

APPROVED

By Amy Sutherland at 11:48 am, Jun 19, 2019

SUPERSEDES ALL PREVIOUS ISSUES

APPROVED FOR CONSTRUCTION

PRELIMINARY-NOT FOR CONSTRUCTION

ISSUED TO: \_\_\_\_\_

DATE \_\_\_\_\_

# SITE DEVELOPMENT PLANS

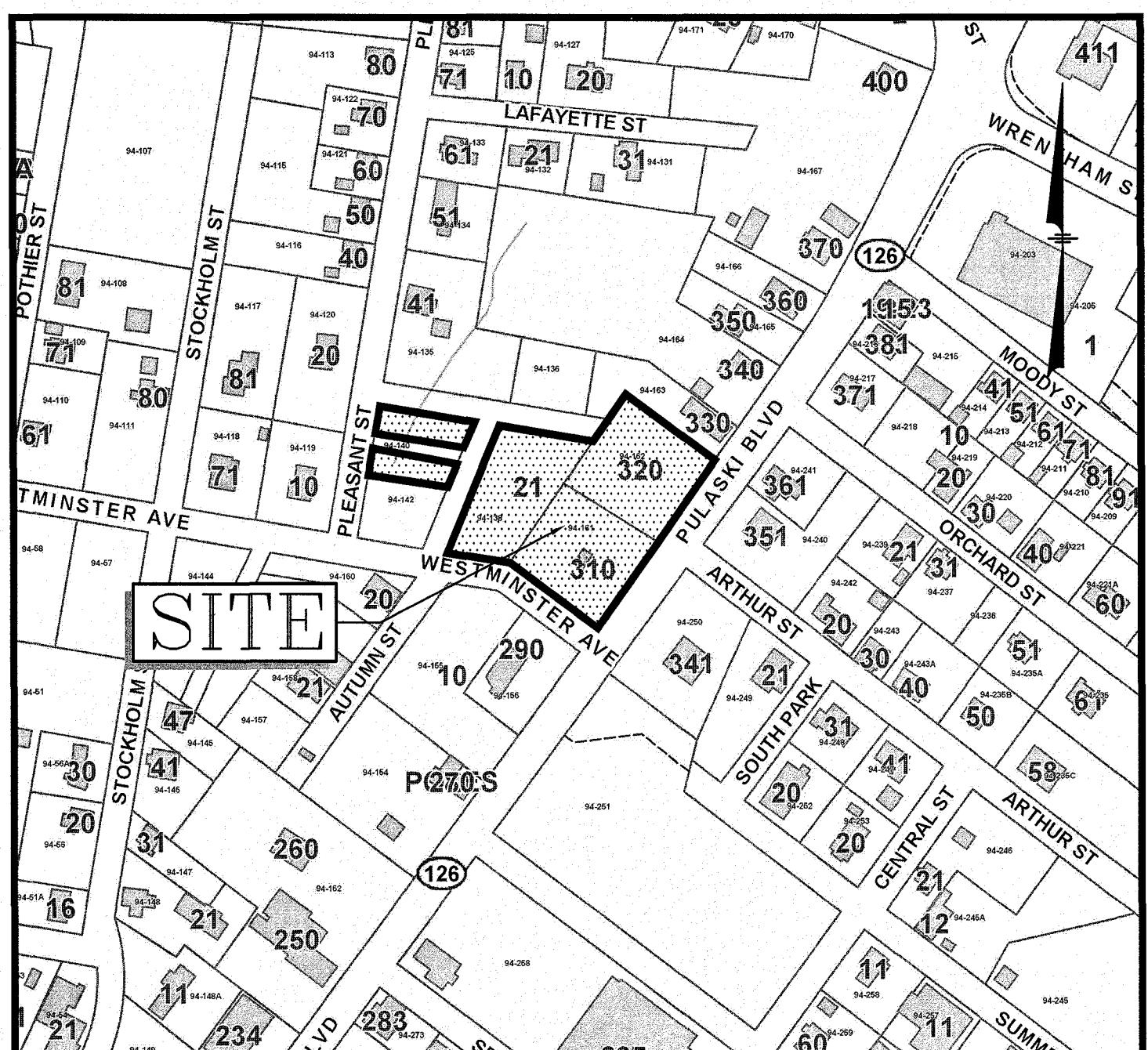
for

## PROPOSED RETAIL MOTOR FUEL OUTLET

TAX MAP 94 LOTS 138, 161 & 162  
310 PULASKI BOULEVARD  
BELLINGHAM, MASSACHUSETTS

Prepared for:

**Irving Oil Marketing, Inc.**



LOCATION MAP

SCALE: 1"=200'



### INDEX TO DRAWINGS

1. TITLE SHEET (L1)
2. EXISTING CONDITIONS PLAN (L2)
3. DEMOLITION PLAN (L3)
4. SITE PLAN (L4)
5. GRADING & DRAINAGE PLAN (L5)
6. UTILITIES PLAN (L6)
7. EROSION & SEDIMENT CONTROL PLAN (L7)
8. LANDSCAPE PLAN (L8)
9. SITE DETAILS (L9)
10. SITE DETAILS (L10)
11. SITE DETAILS (L11)
12. SITE DETAILS (L12)
13. SITE DETAILS (L13)
14. SITE DETAILS (L14)
- 1 OF 1. TRUCK TURN PLAN (TT)
- 1 OF 1. SIGN & GRAPHICS PLAN (A50)
- 1 OF 2. LIGHTING PLAN (RL-4531-S1-R5)
- 2 OF 2. LIGHTING DETAILS (RL-4531-S1-R5)
- 1 OF 1. EXTERIOR BUILDING ELEVATIONS (A3.01)
- 1 OF 1. PROPOSED RETAIL FUEL CANOPY ELEVATIONS (PGC4)
- 1 OF 1. FLOOR PLAN (A100)

E	4/30/19	HS	REVISED SHEETS L4-L9, L12, TT, A50, RL'S, PGC4 & A100
D	9/6/17	FCM	REVISED SHEETS L4-L8, TT, A50, RL'S
C	8/4/17	FCM	REVISED SHEETS L4-L8, L10-L13, RL'S & A50
B	7/24/17	FCM	REVISED SHEETS L2-L12
A	5/26/17	FCM	REVISED SHEETS L2, L3, L4, L5, L6, L7 & L8
REV	DATE	BY	REVISION

REVISIONS

**IRVING**

MHF Design Consultants, Inc.

44 Stiles Road, Suite One  
Salem, New Hampshire 03079  
(603) 893-0720  
ENGINEERS • PLANNERS • SURVEYORS  
www.mhfdesign.com

CONSTITUTION OF MASSACHUSETTS  
PROFESSIONAL ENGINEERS, PLANNERS & SURVEYORS  
REGISTERED BUSINESS CLERK  
NO. 36341

FRANK C.  
MONTERO  
NO. 36341

DRAWN BY: NIG DESIGNED BY: FCM  
SCALE: 1"=20' APPROVED BY:  
DATE: 5/18/17 PROPERTY NO.:  
CAD FILE: 405116.DWG PLOTTED: REF-BLK:  
REF-BLK:  
REF-BLK:

