADE
(PNT-1)	MATERIAL: EXTERIOR PAINT MANUFACTURER: TO BE DETERMINED PRIMER: TO BE DETERMINED FINISH: TO BE DETERMINED COLOR: TO BE DETERMINED	
(PNT-2)	MATERIAL: EXTERIOR PAINT MANUFACTURER: TO BE DETERMINED PRIMER: TO BE DETERMINED FINISH: TO BE DETERMINED COLOR: TO BE DETERMINED	
(ROOF-1)	MATERIAL: ROOF SHINGLES MANUFACTURER: BP ARCHITECTURAL COLLECTION PATTERN: MYSTIQUE 42 ASPHALT SHINGLES COLOR: SLATE GRAY	
(SIDG-1)	MATERIAL: PREFINISHED WOOD SIDING MANUFACTURER: MAIBEC SIDING: EM+ RABBETED BEVEL HORIZONTAL SIDING COLOR: TEXTURED FINISH C/W IRVING BEIGE (L84769-258173-NG) TRIM: 2"x5" AT CORNERS, WINDOW/DOOR FRAMES, BELOW SOFFIT AND CHANGE OF MATERIALS COLOR: IRVING BEIGE (L84769-258173-NG)	UNDERLAYMENT TO BE (1) LAYER 30# BUILDING FELT
(STVE-1)	MATERIAL: PREFABRICATED MASONRY PANELS MANUFACTURER: PERMACON BEONSTONE PATTERN: TO BE DETERMINED COLOR: CLASSIC CARBO GREY	UNDERLAYMENT TO BE MFRS APPROVED WATER AND WEATHER RESISTIVE BARRIER
(STVE-2)	MATERIAL: STONE SILL CAP MANUFACTURER: PERMACON BEONSTONE PATTERN: TO BE DETERMINED COLOR: CLASSIC CARBO GREY	UNDERLAYMENT TO BE ICE AND WATER SHIELD BY WR GRACE OR APPROVED EQUAL
(TRIM-1)	MATERIAL: PREFINISHED WOOD FASCIA BOARD MANUFACTURER: MAIBEC FASCIA: TBD COLOR: TO BE DETERMINED	
(SOF-1)	MATERIAL: TO BE DETERMINED MANUFACTURER: TO BE DETERMINED PATTERN: TO BE DETERMINED COLOR: TO BE DETERMINED	



D BACK ELEVATION
1/8" = 1'-0" BACK OF BUILDING

C RIGHT ELEVATION
1/8" = 1'-0" RIGHT PLAN SIDE

B LEFT ELEVATION
1/8" = 1'-0" LEFT PLAN SIDE

APPROVED
By Amy Sutherland at 11:56 am, Jun 19, 2019

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F: 216.749.1300
Cleveland Office
3723 Pearl Road
Cleveland, OH 44109

PROJECT:

NEW STORE FOR:
IRVING OIL
WESTMINSTER AVE AND PULASKI BLVD
BELLINGHAM, MASSACHUSETTS

MARK: ISSUE: DATE:
Review 05/11/17

PROJECT #: 17002.07

DRAWN BY: *** CHECKED BY: ***

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DRAWING TITLE:
REFLECTED CEILING PLAN

SHEET #:

A3.01

MHF PROJECT NO. 405116 SHEET 1 OF 1

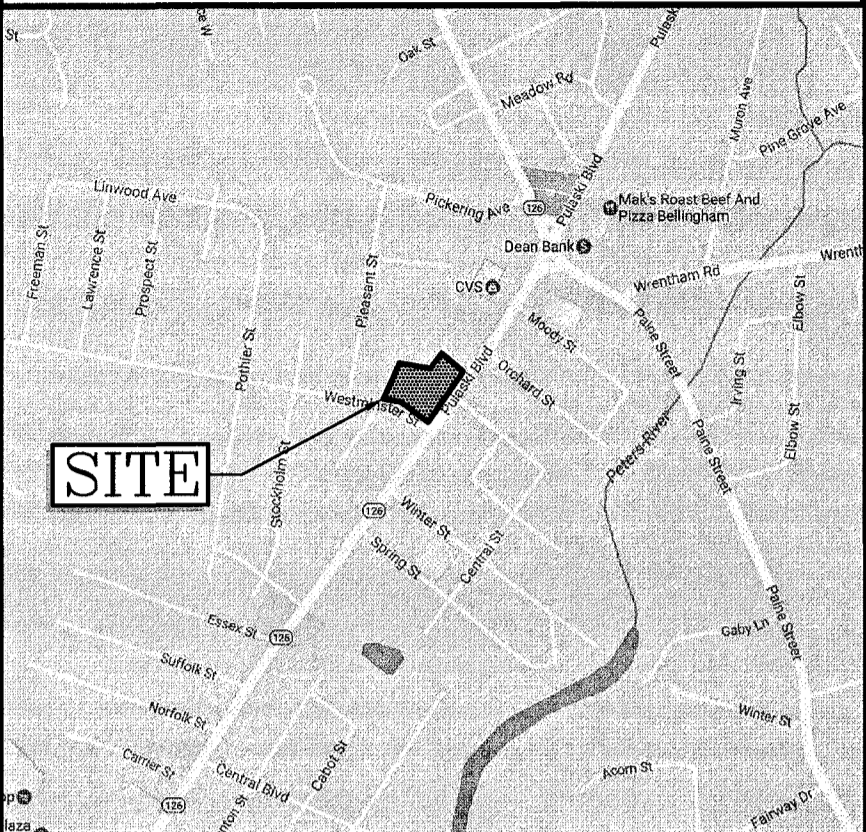
\\MFS\Company_Data\Projects\CAD\405116\4051CANOPY.dwg ELEVATIONS 4/30/19 10:56am cps