**IRVING**

IRVING OIL  
190 COMMERCE WAY  
PORTSMOUTH, NH 03801

PROJECT: ASSESSORS MAP 94 – LOTS 138, 161, & 162  
310 PULASKI BOULEVARD  
BELLINGHAM, MA

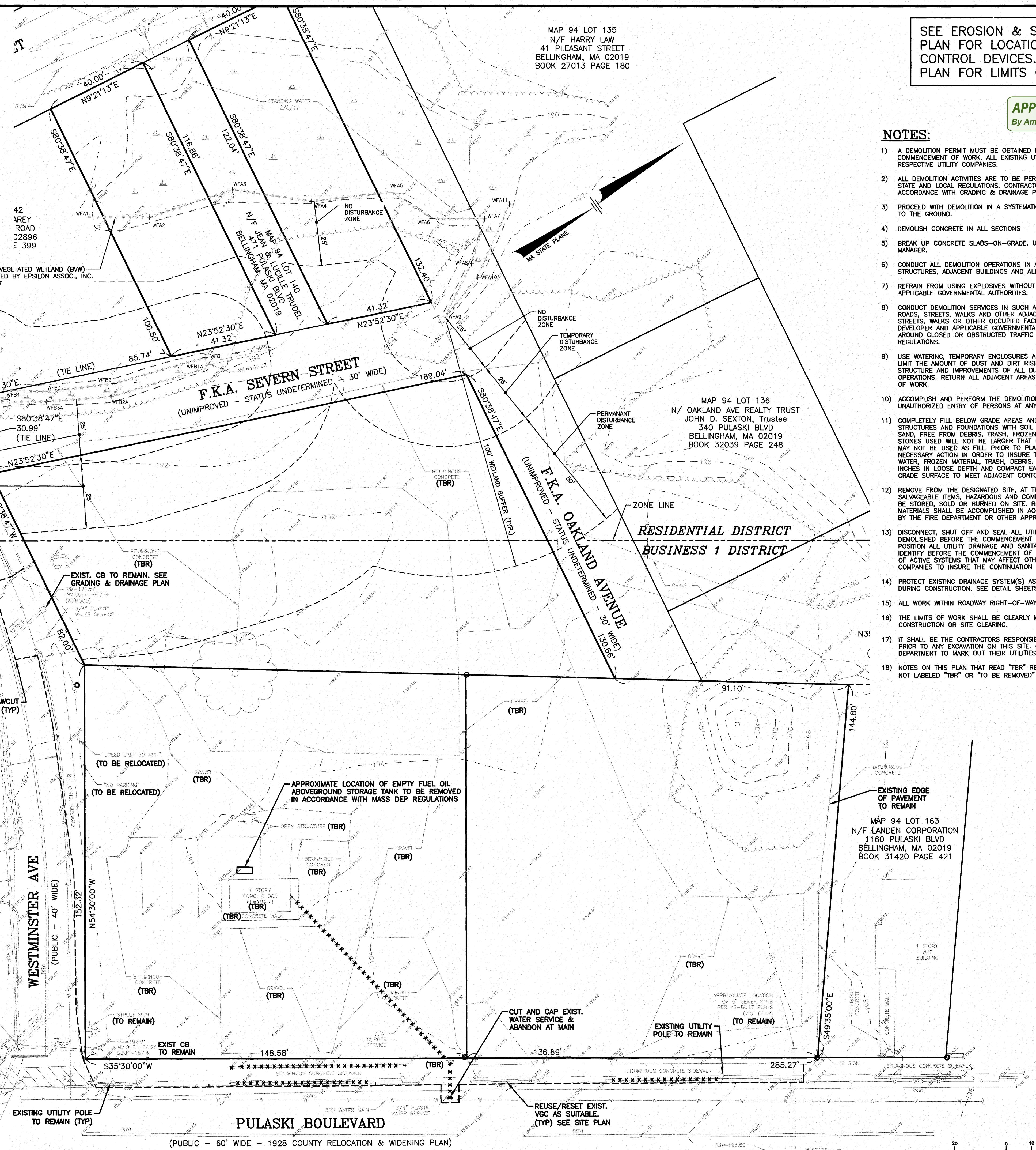
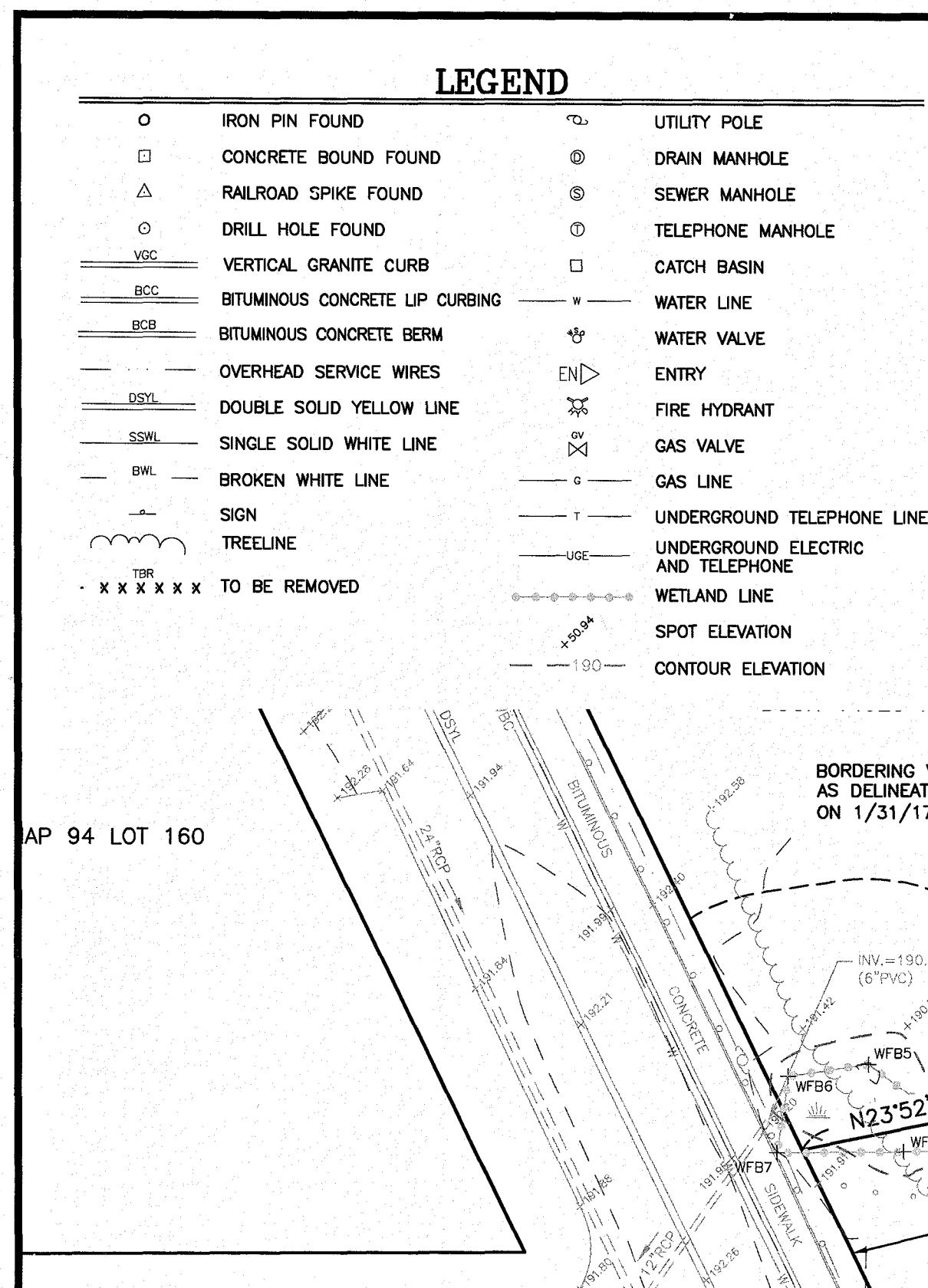
SHEET TITLE: TITLE SHEET

PROJECT: DRAWING NO: L1  
REVISION: E

COMPANY SUPERVISOR AND CONTRACTOR TO VERIFY ALL MEASUREMENTS ON WORK  
OR AT SITE. THIS DRAWING IS THE PROPERTY OF IRVING OIL LTD. AND SHALL BE  
RETURNED ON COMPLETION OF WORK.

MHF PROJECT NO. 405116 SHEET 1 OF 14





SEE EROSION & SEDIMENT CONTROL PLAN FOR LOCATION OF EROSION CONTROL DEVICES. SEE LANDSCAPE PLAN FOR LIMITS OF CLEARING.

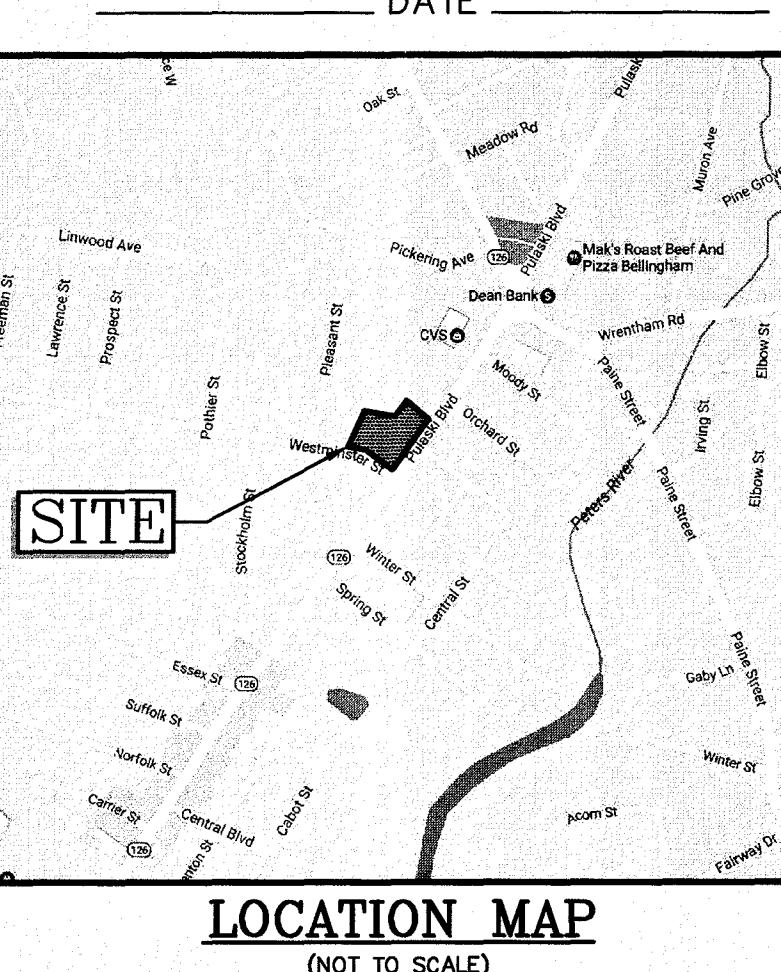
APPROVED

By Amy Sutherland at 11:50 am, Jun 19, 2019

NOTES:

- 1) A DEMOLITION PERMIT MUST BE OBTAINED FROM THE TOWN OF BELLINGHAM PRIOR TO COMMENCEMENT OF WORK. ALL EXISTING UTILITY DISCONNECTIONS MUST BE COORDINATED WITH RESPECTIVE UTILITY COMPANIES.
- 2) ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN STRICT ADHERENCE TO ALL FEDERAL, STATE AND LOCAL REGULATIONS CONTRACTOR TO INSTALL EROSION CONTROL DEVICES IN ACCORDANCE WITH GRADING & DRAINAGE PLAN PRIOR TO BEGINNING DEMOLITION ACTIVITIES.
- 3) PROCEED WITH DEMOLITION IN A SYSTEMATIC MANNER, FROM THE TOP OF THE STRUCTURE(S) TO THE GROUND.
- 4) DEMOLISH CONCRETE IN ALL SECTIONS.
- 5) BREAK UP CONCRETE SLABS-ON-GRADE, UNLESS OTHERWISE DIRECTED BY THE CONSTRUCTION MANAGER.
- 6) CONDUCT ALL DEMOLITION OPERATIONS IN A MANNER THAT WILL PREVENT INJURY, DAMAGE TO STRUCTURES, ADJACENT BUILDINGS AND ALL PERSONS.
- 7) REFRAIN FROM USING EXPLOSIVES WITHOUT PRIOR WRITTEN CONSENT OF THE DEVELOPER AND APPLICABLE GOVERNMENTAL AUTHORITIES.
- 8) CONDUCT DEMOLITION SERVICES IN SUCH A MANNER TO INSURE MINIMUM INTERFERENCE WITH ROAD, STREET, AND OTHER OCCUPIED FACILITIES WITHOUT PRIOR WRITTEN PERMISSION OF THE DEVELOPER AND APPLICABLE GOVERNMENTAL AUTHORITIES. PROVIDE ALTERNATIVE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS IF REQUIRED BY APPLICABLE GOVERNMENTAL REGULATIONS.
- 9) USE WATERING, TEMPORARY ENCLOSURES AND OTHER SUITABLE METHODS, AS NECESSARY TO LIMIT THE AMOUNT OF DUST AND DIRT RISING AND SCATTERING IN THE AIR. CLEAN ADJACENT STRUCTURE AND IMPROVEMENTS OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. RETURN ALL ADJACENT AREAS TO THE CONDITIONS EXISTING PRIOR TO THE START OF WORK.
- 10) ACCOMPLISH AND PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE UNAUTHORIZED ENTRY OF PERSONS AT ANY TIME.
- 11) COMPLETELY FILL BELOW GRADE AREAS AND VOIDS RESULTING FROM THE DEMOLITION OF STRUCTURES AND FOUNDATIONS WITH SOIL MATERIALS CONSISTING OF STONE, GRAVEL AND SAND, FREE FROM DEBRIS, TRASH, FROZEN MATERIALS, ROOTS AND OTHER ORGANIC MATTER. STONE AND GRAVEL MAY NOT BE USED AS FILL. GRAVEL AND SAND FILL MATERIALS FOR DEMOLITION MAY NOT BE USED AS FILL PRIOR TO PLACEMENT OF FILL MATERIALS. UNDERTAKE ALL NECESSARY ACTION IN ORDER TO INSURE THAT AREAS TO BE FILLED ARE FREE OF STANDING WATER, FROZEN MATERIAL, TRASH, DEBRIS. PLACE FILL MATERIALS LAYERS NOT EXCEEDING 6 INCHES IN LOOSE DEPTH AND COMPACT EACH LAYER AT PLACEMENT TO 95% OPTIMUM DENSITY, GRADE SURFACE TO MEET ADJACENT CONTOURS AND TO PROVIDE SURFACE DRAINAGE.
- 12) REMOVE FROM THE DESIGNATED SITE, AT THE EARLIEST POSSIBLE TIME, ALL DEBRIS, RUBBISH, SALVAGEABLE ITEMS, HAZARDOUS AND COMBUSTIBLE SERVICES, REMOVED MATERIALS MAY NOT BE STORED, SOLD OR BURNED ON SITE. REMOVAL OF HAZARDOUS AND COMBUSTIBLE MATERIALS SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE PROCEDURES AS AUTHORIZED BY THE FIRE DEPARTMENT OR OTHER APPROPRIATE REGULATORY AGENCIES AND DEPARTMENTS.
- 13) DISCONNECT, SHUT OFF AND SEAL ALL UTILITIES SERVING THE STRUCTURE(S) TO BE DEMOLISHED BEFORE THE COMMENCEMENT OF THE DESIGNATED DEMOLITION. MARK FOR POSITION ALL UTILITY DRAINAGE AND SANITARY LINES AND PROTECT ALL ACTIVE LINES. CLEARLY IDENTIFY BEFORE THE COMMENCEMENT OF DEMOLITION SERVICES THE REQUIRED INTERRUPTION OF ACTIVE SYSTEMS THAT MAY AFFECT OTHER PARTIES, AND NOTIFY ALL APPLICABLE UTILITY COMPANIES TO INSURE THE CONTINUATION OF SERVICE.
- 14) PROTECT EXISTING DRAINAGE SYSTEM(S) AS NECESSARY TO PREVENT SEDIMENT FROM ENTERING DURING CONSTRUCTION. SEE DETAIL SHEETS FOR EROSION CONTROL DEVICES.
- 15) ALL WORK WITHIN ROADWAY RIGHT-OF-WAYS TO CONFORM TO TOWN STANDARDS.
- 16) THE LIMITS OF WORK SHALL BE CLEARLY MARKED IN THE FIELD PRIOR TO THE START OF CONSTRUCTION OR SITE CLEARING.
- 17) IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY DIG SAFE (DIAL 811) 72 HOURS PRIOR TO ANY EXCAVATION ON THIS SITE. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER DEPARTMENT TO MARK OUT THEIR UTILITIES.
- 18) NOTES ON THIS PLAN THAT READ "TBR" REPRESENT FEATURES TO BE REMOVED. ANY FEATURES NOT LABELED "TBR" OR "TO BE REMOVED" SHALL BE CONSIDERED EXISTING TO REMAIN.

SUPERSEDES ALL PREVIOUS ISSUES  
 APPROVED FOR CONSTRUCTION  
 PRELIMINARY-NOT FOR CONSTRUCTION  
 ISSUED TO: \_\_\_\_\_  
DATE \_\_\_\_\_

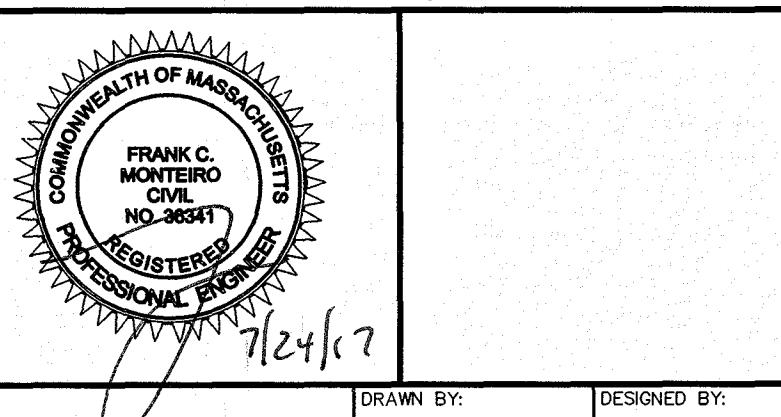


B	7/24/17	FCM	MISC. REVISIONS PER PEER REVIEW COMMENTS 7/10/17
A	5/26/17	FCM	ADO WETLAND BUFFER ZONES
REV	DATE	BY	REVISION

REVISIONS



44 Stiles Road, Suite One  
Salem, New Hampshire 03079  
(603) 893-0720  
ENGINEERS • PLANNERS • SURVEYORS  
www.mhfdesign.com



DRAWN BY: NIG  
DESIGNED BY: FCM  
SCALE: 1"=20'  
APPROVED BY:  
DATE: 5/18/17  
PROPERTY NO.:  
CAD FILE: 40516P  
REF-BLK:  
REF-BLK:  
REF-BLK:  
PLOTTED:

IRVING OIL

190 COMMERCE WAY  
PORTSMOUTH, NH 03801

PROJECT: ASSESSORS MAP 94 - LOTS 138, 161, & 162  
310 PULASKI BOULEVARD  
BELLINGHAM, MA

SHEET TITLE: DEMOLITION PLAN

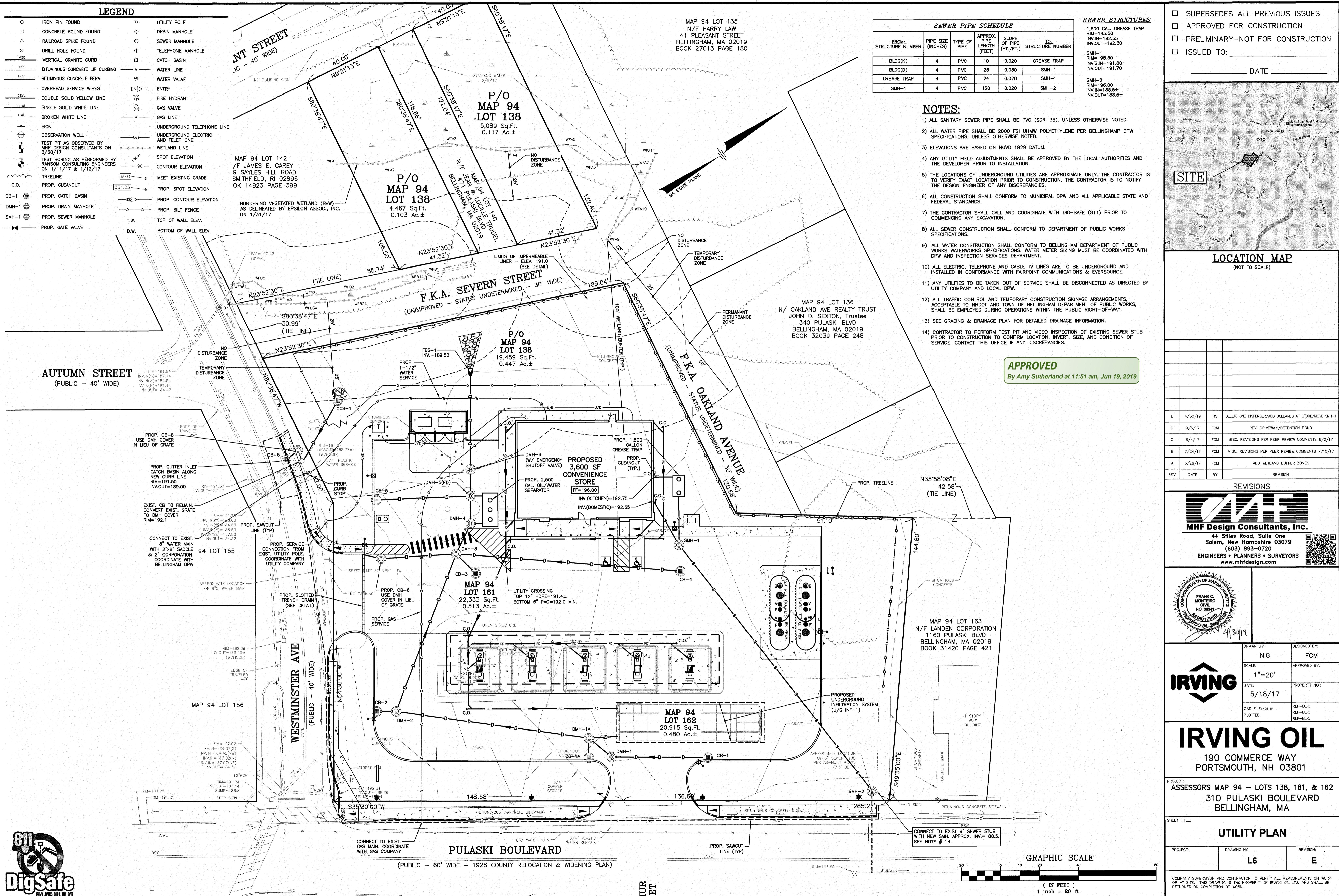
PROJECT: DRAWING NO: L3  
REVISION: B

COMPANY SUPERVISOR AND CONTRACTOR TO VERIFY ALL MEASUREMENTS ON WORK OR AT SITE. THIS DRAWING IS THE PROPERTY OF IRVING OIL LTD. AND SHALL BE RETURNED ON COMPLETION OF WORK.