APPROVED

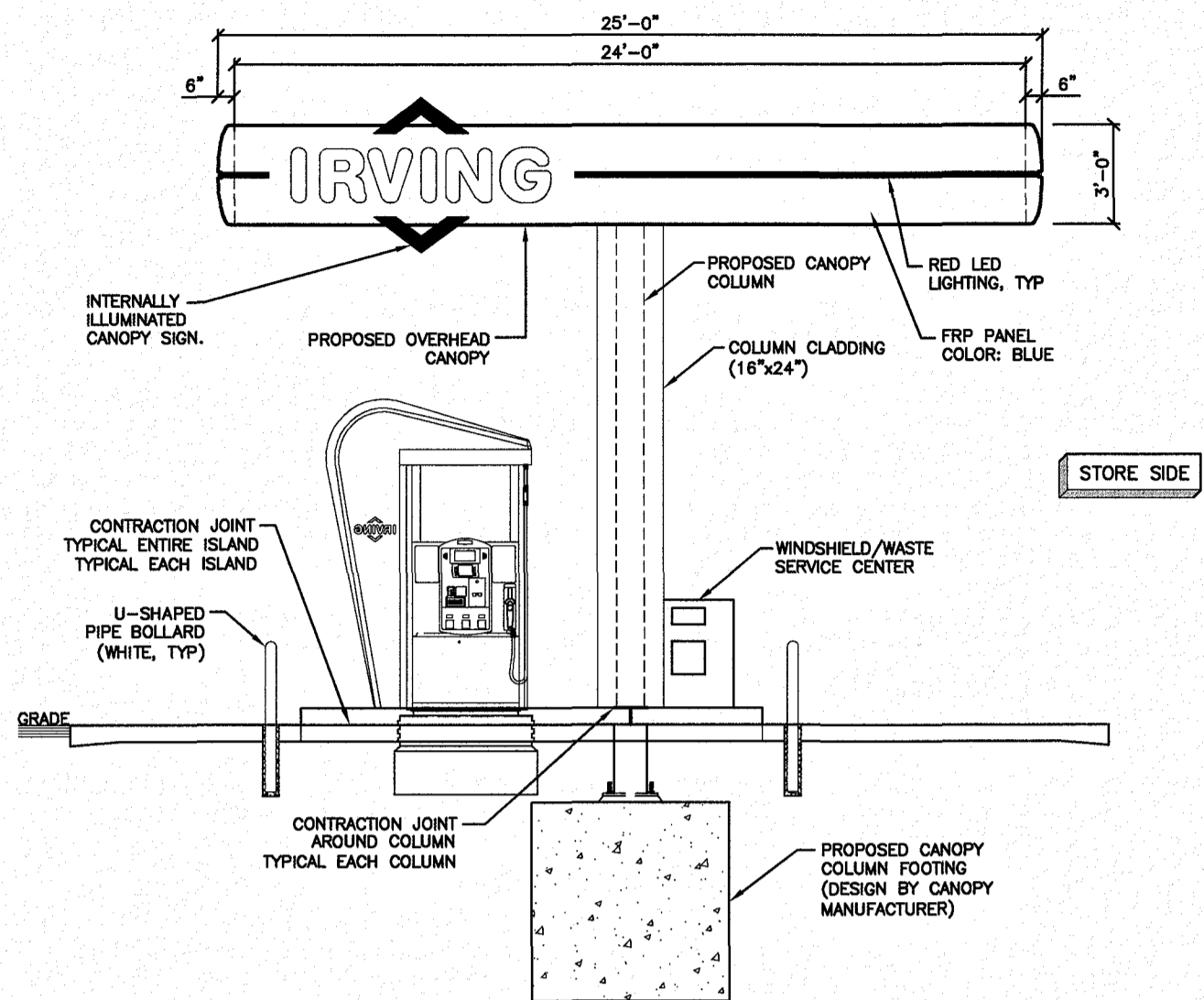
By Amy Sutherland at 11:56 am, Jun 19, 2019