MHF PROJECT NO. 40516 SHEET 3 OF 14

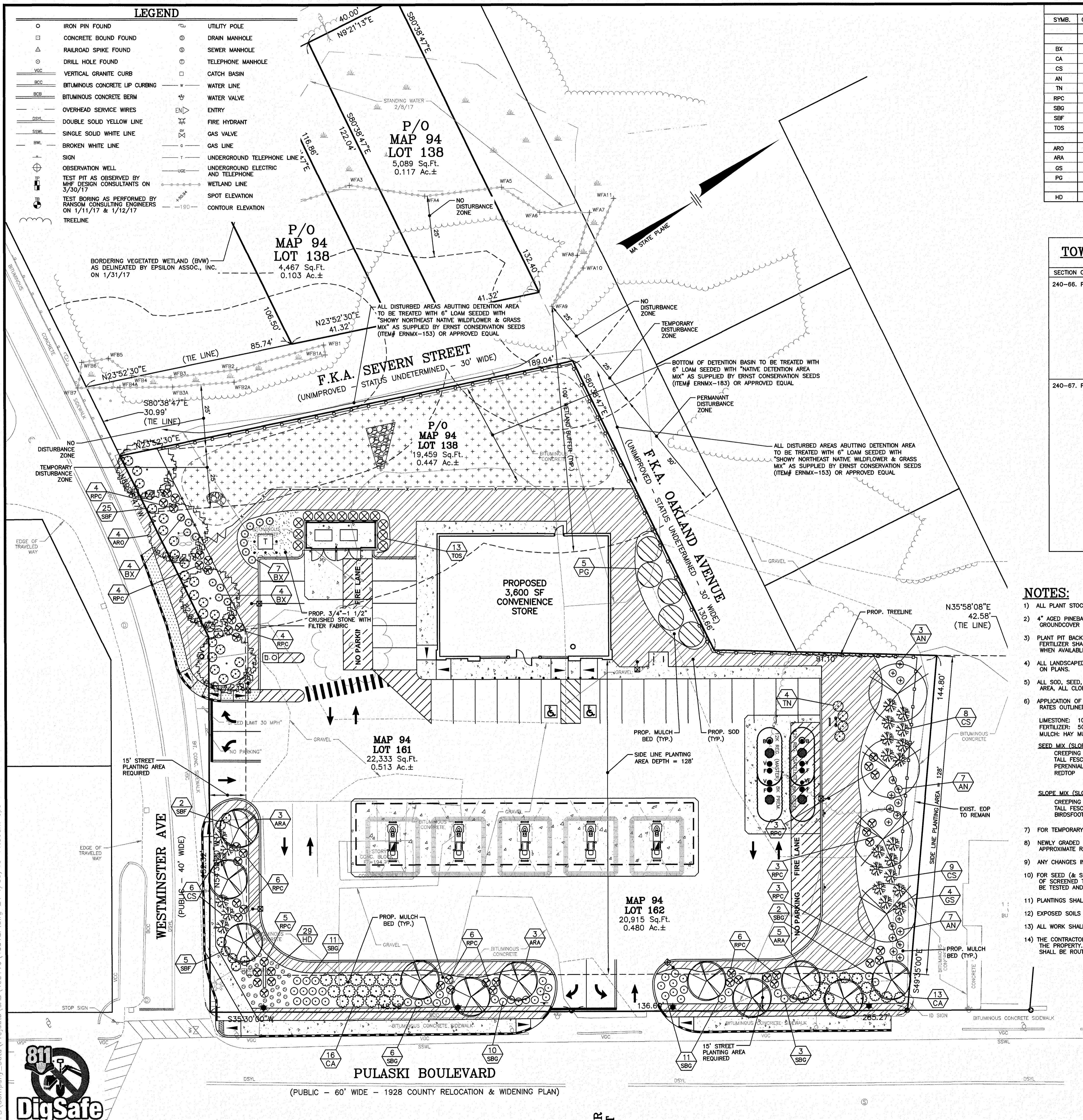






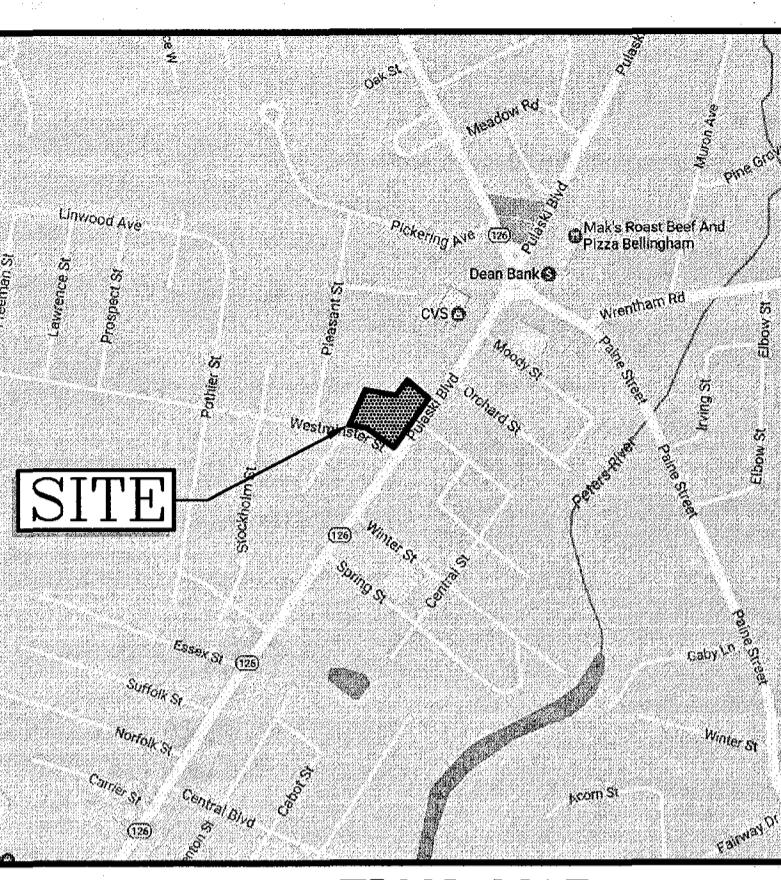
Copyright © 2017 by MHE Design Consultants, Inc. All Rights Reserved.





Plant Schedule					
SYMB.	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	COMMENTS
<b>SHRUBS</b>					
BX	15	BUXUS MICROPHYLLA CULTIVAR	BOXWOOD	24" HT. MIN.	B & B
CA	29	CORNUS ALBA ELEGANTISSIMA	VARIEGATED RED TWIG DOGWOOD	24" HT. MIN.	B & B
CS	23	CORNUS SERICEA	RED OSIER DOGWOOD - NATIVE	24" HT. MIN.	B & B
AN	17	AZALEA HYBRID	AZALEA	24" HT. MIN.	B & B
TN	4	TAXUS X MEDIA CULTIVAR	YEW SPREADING GLOVE	24" HT. MIN.	B & B
RPC	45	RHODODENDRON PJM COMPACTA	RHODODENDRON PJM COMPACT	2-2.5' HT.	3' HT. COMPACT GROWTH
SBG	43	SPIRAEA X BUMALDI 'GOLDMOUND'	GOLDMOUND SPIREA	24" HT. MIN.	3 GAL.
SBF	32	SPIRAEA X BUMALDI 'GOLD FLAME'	GOLD FLAME SPIREA	24" HT. MIN.	3 GAL.
TOS	13	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD GREEN ARBORVITAE	6' - 7' HT	B & B OR 5 GAL.
<b>SHADE &amp; ORNAMENTAL TREES</b>					
ARO	4	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	2 1/2"-3" CAL.	B & B
ARA	11	ACER REBRUM 'ARMSTRONG'	ARMSTRONG COLUMNAR RED MAPLE	2 1/2"-3" CAL.	B & B
GS	4	GLEDTISIA TRIACANTHOS CULTIVAR	HONEY LOCUST THORNLESS	2 1/2"-3" CAL.	B & B
PG	5	PICEA GLAUCA	WHITE SPRUCE	2 1/2"-3" CAL.	B & B
<b>PERENNIALS</b>					
HD	29	HEMEROCALLIS "STELLA D'ORO"	DWARF YELLOW DAYLILY	15"-18" HT. 1 GAL	24" O.C.

SUPERSEDES ALL PREVIOUS ISSUES  
APPROVED FOR CONSTRUCTION  
PRELIMINARY-NOT FOR CONSTRUCTION  
ISSUED TO: \_\_\_\_\_  
\_\_\_\_\_ DATE \_\_\_\_\_



## **TOWN OF BELLINGHAM LANDSCAPE REQUIREMENTS**

SECTION OF BY-LAW	REQUIRED	REQUIRED	PROVIDED
240-66. PLANTINGS	<p>A. TO BE CREDITED TOWARDS MEETING THE REQUIREMENTS: TREES MUST BE AT LEAST 2 1/2" CAL. AND BE AT LEAST 4' ABOVE GRADE, BE OF A SPECIES COMMON IN THE AREA, AND REACH AN ULTIMATE HEIGHT OF AT LEAST 30 FEET.</p> <p>SHRUBS MUST BE AT LEAST 24" HT. AT TIME OF BUILDING OCCUPANCY, REACH AN ULTIMATE HEIGHT OF AT LEAST 36", AND BE OF A SPECIES COMMON TO THE AREA.</p> <p>B. THE NUMBER OF TREES IN THE PLANTING AREA MUST BE EQUAL NOT LESS THAN THE PLANTING AREA LENGTH IN FEET DIVIDED BY 30 AND THE NUMBER OF SHRUBS MUST EQUAL NOT LESS THAN THE PLANTING AREA LENGTH IN FEET DIVIDED BY 3.</p>	YES	YES
240-67. PLANTING AREAS	<p>A. STREET PLANTING AREA: REQUIRED FOR PREMISES ABUTTING ANY STREET. REQUIRED STREET PLANTING SHALL BE PROVIDED WITHIN 15 FT. OF THE STREET PROPERTY LINE ALONG THE ENTIRE STREET FRONTAGE EXCEPT AT DRIVES.</p> <p>PULASKI BLVD: 225.27 LF FRONTAGE/30=8 TREES 225.27 LF FRONTAGE/3=75 SHRUBS</p> <p>WESTMINSTER AVE: 204.32 LF FRONTAGE/30=7 TREES 204.32 LF FRONTAGE/3=68 SHRUBS</p> <p>B. SIDELINE PLANTING AREA: REQUIRED FOR ALL PREMISES ABUTTING ANY ARTERIAL STREET. REQUIRED SIDELINE PLANTING SHALL BE PROVIDED WITHIN 5 FT. OF THE SIDE LOT LINE BETWEEN THE FRONT LOT LINE AND THE BUILDING SETBACK (AS BUILT, NOT REQUIRED.)</p> <p>BUILDING SETBACK TO PULASKI BLVD: 128'/30=4 TREES 128'/3=43 SHRUBS</p> <p>C. PARKING AREA PLANTINGS: A MIN. OF 5% OF THE INTERIOR AREA OF THE PARKING LOTS CONTAINING 30 OR MORE SPACES MUST BE PLANTED, TO CONTAIN A MIN. OF 1 TREE AND 4 SHRUBS EXCLUSIVE OF PERIMETER PLANTINGS MUST BE PLANTED FOR EVERY 1,500 SF OF PARKING LOT.</p> <p>PLANTING AREAS MUST CONTAIN NOT LESS THAN 40 SF OF UNPAVED SOIL AREA.</p>	8 TREES 75 SHRUBS 7 TREES 68 SHRUBS  4 TREES 43 SHRUBS  N/A - TOTAL PARKING = 27 SPACES	8 TREES 88 SHRUBS 7 TREES 68 SHRUBS  4 TREES 43 SHRUBS  N/A

## NOTES.

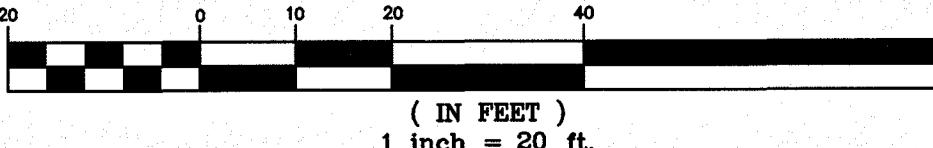
**NOTES.**

- 1) ALL PLANT STOCK SHALL CONFORM TO ANSI Z260.1 – NURSERY STOCK, LATEST EDITION (AMERICAN ASSOCIATION OF NURSERYMEN, INC.).
- 2) 4" AGED PINEBARK MULCH AND A WEED BARRIER (TY-PAR FABRIC OR APPROVED EQUAL) SHALL BE APPLIED TO ALL SHRUB AND GROUNDCOVER BEDS. INSTALL WEED BARRIER AS PER MANUFACTURERS RECOMMENDATIONS.
- 3) PLANT PIT BACKFILL SHALL BE MIXED AT A RATE OF 7 PARTS OF TOPSOIL TO 2 PART OF DEHYDRATED COW MANURE. SLOW RELEASE FERTILIZER SHALL BE APPLIED AS PER MANUFACTURERS RECOMMENDATIONS. USE EXISTING ON-SITE TOPSOIL AS PART OF BACKFILL WHEN AVAILABLE.
- 4) ALL LANDSCAPED AREAS NOT PLANTED WITH TREES, SHRUBS OR GROUNDCOVER SHALL BE RESTORED WITH SEED OR SOD AS INDICATED ON PLANS.
- 5) ALL SOD, SEED, SHRUB AND TREE AREAS SHALL RECEIVE 6" PH CORRECTED TOPSOIL. AFTER TOPSOIL IS SPREAD EVENLY OVER ENTIRE AREA, ALL CLODS, LUMPS, STONES AND OTHER DELETERIOUS MATERIAL SHALL BE RAKED UP AND REMOVED.
- 6) APPLICATION OF GRASS SEED, FERTILIZERS AND MULCH SHALL BE ACCOMPLISHED BY BROADCAST SEEDING OR HYDROSEEDING AT THE RATES OUTLINED BELOW:  
  
LIMESTONE: 100 LBS./1,000 SQUARE FEET.  
FERTILIZER: 500 LBS/ACRE OF 10-20-20 OR 1000 LBS/ACRE OF 5-10-10.  
MULCH: HAY MULCH APPROXIMATELY 3 TONS/ACRE
- 7) FOR TEMPORARY EROSION CONTROL NOTES, SEE DETAIL SHEET.
- 8) NEWLY GRADED AREAS REQUIRING SLOPE PROTECTION OUTSIDE OF NORMAL SEEDING SEASON SHALL RECEIVE STRAW MULCH AT THE APPROXIMATE RATE OF NO MORE THAN 3 TONS PER ACRE.
- 9) ANY CHANGES IN PLANT LOCATIONS OR TYPES SHALL BE APPROVED BY THE DEVELOPER AND TOWN PRIOR TO INSTALLATION.
- 10) FOR SEED (& SOD) AREAS USE EXISTING TOPSOIL, IF AVAILABLE, FOR A 4" DEPTH (3/4" SCREEN OR LESS) AND TOP DRESS WITH 2" OF SCREENED TOPSOIL, UNLESS OTHERWISE NOTED ON PLAN. ALL LOAM OR TOPSOIL IMPORTED OR RE-UTILIZED FROM ON SITE SHALL BE TESTED AND AMENDED AS DIRECTED BY DEVELOPER TO MEET MINIMUM REQUIREMENTS.
- 11) PLANTINGS SHALL BE GUARANTEED BY THE CONTRACTOR FOR ONE YEAR AFTER WRITTEN ACCEPTANCE OF THE DEVELOPER.
- 12) EXPOSED SOILS SHALL BE SEADED OR HAY MULCHED WITHIN 72 HOURS OF FINAL GRADING.
- 13) ALL WORK SHALL BE COORDINATED WITH APPLICABLE EPA NPDES/SWPPP PERMIT WORK AS REQUIRED.
- 14) THE CONTRACTOR SHALL INSTALL AN IRRIGATION SYSTEM TO PROVIDE COMPLETE COVERAGE OF ALL SEED AREAS AND SHRUB BEDS WITHIN THE PROPERTY. THE SYSTEM SHALL INCLUDE A TIMER AND SHALL BE INSTALLED IN ACCORDANCE WITH LOCAL CODES. IRRIGATION SYSTEM SHALL BE BOLTED TO FREESTANDING SIGN PLANTER BED AND ANY PLANTER BEDS WITHIN PARKING LOT.

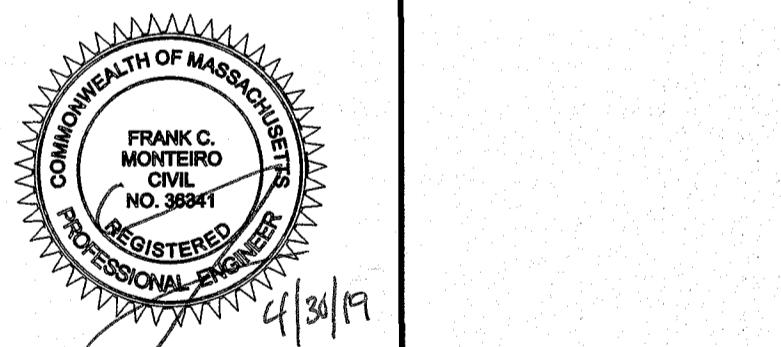
APPROVED

Approved by Amy Sutherland at 11:53 am - Jun 18, 2019

GRAPHIC SCALE



The logo for MHF Design Consultants, Inc. features a horizontal bar graphic at the top consisting of five groups of three horizontal lines each. Below this, the company name "MHF Design Consultants, Inc." is written in a bold, black, sans-serif font. A decorative flourish or checkmark symbol is positioned to the left of the company name. Below the company name is a horizontal line. Underneath the line, the address "44 Stiles Road, Suite One" is on the first line, "Salem, New Hampshire 03079" is on the second line, and the phone number "(603) 893-0720" is on the third line. At the bottom of the card, the words "ENGINEERS • PLANNERS • SURVEYORS" are centered in a bold, black, sans-serif font.



	DRAWN BY:	DESIGN
	NIG	
	SCALE:	APPRO
	1"=20'	
DATE:	PROPE	
5/18/17		
CAD FILE: 4051SP		REF-E

# IRVING OIL

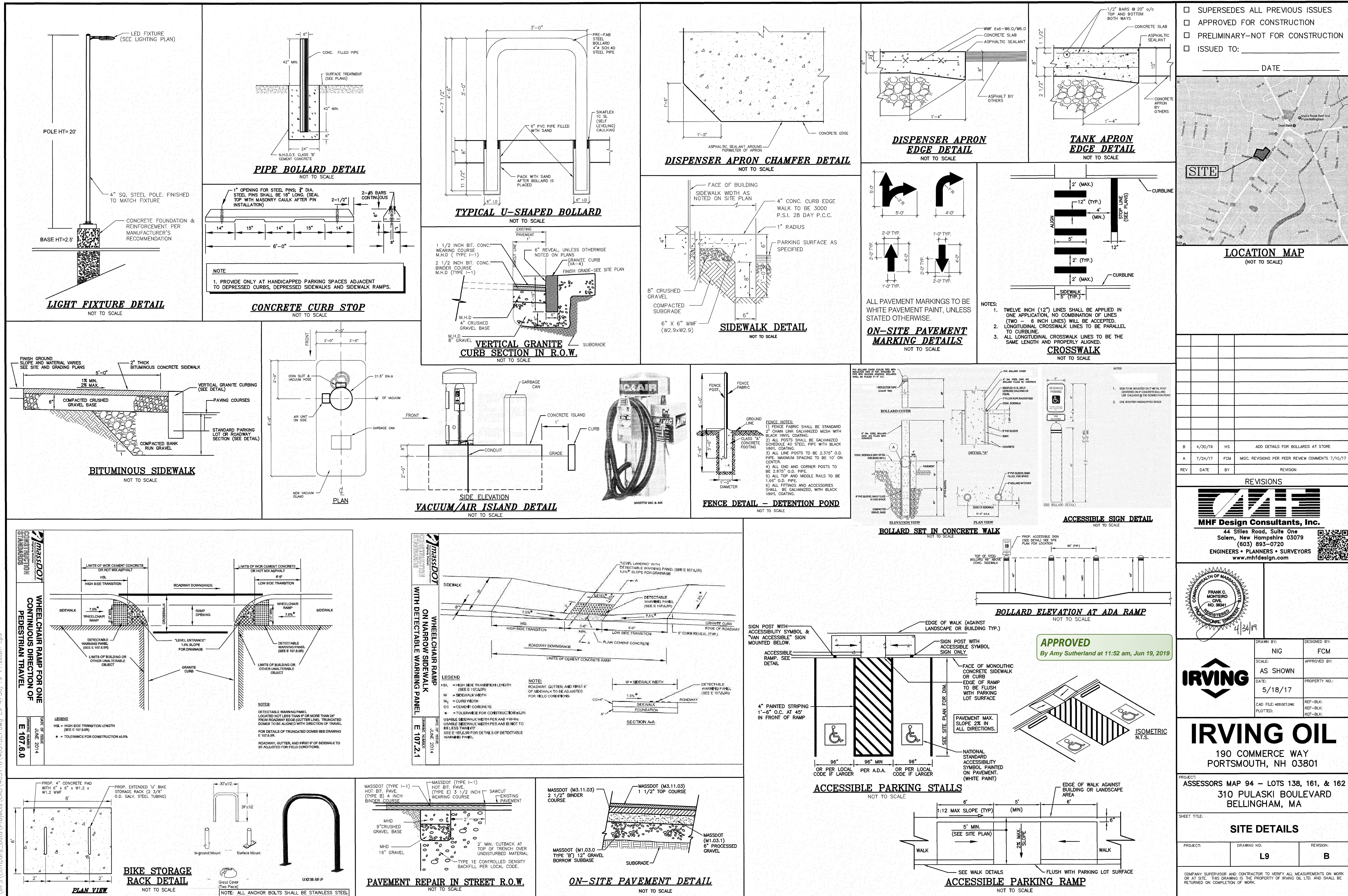
190 COMMERCE WAY  
PORTSMOUTH, NH 03801

ECT:  
SSESSORS MAP 94 - LOTS 138, 161, & 16  
310 PULASKI BOULEVARD  
BELLINGHAM, MA

# LANDSCAPE PLAN

OBJECT:	DRAWING NO:	REVISION:
	<b>L8</b>	<b>E</b>

COMPANY SUPERVISOR AND CONTRACTOR TO VERIFY ALL MEASUREMENTS ON WORK  
AT SITE. THIS DRAWING IS THE PROPERTY OF IRVING OIL LTD. AND SHALL BE  
TURNED ON COMPLETION OF WORK.