- ☐ SUPERSEDES ALL PREVIOUS ISSUES
☐ APPROVED FOR CONSTRUCTION
☐ PRELIMINARY—NOT FOR CONSTRUCTION
☐ ISSUED TO: _____

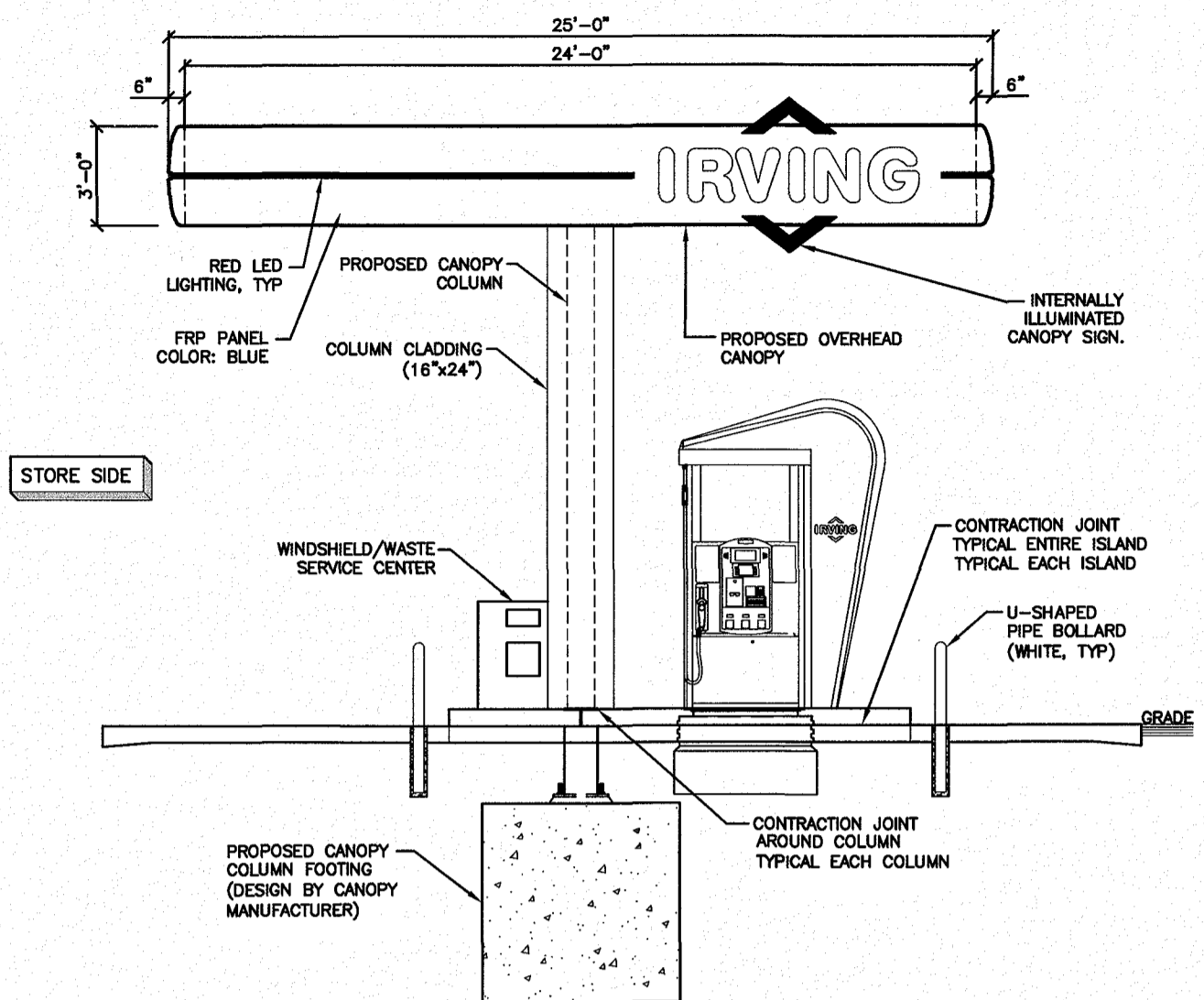
DATE _____



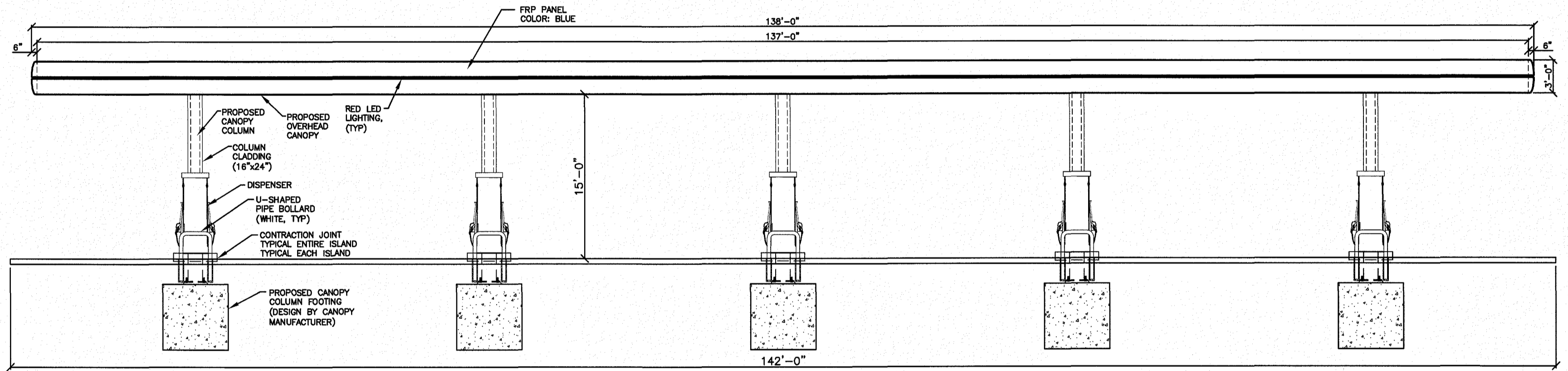
LOCATION MAP
(NOT TO SCALE)



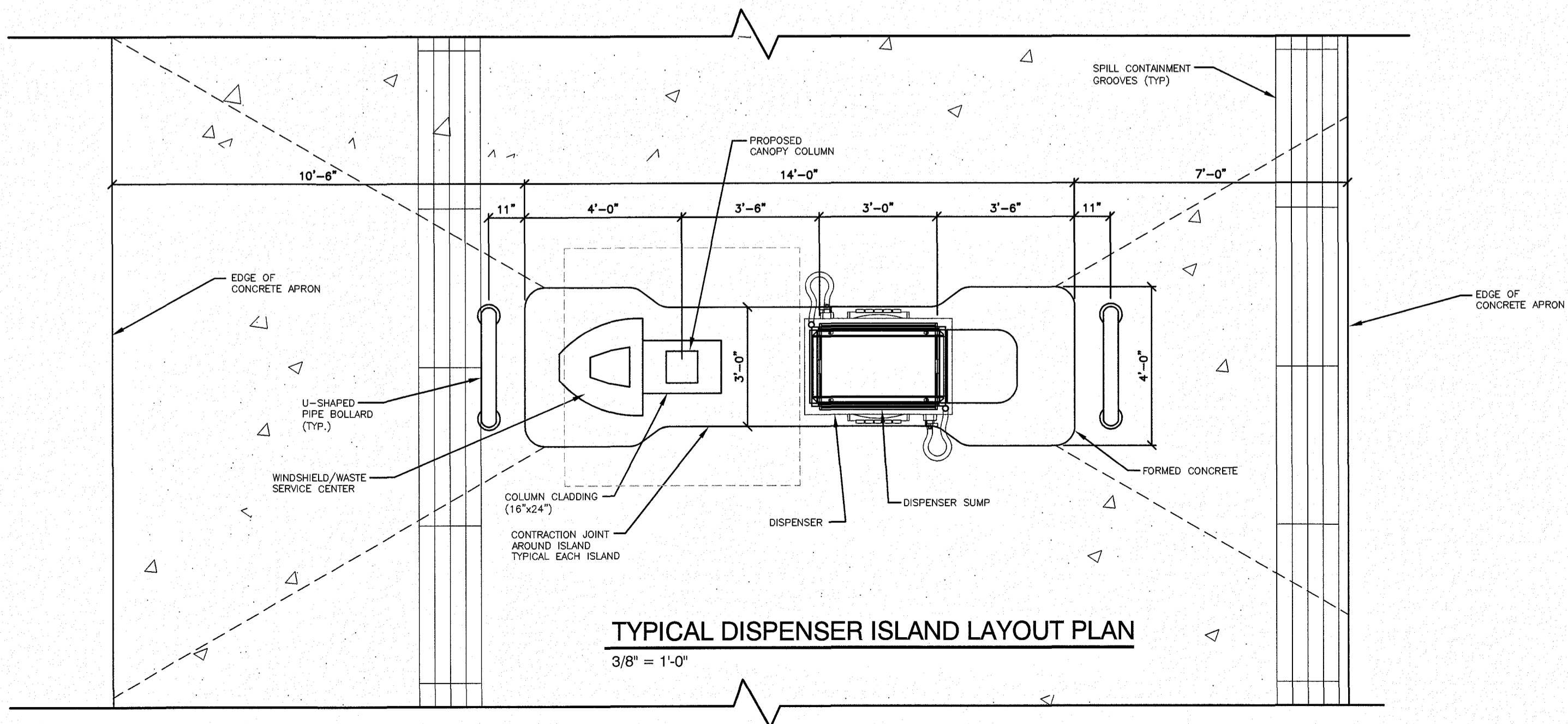
A AUTO FUELING CANOPY NORTH ELEVATION
3/16" = 1'-0"



B AUTO FUELING CANOPY SOUTH ELEVATION
3/16" = 1'-0"



1 AUTO FUELING CANOPY FRONT ELEVATION
1/8" = 1'-0"



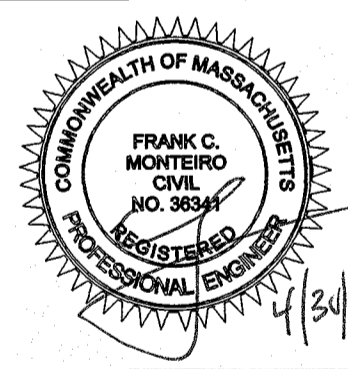
TYPICAL DISPENSER ISLAND LAYOUT PLAN
3/8" = 1'-0"

REV	DATE	BY	REVISION
A	4/30/19	HS	DELETE ONE DISPENSER

REVISIONS



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DRAWN BY: NIG	DESIGNED BY: FCM
SCALE: AS SHOWN	APPROVED BY:
DATE: 5/18/17	PROPERTY NO.:
CAD FILE: 4051CANOPY.dwg PLOTTED:	REF-BLK: REF-BLK: REF-BLK:

IRVING OIL





190 COMMERCE WAY
PORTSMOUTH, NH 03801

PROJECT:
ASSESSORS MAP 94 - LOTS 138, 161, & 162
310 PULASKI BOULEVARD
BELLINGHAM, MA

SHEET TITLE:
PROPOSED RETAIL FUEL
CANOPY ELEVATIONS

PROJECT:	DRAWING NO: PGC4	REVISION: A
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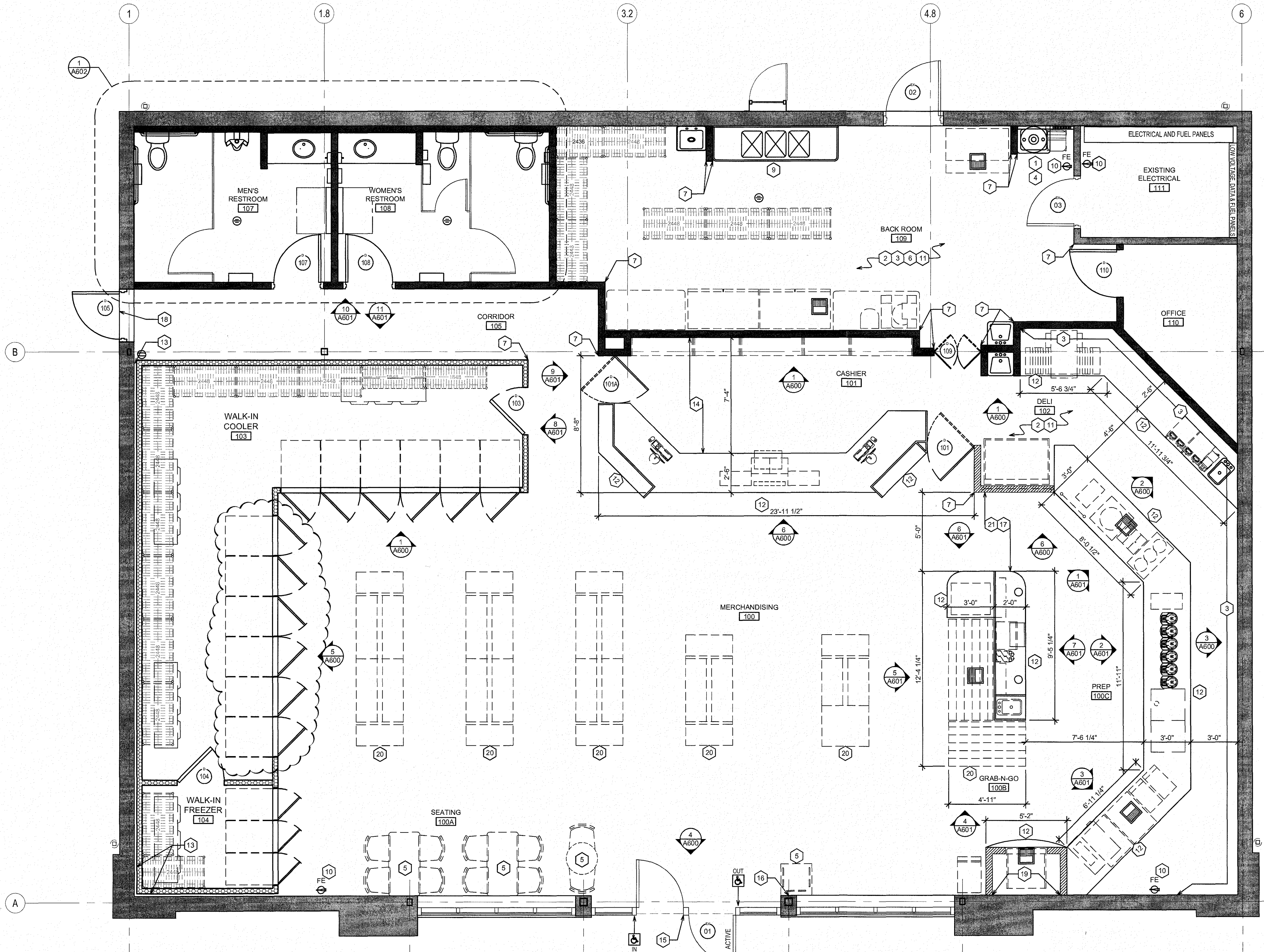
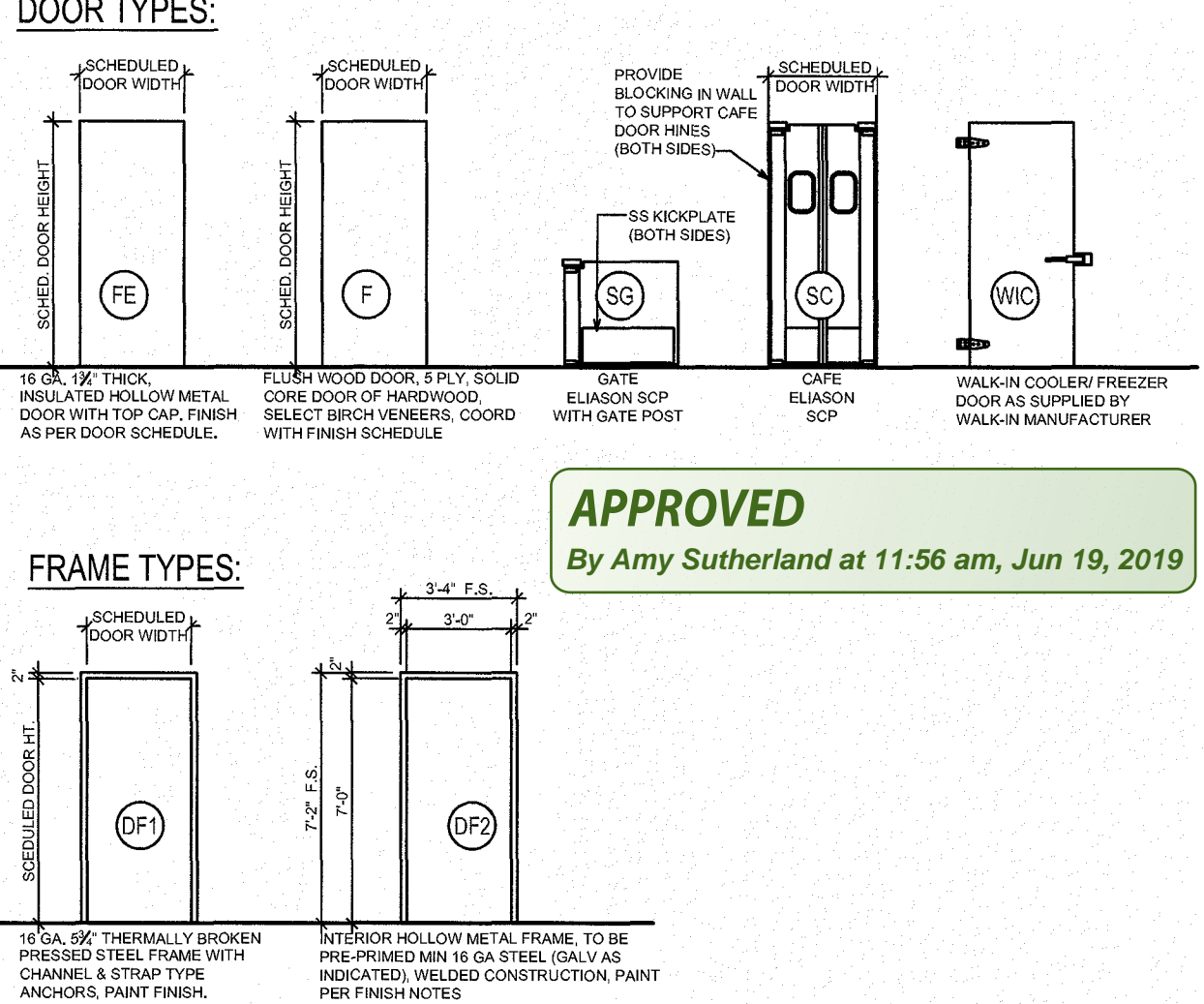
WALL LEGEND	
	EXISTING PARTITION
	AS SUPPLIED BY MILLWORKER
	NEW PARTITION
	COOLER WALLS BY MANUFACTURER