SUPERSEDES ALL PREVIOUS ISSUES  
 APPROVED FOR CONSTRUCTION  
 PRELIMINARY-NOT FOR CONSTRUCTION  
 ISSUED TO: \_\_\_\_\_ DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

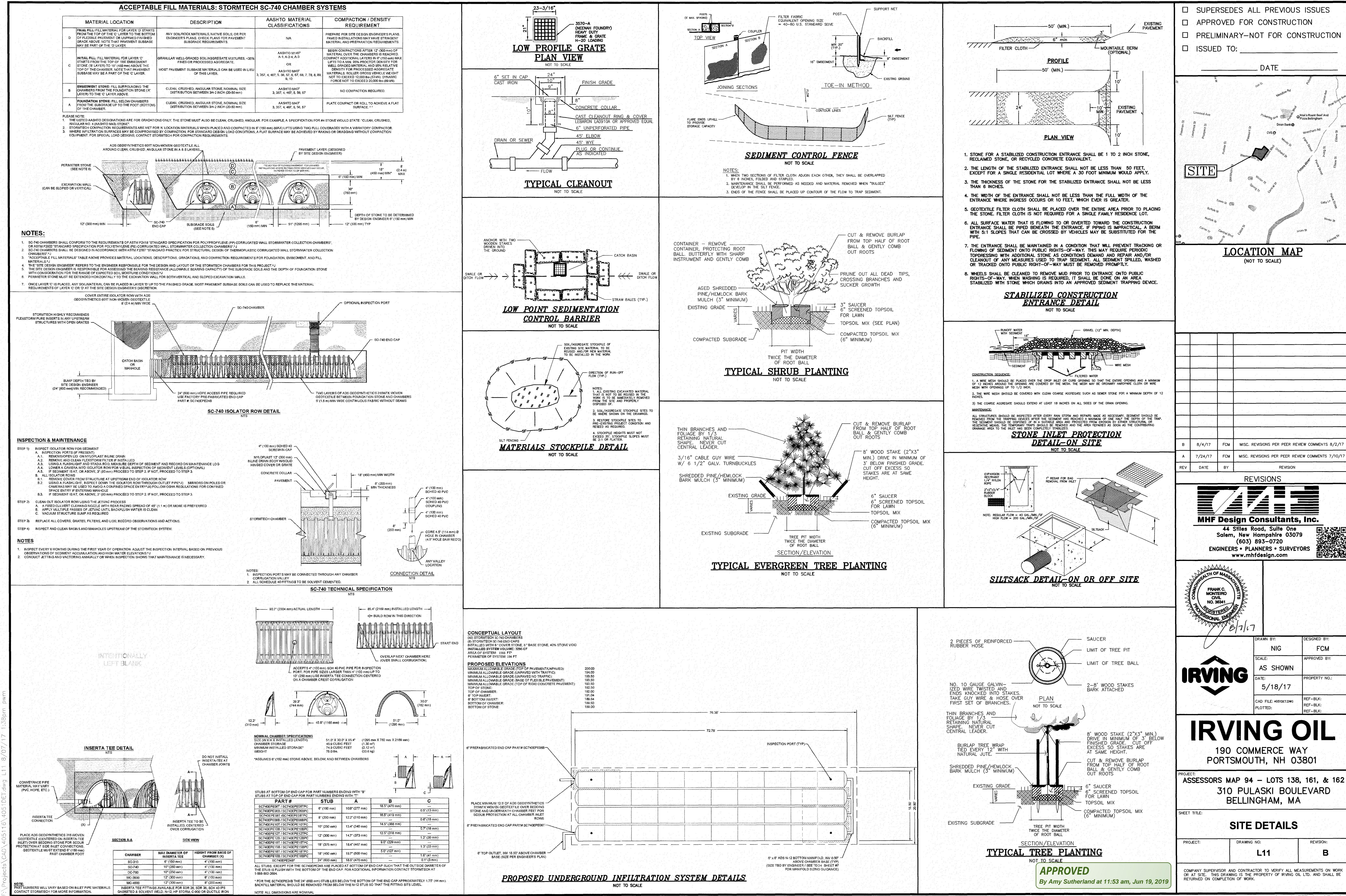
DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