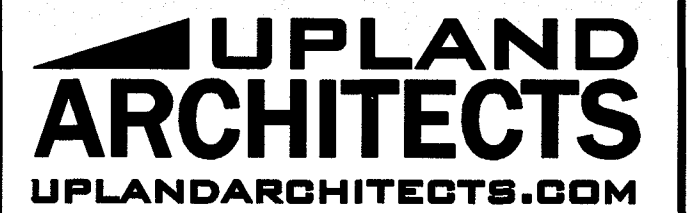
KEYED NOTES	
1	NEW FLOOR MOP SINK - COORDINATE WITH PLUMBING DRAWINGS. SEAL ALL AREAS AROUND MOP SINK AND AT FLOOR.
2	COORDINATE FLOOR DRAIN AND FLOOR SINK LOCATIONS WITH PLUMBING DRAWINGS.
3	NEW WALL TILE , COORDINATE WITH INTERIOR ELEVATIONS
4	NEW WATER HEATER ABOVE - COORDINATE WITH PLUMBING DRAWINGS
5	ALL TABLES, CHAIRS, TRASH RECEPTACLES ARE BY TENANT, AND INSTALLED BY GC UNLESS NOTED OTHERWISE.
6	INSTALLATION OF SERVING AND KITCHEN EQUIPMENT TO BE COORDINATED BY THE G.C. COORDINATE SERVING AND KITCHEN EQUIPMENT WITH EQUIPMENT PLAN
7	NEW 2'X2' CORNER GUARDS (VINYL IN CUSTOMER AREAS AND S.S IN BACKROOM) ARE PROVIDED BY AND INSTALLED BY THE GENERAL CONTRACTOR.
8	COORD CO2 LOCATION WITH TENANT AND VENDOR
9	3-COMPARTMENT SINK CONNECTED TO BUILDING INTERCEPTOR TRAP. SEE PLUMBING DWGS FOR INFO AND COORD LOCATION.
10	NEW 10# GENERAL PURPOSE WALL MOUNTED FIRE EXTINGUISHER (FE) COORD WITH FIRE PROTECTION NOTES ON SPECIFICATION SHEET. CONFIRM LOCATION IN FIELD WITH BUILDING OFFICIAL.
11	GC TO PROVIDE AND INSTALL NEW FRP FROM FLOOR TO UNDERSIDE OF CEILING ON GYP BOARDS WALLS. PREP WALL AS REQUIRED - SEE FINISH SCHEDULE.
12	CABINETRY AND COUNTERTOPS PROVIDED BY MILLWORK COMPANY AND INSTALLED BY THE GENERAL CONTRACTOR. COORDINATE ALL REQUIRED SUPPORT POST LOCATIONS WITH MILLWORK COMPANY'S REQUIREMENTS. REFER TO MILLWORK SHOP DRAWINGS
13	PROVIDE 2" AIRSPACE AT WALK-IN COOLERS/FREEZERS
14	PROVIDE UNDERSLAB CONDUIT TO CHECKOUT COUNTER, COORDINATE WITH ELECTRICAL DRAWINGS AND CASEWORK LOCATION.
15	PROVIDE BUILDING ADDRESS WITH 4" HIGH MINIMUM LETTERS. LETTERS MUST CONTRAST WITH THEIR BACKGROUND AND BE VISIBLE FROM THE STREET FRONTING THE PROPERTY.
16	PROVIDE ADA COMPLIANT TACTILE EXIT SIGN ADJACENT TO LATCH SIDE OF DOOR. BOTTOM EDGE OF SIGN TO BE MOUNTED AT 48" AFF.
17	PROVIDE UNDERSLAB CONDUIT TO FOOD ISLAND. COORDINATE WITH ELECTRICAL DRAWINGS AND CASEWORK LOCATION.
18	PROVIDE AND INSTALL NEW EXTERIOR WALL OPENING IN EXISTING CONSTRUCTION, AS REQUIRED FOR NEW EXTERIOR DOOR INSTALLATION. PROVIDE ALL NECESSARY FLASHINGS, SEALANTS ETC FOR WATERTIGHT CONSTRUCTION. INSTALL DOOR PER DOOR SCHEDULE
19	INSTALL FRP BEHIND BEVERAGE EQUIPMENT
20	FLOOR OUTLETS FOR EQUIPMENT, COORD. WITH ELECTRICAL DRAWINGS.
21	PROVIDE UNDERSLAB WATER AND SEWER TO FOOD ISLAND. COORD WITH PLUMBING DRAWINGS

DOOR SCHEDULE												
MARK	LOCATION	DOOR TYPE	SIZE	THICKNESS	DOOR MATERIAL	INSULATED	DOOR FINISH	FRAME TYPE	FRAME FINISH	HARDWARE SET	NOTES	
01	MAIN ENTRY	ETR	ETR	ETR	ETR	ETR	ETR	ETR	ETR	ETR	-	
02	RECEIVING DOOR	ETR	ETR	ETR	ETR	ETR	ETR	ETR	ETR	ETR	-	
03	ELECTRICAL	ETR	ETR	ETR	ETR	ETR	ETR	ETR	ETR	ETR	-	
101	CASHER GATE (FRONT)	SG	3'-0" X 3'-6"	3/4"	WOOD	NO	PLAM	GATE POST	PAINT	3	-	
101A	CASHER GATE (SIDE)	SG	3'-0" X 3'-6"	3/4"	WOOD	NO	PLAM	GATE POST	PAINT	3	-	