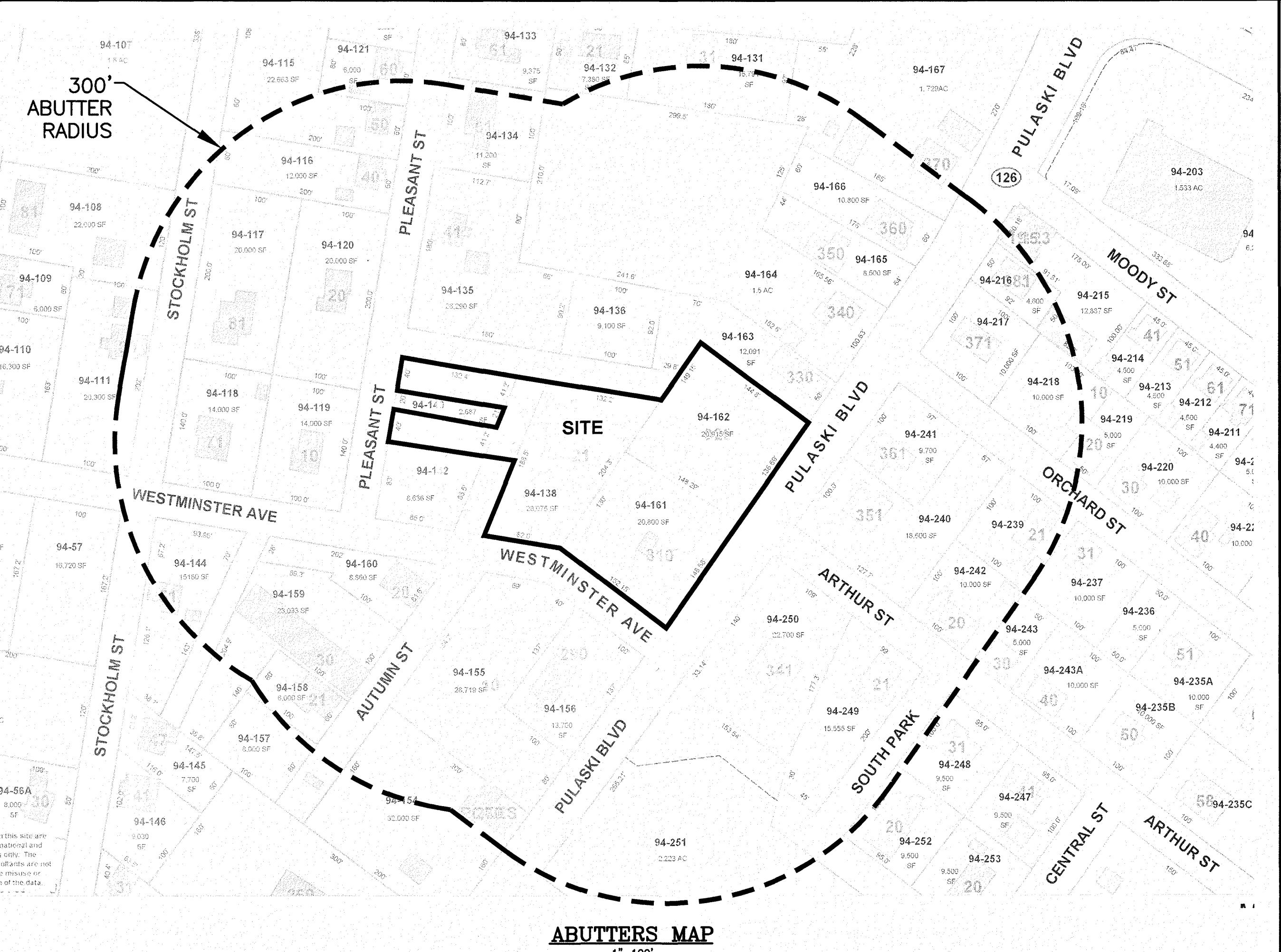






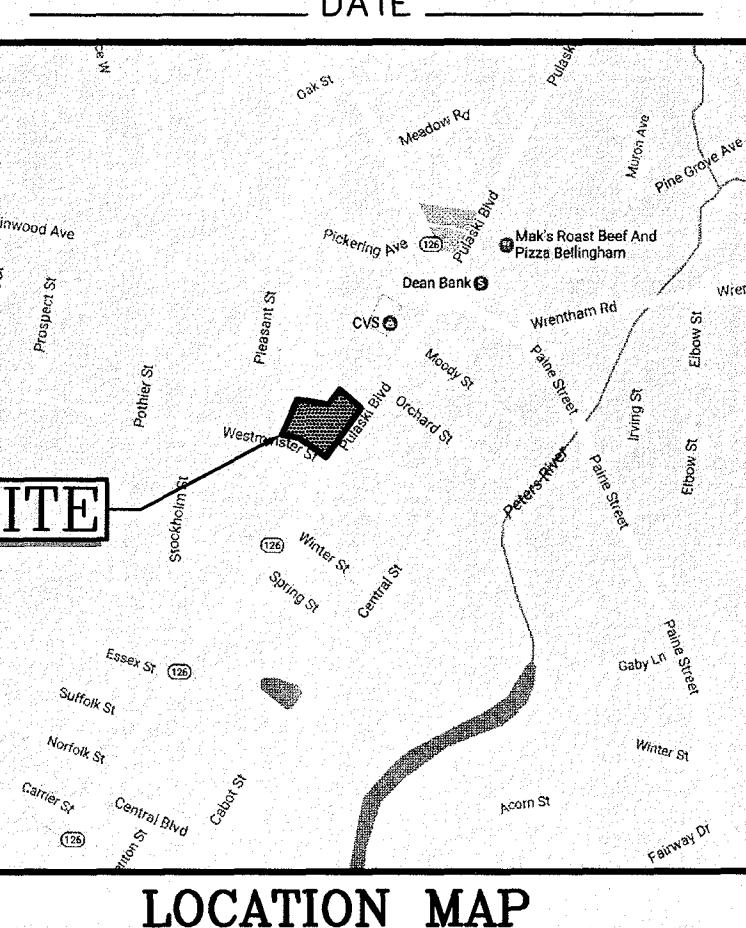
### 300' ABUTTER LIST

MAP 94 LOT 138 ELIZABETH A. COYLE P. O. BOX 556 BELLINGHAM, MA 02019	MAP 94 LOT 131 PATRICK A. & JOAN M. WILLIAMS 31 LAFAYETTE STREET BELLINGHAM, MA 02019	MAP 94 LOT 158 LISA M. GAUDET 21 AUTUMN STREET BELLINGHAM, MA 02019
MAP 94 LOT 161 PULLEY CORPORATION C/O GIBBS OIL SERV., W. WHITE 50 OLIVER STREET, SUITE 102 NORTH EASTON, MA 02351	MAP 94 LOT 132 ROGER & JUNE BISSETT 21 LAFAYETTE STREET BELLINGHAM, MA 02019	MAP 94 LOT 159 ANGELO CASTELLANA, L/E CARMEN CASTELLANA 3 QUINSHIPAUG ROAD MILFORD, MA 01757
MAP 94 LOT 162 GIBBS OIL CO LTD SIX KIMBALL LANE LYNNFIELD, MA 01940	MAP 94 LOT 134 LEO E. LAQUERRE MARK E. LAQUERRE 51 PLEASANT STREET BELLINGHAM, MA 02019	MAP 94 LOT 180 LINDA TRUDEAU 20 WESTMINSTER AVENUE BELLINGHAM, MA 02019
MAP 94 LOT 108 JOSEPHINE M. BOURGERY 81 POTHEIR STREET BELLINGHAM, MA 02019	MAP 94 LOT 135 HARRY LAW 41 PLEASANT STREET BELLINGHAM, MA 02019	MAP 94 LOT 163 LANDEN CORPORATION 1160 PULASKI BOULEVARD BELLINGHAM, MA 02019
MAP 94 LOT 111 DAVID HAWKINS 80 STOCKHOLM STREET BELLINGHAM, MA 02019	MAP 94 LOT 136 OAKLAND TRUST TRUST JOHN D. SEVIER TRUSTEE 340 PULASKI BOULEVARD BELLINGHAM, MA 02019	MAP 94 LOT 164 JOHN D. & MARINA C. SEXTON 340 PULASKI BOULEVARD BELLINGHAM, MA 02019
MAP 94 LOT 115 TROY & AMY HATLEY 50 PLEASANT STREET BELLINGHAM, MA 02019	MAP 94 LOT 140 JEAN & LUCILLE TRUDEL 471 PULASKI BOULEVARD BELLINGHAM, MA 02019	MAP 94 LOT 165 A.R.T. REALTY MANAGEMENT DAVID F. ARNOLD TRUSTEE 20 MURON AVENUE BELLINGHAM, MA 02019
MAP 94 LOT 116 DENNIS M. CHAMPAGNE RICHARD R. CHAMPAGNE 40 PLEASANT STREET BELLINGHAM, MA 02019	MAP 94 LOT 142 JAMES E. CAREY 119 SAYLES HILL ROAD NORTH SMITHFIELD, RI 02896	MAP 94 LOT 166 DANIEL RANIERI SUZANNE RANIERI 5 RESERVOIR DRIVE BELLINGHAM, MA 02019
MAP 94 LOT 117 GRAVES FAMILY TRUST THOMAS A. GRAVES TRUSTEE CARMEN N. GRAVES TRUSTEE 81 STOCKHOLM STREET BELLINGHAM, MA 02019	MAP 94 LOT 144 GREGORY M. SZAFIR 51 STOCKHOLM STREET BELLINGHAM, MA 02019	MAP 94 LOT 167 BELLINGHAM LAND COMPANY LLC ONE REALTY WAY EAST PROVIDENCE, RI 02914
MAP 94 LOT 118 RYAN P. JOHNSON 71 STOCKHOLM STREET BELLINGHAM, MA 02019	MAP 94 LOT 154 JAMES V. FLORU JOSEPH E. COLLAMATI, III 510 WOONSOCKET HILL ROAD NORTH SMITHFIELD, RI 02896	MAP 94 LOT 168 LUCIEN GAGNE FAMILY LLC 22 STENSON STREET BELLINGHAM, MA 02019
MAP 94 LOT 119 ROBERT R. TANFANI 10 PLEASANT STREET BELLINGHAM, MA 02019	MAP 94 LOT 155 MASS ELECTRO-COMPANY C/O PROPERTY TAX DEPARTMENT 40 SYLVAN ROAD WALTHAM, MA 02451	MAP 94 LOT 169 JEANNE A. LACHAPELLE ROBERT GRINGAS 383 PULASKI BOULEVARD BELLINGHAM, MA 02019
MAP 94 LOT 120 RICHARD A. STAPLES KAREN J. STAPLES 20 PLEASANT STREET BELLINGHAM, MA 02019	MAP 94 LOT 156 B R I INC 2 TAUNTON STREET PLAINVILLE, MA 02762	MAP 94 LOT 170 MALONE REVOCABLE TRUST HELENE & JAMES MALONE TRUSTEES 4 OLD POUND HILL ROAD NORTH SMITHFIELD, RI 02896
MAP 94 LOT 121 JAMES P. COLLINS RENEE COLLINS 60 PLEASANT STREET BELLINGHAM, MA 02019	MAP 94 LOT 157 TYLER MICHAEL GAUDET 21 AUTUMN STREET BELLINGHAM, MA 02019	MAP 94 LOT 218 CHARLES TROTTER 81 PLEASANT STREET BELLINGHAM, MA 02019