103	WALK-IN COOLER	WIC	3'-0"X7'-0"	AS SUPPLIED BY COOLER MANUFACTURER							4	-
104	WALK-IN FREEZER	WIC	3'-0"X7'-0"	AS SUPPLIED BY COOLER MANUFACTURER							4	-
105	SIDE EGRESS	FE	3'-0"X7'-0"	1 3/4"	HOLLOW METAL	YES	A	DF1	B	1	-	
106	NOT USED	-	-	-	-	-	-	-	-	-	-	
107	MEN'S RESTROOM	F	3'-0"X7'-0"	1 3/4"	SCWD	NO	CLEAR	DF2	C	5	-	
108	WOMEN'S RESTROOM	F	3'-0"X7'-0"	1 3/4"	SCWD	NO	CLEAR	DF2	C	5	-	
109	BACK ROOM	SC	(PAIR) 1'-6" X 6'-8"	3/4"	WOOD	NO	PLAM	NA	NA	3	-	
110	OFFICE	F	3'-0"X7'-0"	1 3/4"	SCWD	NO	CLEAR	DF2	C	2	-	
HARDWARE SET 1- EXTERIOR DOOR												
(3) HINGES HAGER B81191												
(1) EXIT DEVICES SARGENT NB8706 ETJ WITH TOP LATCH AND STRIKE.												
(1) DOOR CLOSERS LCN 4040 SERIES												
(1) DOOR STOPS GLYNN JOHNSON MODEL 104S CONCEALED OVERHEAD DOOR STOP. COLOUR US32D SATIN STAINLESS STEEL, SIZE TO SUIT.												
(1) KICKPLATES HAGER 224S (8'x2" LESS THAN DOOR WIDTH). BRUSHED STAINLESS STEEL.												
(1) THRESHOLD HAGER 424S THERMAL BARRIER THRESHOLD.												
(1) WEATHERSTRIPPING HAGER 891S (HEAD & JAMB) AND HAGER 750S (DOOR BOTTOM), CLEAR ANODIZED												
(1) ASTRAGAL HAGER 802S, CLEAR ANODIZED.												
(1) DOOR VIEWER HAGER 1756.												
HARDWARE SET 2- INTERIOR DOOR - OFFICE AND STORAGE												
(3) HINGES HAGER B81279												
(1) MORTISE LOCKSET SARGENT 8204 - OFFICE FUNCTION, "L" LEVER, SATIN CHROME.												
(1) DOOR CLOSER LCN 1480T SERIES												
(1) DOOR STOP HAGER 241F/243F												
(2) KICKPLATES HAGER 224S (8'x2" LESS THAN DOOR WIDTH). BRUSHED STAINLESS STEEL.												
HARDWARE SET 3 - ELASON GATES AND DOORS												
-ALL DOOR HARDWARE BY DOOR MANUFACTURER												
HARDWARE SET 4 - WALK-IN COOLER AND FREEZER DOOR												
-ALL DOOR HARDWARE BY WALK-IN MANUFACTURER												
HARDWARE SET 5 - RESTROOM DOORS												
(3) HINGES HAGER B81279												
(1) PULL HAGER 30G PULL												
(2) PUSH PULL PLATE HAGER 30S PLATE												
(1) DOOR CLOSER LCN 1480T SERIES												
(1) DOOR STOP HAGER 241F/243F												
(2) KICKPLATES HAGER 224S (8'x2" LESS THAN DOOR WIDTH). BRUSHED STAINLESS STEEL.												
DOOR SCHEDULE NOTES:												
A. FACTORY FINISH - PAINT												
B. PAINT TO MATCH "IRVING BEIGE"												
C. PAINT TO MATCH ADJACENT WALL COLOR												
D. SECONDARY EGRESS DOOR TO HAVE NO EXTERIOR ENTRY HARDWARE ON EXTERIOR SIDE												
E. CONFIRM EXISTING DOORS, FRAMES, AND HARDWARE (INCLUDING AUTOMATIC OPENERS) ARE IN PROPER OPERATIONAL CONDITION. REPAIR AS REQUIRED.												
F. ALL DOOR HARDWARE TO MEET ADA REQUIREMENTS. DOOR TO MEET ADA DOOR OPENING PRESSURE GUIDELINES, MAX. 5 LBS (INTERIOR) & 10-15 LBS (EXTERIOR)												
G. EXTERIOR DOORS- INSTALL BRUSH STYLE SWEEPS, WEATHER STRIPPING, AND THRESHOLD SET IN FULL BED OF SEALANT												

GENERAL DOOR NOTES	
•	ALL DOORS TO RECEIVE DOOR SILENCERS.
•	ENSURE THAT ALL DOORS ARE PROPERLY UNDERCUT FOR EASE OF SWING AND AIR TRANSFER. CUT TO BE NO GREATER THAN 1/4" FOR EXTERIOR AND 3/4" FOR INTERIOR.
•	FRAMES TO RECEIVE BLOCKING WITHIN SURROUNDING PARTITIONS AS REQUIRED TO PROPERLY SUPPORT ALL SPECIFIED HARDWARE.
•	HARDWARE SUPPLIER TO COORDINATE FINAL DOOR HARDWARE AND ALL KEYING WITH OWNER REPRESENTATIVE.
•	PROVIDE ALL KEYS IN INDIVIDUAL ENVELOPES, PROPERLY IDENTIFIED WITH DOOR NUMBERS, LOCATIONS AND KEY CODING.
•	ALL LOCKSETS LISTED TO BE LEVER FUNCTION AS NOTED IN HARDWARE SCHEDULE AND FINISHED IN SATIN CHROME. TRIMS SHALL BE SARGENT "L" LEVERS, "L" ROUND ROSE IN SATIN CHROME. ANSI STANDARD STRIKES WITH ANSI BOX.
•	USE ONLY FASTENERS PROVIDED BY MANUFACTURER, FAILURE TO COMPLY MAY VOID WARRANTIES AND APPLICABLE LICENSED LABELS, SUPPLY SCREWS, BOLTS, EXPANSION SHIELDS AND OTHER FASTENING DEVICES REQUIRE FOR SATISFACTORY INSTALLATION AND OPERATION OF HARDWARE. EXPOSED FASTENING DEVICES TO MATCH FINISH OF HARDWARE. WHERE PULL IS SCHEDULED ON ONE SIDE OF DOOR AND PUSH PLATE ON OTHER SIDE, SUPPLY FASTENING DEVICES, AND INSTALL SO PULL CAN BE SECURED THROUGH DOOR FROM REVERSE SIDE. INSTALL PUSH PLATE TO COVER FASTENERS. USE FASTENERS COMPATIBLE WITH MATERIAL THROUGH WHICH THEY PASS.
•	PROVIDE CYLINDERS FROM SAME MANUFACTURER AS LOCKSET, 6 PIN MORTISED UNIT. SUPPLY AND INSTALL ALL CYLINDERS, CORES AND KEYS FOR BUILDING BASED ON A GRAND MASTER KEY SYSTEM + 2 ON A SUBMASTER, TO BE COORDINATED WITH THE OWNER.
•	DOORS AND CABINET LOCKS TO BE GRAND MASTER KEYED. PREPARE DETAILED KEYING SCHEDULE IN CONJUNCTION WITH OWNER. PROVIDE (3) MASTER KEYS FOR EACH MK OR GMK GROUP. STAMP KEYING CODE NUMBERS ON KEYS AND CYLINDERS. PROVIDE CONSTRUCTION CORES. PROVIDE AND INSTALL ALL PERMANENT CORES, CYLINDERS AND KEYS. PROVIDE KEYS IN TRIPLICATE FOR EVERY LOCK IN THIS CONTRACT.
•	ADJUST DOOR HARDWARE, OPERATORS, CLOSURES AND CONTROLS FOR OPTIMUM, SMOOTH OPERATING CONDITION. SAFETY AND FOR WEATHER TIGHT CLOSURE. LUBRICATE HARDWARE, OPERATING EQUIPMENT AND OTHER MOVING PARTS. ADJUST DOOR HARDWARE TO PROVIDE TIGHT FIT AT CONTACT POINTS WITH FRAMES. PERFORM CLEANING AFTER INSTALLATION TO REMOVE CONSTRUCTION AND ACCUMULATED ENVIRONMENTAL DIRT. CLEAN HARDWARE WITH DAMP RAG AND APPROVED NON-ABRASIVE CLEANER, AND POLISH HARDWARE IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. REMOVE PROTECTIVE MATERIAL FROM HARDWARE ITEMS WHERE PRESENT. UPON COMPLETION OF INSTALLATION, REMOVE SURPLUS MATERIALS, RUBBISH, TOOLS AND EQUIPMENT BARRIERS.
•	BRIEF MAINTENANCE STAFF REGARDING PROPER CARE, CLEANING, AND GENERAL MAINTENANCE OF PROJECT COMPLETE HARDWARE, DESCRIPTION, USE, HANDLING AND STORAGE OF KEYS, AND USE, APPLICATION AND STORAGE OF WRENCHES FOR DOOR CLOSERS, LOCKSETS AND FIRE EXIT HARDWARE. DEMONSTRATE OPERATION, OPERATING COMPONENTS, ADJUSTMENT FEATURES AND LUBRICATION REQUIREMENTS.

GENERAL FLOOR PLAN NOTES	
•	ALL DIMENSIONS ARE FROM FACE OF EXISTING WALLS, CENTERLINE OF NEW WALLS, FINISHED FACE OF WING WALL ENDS AND WALL OPENINGS, FINISHED CORNERS OF ANGLED WALLS, CENTERLINE OF COLUMNS, FACE OF MASONRY WALLS AND NEW EXTERIOR WALLS AND OPENINGS UNLESS NOTED OTHERWISE. MW = FINISHED MILLWORK DIMENSION. HOLD ALL DIMENSIONS MARKED "CLEAR" OR (HOLD).
•	DOORS ARE CENTERED ON WALLS OR 4" FROM CORNERS UNLESS NOTED OTHERWISE.
•	THE GC SHALL INSURE THE PROTECTION OF ALL EQUIPMENT FURNISHED UNDER HIS CONTRACT AND BY OTHERS.
•	THE GC SHALL PERFORM ALL WALL AND FLOOR PATCHING TO CONFORM TO MATERIAL, TEXTURE, AND SURFACE ALIGNMENT WITH THE ADJOINING SURFACE.
•	THE GC SHALL PROVIDE PROTECTION AROUND AREAS WHERE NEW WORK AND/OR DEMOLITION IS TO BE PERFORMED IN ORDER TO PREVENT DUST AND DIRT FROM ENTERING ACTIVE PORTIONS OF THE BUILDING.
•	THE GC SHALL PATCH, REPAIR, OR REPLACE ALL WORK DAMAGED BY NEW CONSTRUCTION.
•	REMOVE AND DISPOSE OF ALL DEBRIS AT THE COMPLETION OF THE PROJECT.
•	DO NOT SCALE DRAWINGS FOR ANY REASON. REPORT ANY DIMENSIONAL DISCREPANCIES TO THE ARCHITECT BEFORE CONTINUING WORK.
•	G.C. TO NOTIFY OWNER AND ARCHITECT OF ANY CHANGES TO PARTITION LOCATIONS. G.C. IS RESPONSIBLE TO COORDINATE AS BUILT WALL LOCATIONS WITH MILLWORK VENDOR TO INSURE PROPER INSTALLATION OF ALL MILLWORK.
•	G.C. TO SUPPLY & INSTALL FIRE EXTINGUISHERS AS REQD PER LOCAL MUNICIPALITIES. REFER TO LIFE SAFETY PLAN FOR APPROXIMATE LOCATIONS.
•	G.C. TO COORDINATE ALL POWER AND DATA LOCATIONS W/ MILLWORK VENDOR PRIOR TO START OF CONSTRUCTION.
•	G.C. AND SUB CONTRACTORS TO COORDINATE WITH INTERIOR ELEVATION LOCATIONS OF OUTLETS, JACKS, EMERGENCY LIGHTS, PULL STATIONS TO NOT CONFLICT WITH FF&E
•	CASEWORK SUPPLIER TO PROVIDE SHOP DRAWINGS FOR REVIEW.
•	PROVIDE AND INSTALL FIRE RETARDANT TREATED BLOCKING IN WALL CAVITY AS REQD FOR ALL EQUIPMENT, PLUMBING FIXTURES, MILLWORK, FURNISHINGS AND OTHER WALL MOUNTED ITEMS.
•	NOTE: ALL MECHANICAL ROOFTOP CURBS TO BE REINFORCED PER STRUCTURAL DETAILS (TBD). ALL ROOF WORK TO BE COORDINATED WITH LANDLORD FOR WARRANTY PURPOSES.





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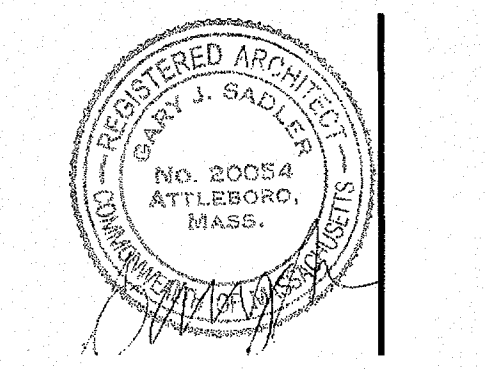
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REVISIONS:

NUMBER:	REMARKS:	DATE:
1	REV PER B.O.H. COMMENTS	12.3.18
2	REV COOLER DOOR LAYOUT	12.5.18



ISSUED FOR: PERMIT REVIEW DATE ISSUED: 11/07/18

PROJECT TITLE:



Rusty Lantern MARKET

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DRAWING TITLE:

FLOOR PLAN, NOTES, & DOOR SCHEDULE

PERMIT DWG DATE: 11/07/18	PROJECT NUMBER: 17-22-001
DRAWN BY: MEC	CHECKED BY: GJS
DRAWING NUMBER:	

A100