<p><b>FORM 11 - SOIL EVALUATOR FORM</b></p> <p>No. 405116 Date: 3/31/2017</p> <p>Commonwealth of Massachusetts Bellingham, Massachusetts <b>Soil Suitability Assessment Form</b></p> <p>Performed By: Diane Pantermoller, Soil Evaluator Date: 3/30/17 Witnessed By: Mike Catalano, Bellingham Board of Health</p> <p>Location Address or Lot No. 310-320 Pulaski Boulevard &amp; 21 Westminster Avenue, Bellingham, MA Owner/Name, Address, and Telephone # Gibbs Oil Service Elizabeth Coyle</p> <p>New Construction <input checked="" type="checkbox"/> Repair <input type="checkbox"/></p> <p><b>Office Review</b></p> <p>Published Soil Survey Available: No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Year Published: 2016 Publication Scale: 1:25,000 Soil Map Unit: 25-4B, 260B &amp; 602 Drainage Class: Soil Limitations Surficial Geologic Report Available: No <input type="checkbox"/> Yes <input type="checkbox"/> Year Published: Publication Scale: Geologic Material (Map Unit): Landform: Flood Insurance Rate Map: Above 500 year flood boundary: No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Within 500 year flood boundary: No <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Within 100 year flood boundary: No <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Wetland Area: National Wetland Inventory Map (map unit): Wetlands Conservation Program Map (map unit): Current Water Resource Conditions (USGS): Month: January Range: Above Normal <input type="checkbox"/> Normal <input type="checkbox"/> Below Normal <input type="checkbox"/> Other References Reviewed:</p> <p>DEP APPROVED FORM - 120795</p>		<p><b>FORM 11 - SOIL EVALUATOR FORM</b></p> <p>Location Address or Lot No. Pulaski Blvd &amp; Westminster Ave.</p> <p><b>On-site Review</b></p> <p>Deep Hole Number: TP-3 Date: 3/30/17 Weather: 30-40% Sunny Location (Identify on site plan). See Attached Plan Land Use: Commercial Slope (%): 0-5% Surface Stones: None Visible Vegetation: Wetlands to the rear, site is mostly disturbed Landform: N/A Position on landscape (sketch on back) Distances from: Open Water Body: &gt;40 feet Drainage way: &gt;10 feet Possible Wet Area: &gt;40 feet Property Line: &gt;10 feet Drinking Water Well: &gt;100 feet Other: _____</p> <p><b>DEEP OBSERVATION HOLE LOG*</b></p> <table border="1"> <thead> <tr> <th>Depth from Surface (inches)</th> <th>Soil Horizon</th> <th>Soil Texture (USDA)</th> <th>Soil Color (Munsell)</th> <th>Soil Mottling</th> <th>Other (Structure, Stones, Boulders, Consistency, % Gravel)</th> </tr> </thead> <tbody> <tr> <td>0-14"</td> <td>Fill</td> <td>Mixed Soils</td> <td></td> <td></td> <td></td> </tr> <tr> <td>14-20"</td> <td>A</td> <td>Loamy Sand</td> <td>10yr 3/2</td> <td></td> <td></td> </tr> <tr> <td>20-29"</td> <td>B</td> <td>Loamy Sand</td> <td>10yr 5/8</td> <td></td> <td></td> </tr> <tr> <td>29-120"</td> <td>C</td> <td>Medium Sand</td> <td>2.5y 7/4</td> <td>@46° Distinct</td> <td></td> </tr> </tbody> </table> <p>* MINIMUM OF 2 HOLES REQUIRED AT EVERY PROPOSED DISPOSAL AREA</p> <p>Parent Material (geologic): Till Depth to Bedrock: &gt;120" Depth to Groundwater: 46" Standing Water in Hole: 62" Weeping from pit face: 62" Estimated Seasonal High Groundwater: 46"</p> <p>DEP APPROVED FORM - 120795</p>	Depth from Surface (inches)	Soil Horizon	Soil Texture (USDA)	Soil Color (Munsell)	Soil Mottling	Other (Structure, Stones, Boulders, Consistency, % Gravel)	0-14"	Fill	Mixed Soils				14-20"	A	Loamy Sand	10yr 3/2			20-29"	B	Loamy Sand	10yr 5/8			29-120"	C	Medium Sand	2.5y 7/4	@46° Distinct		<p><b>FORM 11 - SOIL EVALUATOR FORM</b></p> <p>Location Address or Lot No. Pulaski Blvd &amp; Westminster Ave.</p> <p><b>On-site Review</b></p> <p>Deep Hole Number: TP-6 Date: 3/30/17 Weather: 30-40% Sunny Location (Identify on site plan). See Attached Plan Land Use: Commercial Slope (%): 0-5% Surface Stones: None Visible Vegetation: Wetlands to the rear, site is mostly disturbed Landform: N/A Position on landscape (sketch on back) Distances from: Open Water Body: &gt;40 feet Drainage way: &gt;10 feet Possible Wet Area: &gt;40 feet Property Line: &gt;10 feet Drinking Water Well: &gt;100 feet Other: _____</p> <p><b>DEEP OBSERVATION HOLE LOG*</b></p> <table border="1"> <thead> <tr> <th>Depth from Surface (inches)</th> <th>Soil Horizon</th> <th>Soil Texture (USDA)</th> <th>Soil Color (Munsell)</th> <th>Soil Mottling</th> <th>Other (Structure, Stones, Boulders, Consistency, % Gravel)</th> </tr> </thead> <tbody> <tr> <td>0-10"</td> <td>A</td> <td>Loamy Sand</td> <td>10yr 3/2</td> <td></td> <td></td> </tr> <tr> <td>10-20"</td> <td>B</td> <td>Loamy Sand</td> <td>10yr 5/6</td> <td></td> <td></td> </tr> <tr> <td>20-121"</td> <td>C</td> <td>Loamy Sand</td> <td>2.5y 7/4</td> <td>@72°</td> <td></td> </tr> </tbody> </table> <p>* MINIMUM OF 2 HOLES REQUIRED AT EVERY PROPOSED DISPOSAL AREA</p> <p>Parent Material (geologic): Till Depth to Bedrock: &gt;120" Depth to Groundwater: 72" Standing Water in Hole: 110" Weeping from pit face: 110" Estimated Seasonal High Groundwater: 72"</p> <p>DEP APPROVED FORM - 120795</p>	Depth from Surface (inches)	Soil Horizon	Soil Texture (USDA)	Soil Color (Munsell)	Soil Mottling	Other (Structure, Stones, Boulders, Consistency, % Gravel)	0-10"	A	Loamy Sand	10yr 3/2			10-20"	B	Loamy Sand	10yr 5/6			20-121"	C	Loamy Sand	2.5y 7/4	@72°		<p><b>FORM 11 - SOIL EVALUATOR FORM</b></p> <p>Location Address or Lot No. Pulaski Blvd &amp; Westminster Ave.</p> <p><b>On-site Review</b></p> <p>Deep Hole Number: TP-9 Date: 3/30/17 Weather: 30-40% Sunny Location (Identify on site plan). See Attached Plan Land Use: Commercial Slope (%): 0-5% Surface Stones: None Visible Vegetation: Wetlands to the rear, site is mostly disturbed Landform: N/A Position on landscape (sketch on back) Distances from: Open Water Body: &gt;40 feet Drainage way: &gt;10 feet Possible Wet Area: &gt;40 feet Property Line: &gt;10 feet Drinking Water Well: &gt;100 feet Other: _____</p> <p><b>DEEP OBSERVATION HOLE LOG*</b></p> <table border="1"> <thead> <tr> <th>Depth from Surface (inches)</th> <th>Soil Horizon</th> <th>Soil Texture (USDA)</th> <th>Soil Color (Munsell)</th> <th>Soil Mottling</th> <th>Other (Structure, Stones, Boulders, Consistency, % Gravel)</th> </tr> </thead> <tbody> <tr> <td>0-48"</td> <td>Fill</td> <td>Mixed Soil</td> <td></td> <td></td> <td></td> </tr> <tr> <td>48-51"</td> <td>A</td> <td>Loamy Sand</td> <td>10yr 3/2</td> <td></td> <td></td> </tr> <tr> <td>51-58"</td> <td>B</td> <td>Loamy Sand</td> <td>10yr 5/6</td> <td></td> <td></td> </tr> <tr> <td>58-120"</td> <td>C</td> <td>Sand</td> <td>2.5y 7/4</td> <td>@60° Distinct</td> <td></td> </tr> </tbody> </table> <p>* MINIMUM OF 2 HOLES REQUIRED AT EVERY PROPOSED DISPOSAL AREA</p> <p>Parent Material (geologic): Till Depth to Bedrock: &gt;120" Depth to Groundwater: 60" Standing Water in Hole: 72" Weeping from pit face: 72" Estimated Seasonal High Groundwater: 60"</p> <p>DEP APPROVED FORM - 120795</p>	Depth from Surface (inches)	Soil Horizon	Soil Texture (USDA)	Soil Color (Munsell)	Soil Mottling	Other (Structure, Stones, Boulders, Consistency, % Gravel)	0-48"	Fill	Mixed Soil				48-51"	A	Loamy Sand	10yr 3/2			51-58"	B	Loamy Sand	10yr 5/6			58-120"	C	Sand	2.5y 7/4	@60° Distinct	
Depth from Surface (inches)	Soil Horizon	Soil Texture (USDA)	Soil Color (Munsell)	Soil Mottling	Other (Structure, Stones, Boulders, Consistency, % Gravel)																																																																																			
0-14"	Fill	Mixed Soils																																																																																						
14-20"	A	Loamy Sand	10yr 3/2																																																																																					
20-29"	B	Loamy Sand	10yr 5/8																																																																																					
29-120"	C	Medium Sand	2.5y 7/4	@46° Distinct																																																																																				
Depth from Surface (inches)	Soil Horizon	Soil Texture (USDA)	Soil Color (Munsell)	Soil Mottling	Other (Structure, Stones, Boulders, Consistency, % Gravel)																																																																																			
0-10"	A	Loamy Sand	10yr 3/2																																																																																					
10-20"	B	Loamy Sand	10yr 5/6																																																																																					
20-121"	C	Loamy Sand	2.5y 7/4	@72°																																																																																				
Depth from Surface (inches)	Soil Horizon	Soil Texture (USDA)	Soil Color (Munsell)	Soil Mottling	Other (Structure, Stones, Boulders, Consistency, % Gravel)																																																																																			
0-48"	Fill	Mixed Soil																																																																																						
48-51"	A	Loamy Sand	10yr 3/2																																																																																					
51-58"	B	Loamy Sand	10yr 5/6																																																																																					
58-120"	C	Sand	2.5y 7/4	@60° Distinct																																																																																				
<p><b>FORM 11 - SOIL EVALUATOR FORM</b></p> <p>Location Address or Lot No. Pulaski Blvd &amp; Westminster Ave.</p> <p><b>On-site Review</b></p> <p>Deep Hole Number: TP-1 Date: 3/30/17 Weather: 30-40% Sunny Location (Identify on site plan). See Attached Plan Land Use: Commercial Slope (%): 0-5% Surface Stones: None Visible Vegetation: Wetlands to the rear, site is mostly disturbed Landform: N/A Position on landscape (sketch on back) Distances from: Open Water Body: &gt;40 feet Drainage way: &gt;10 feet Possible Wet Area: &gt;40 feet Property Line: &gt;10 feet Drinking Water Well: &gt;100 feet Other: _____</p> <p><b>DEEP OBSERVATION HOLE LOG*</b></p> <table border="1"> <thead> <tr> <th>Depth from Surface (inches)</th> <th>Soil Horizon</th> <th>Soil Texture (USDA)</th> <th>Soil Color (Munsell)</th> <th>Soil Mottling</th> <th>Other (Structure, Stones, Boulders, Consistency, % Gravel)</th> </tr> </thead> <tbody> <tr> <td>0-48"</td> <td>Fill</td> <td>Mixed Soils</td> <td></td> <td></td> <td></td> </tr> <tr> <td>48-60"</td> <td>A</td> <td>Loamy Sand</td> <td>10yr 3/2</td> <td></td> <td></td> </tr> <tr> <td>60-70"</td> <td>B</td> <td>Loamy Sand</td> <td>10yr 5/6</td> <td></td> <td></td> </tr> <tr> <td>70-110"</td> <td>CD</td> <td>Loamy Sand</td> <td>5yr 4/3</td> <td>@72° Distinct</td> <td>Stones, Cobbles</td> </tr> </tbody> </table> <p>* MINIMUM OF 2 HOLES REQUIRED AT EVERY PROPOSED DISPOSAL AREA</p> <p>Parent Material (geologic): Till Depth to Bedrock: &gt;120" Depth to Groundwater: 72" Standing Water in Hole: 84" Weeping from pit face: 84" Estimated Seasonal High Groundwater: 72"</p> <p>DEP APPROVED FORM - 120795</p>		Depth from Surface (inches)	Soil Horizon	Soil Texture (USDA)	Soil Color (Munsell)	Soil Mottling	Other (Structure, Stones, Boulders, Consistency, % Gravel)	0-48"	Fill	Mixed Soils				48-60"	A	Loamy Sand	10yr 3/2			60-70"	B	Loamy Sand	10yr 5/6			70-110"	CD	Loamy Sand	5yr 4/3	@72° Distinct	Stones, Cobbles	<p><b>FORM 11 - SOIL EVALUATOR FORM</b></p> <p>Location Address or Lot No. Pulaski Blvd &amp; Westminster Ave.</p> <p><b>On-site Review</b></p> <p>Deep Hole Number: TP-4 Date: 3/30/17 Weather: 30-40% Sunny Location (Identify on site plan). See Attached Plan Land Use: Commercial Slope (%): 0-5% Surface Stones: None Visible Vegetation: Wetlands to the rear, site is mostly disturbed Landform: N/A Position on landscape (sketch on back) Distances from: Open Water Body: &gt;40 feet Drainage way: &gt;10 feet Possible Wet Area: &gt;40 feet Property Line: &gt;10 feet Drinking Water Well: &gt;100 feet Other: _____</p> <p><b>DEEP OBSERVATION HOLE LOG*</b></p> <table border="1"> <thead> <tr> <th>Depth from Surface (inches)</th> <th>Soil Horizon</th> <th>Soil Texture (USDA)</th> <th>Soil Color (Munsell)</th> <th>Soil Mottling</th> <th>Other (Structure, Stones, Boulders, Consistency, % Gravel)</th> </tr> </thead> <tbody> <tr> <td>0-24"</td> <td>Fill</td> <td>Mixed Soil</td> <td></td> <td></td> <td></td> </tr> <tr> <td>24-120"</td> <td>C</td> <td>Sand</td> <td>2.5y 7/3</td> <td>@48° Distinct</td> <td></td> </tr> </tbody> </table> <p>* MINIMUM OF 2 HOLES REQUIRED AT EVERY PROPOSED DISPOSAL AREA</p> <p>Parent Material (geologic): Till Depth to Bedrock: &gt;120" Depth to Groundwater: 48" Standing Water in Hole: 68" Weeping from pit face: 68" Estimated Seasonal High Groundwater: 48"</p> <p>DEP APPROVED FORM - 120795</p>	Depth from Surface (inches)	Soil Horizon	Soil Texture (USDA)	Soil Color (Munsell)	Soil Mottling	Other (Structure, Stones, Boulders, Consistency, % Gravel)	0-24"	Fill	Mixed Soil				24-120"	C	Sand	2.5y 7/3	@48° Distinct		<p><b>FORM 11 - SOIL EVALUATOR FORM</b></p> <p>Location Address or Lot No. Pulaski Blvd &amp; Westminster Ave.</p> <p><b>On-site Review</b></p> <p>Deep Hole Number: TP-7 Date: 3/30/17 Weather: 30-40% Sunny Location (Identify on site plan). See Attached Plan Land Use: Commercial Slope (%): 0-5% Surface Stones: None Visible Vegetation: Wetlands to the rear, site is mostly disturbed Landform: N/A Position on landscape (sketch on back) Distances from: Open Water Body: &gt;40 feet Drainage way: &gt;10 feet Possible Wet Area: &gt;40 feet Property Line: &gt;10 feet Drinking Water Well: &gt;100 feet Other: _____</p> <p><b>DEEP OBSERVATION HOLE LOG*</b></p> <table border="1"> <thead> <tr> <th>Depth from Surface (inches)</th> <th>Soil Horizon</th> <th>Soil Texture (USDA)</th> <th>Soil Color (Munsell)</th> <th>Soil Mottling</th> <th>Other (Structure, Stones, Boulders, Consistency, % Gravel)</th> </tr> </thead> <tbody> <tr> <td>0-20"</td> <td>Fill</td> <td>Mixed Soil</td> <td></td> <td></td> <td></td> </tr> <tr> <td>20-120"</td> <td>C</td> <td>Sand</td> <td>2.5y 7/4</td> <td>None</td> <td></td> </tr> </tbody> </table> <p>* MINIMUM OF 2 HOLES REQUIRED AT EVERY PROPOSED DISPOSAL AREA</p> <p>Parent Material (geologic): Outwash Depth to Bedrock: &gt;120" Depth to Groundwater: None Standing Water in Hole: None Weeping from pit face: None Estimated Seasonal High Groundwater: &gt;120"</p> <p>DEP APPROVED FORM - 120795</p>	Depth from Surface (inches)	Soil Horizon	Soil Texture (USDA)	Soil Color (Munsell)	Soil Mottling	Other (Structure, Stones, Boulders, Consistency, % Gravel)	0-20"	Fill	Mixed Soil				20-120"	C	Sand	2.5y 7/4	None		<p><b>FORM 11 - SOIL EVALUATOR FORM</b></p> <p>Location Address or Lot No. Pulaski Blvd &amp; Westminster Ave.</p> <p><b>On-site Review</b></p> <p>Deep Hole Number: TP-10 Date: 3/30/17 Weather: 30-40% Sunny Location (Identify on site plan). See Attached Plan Land Use: Commercial Slope (%): 0-5% Surface Stones: None Visible Vegetation: Wetlands to the rear, site is mostly disturbed Landform: N/A Position on landscape (sketch on back) Distances from: Open Water Body: &gt;40 feet Drainage way: &gt;10 feet Possible Wet Area: &gt;40 feet Property Line: &gt;10 feet Drinking Water Well: &gt;100 feet Other: _____</p> <p><b>DEEP OBSERVATION HOLE LOG*</b></p> <table border="1"> <thead> <tr> <th>Depth from Surface (inches)</th> <th>Soil Horizon</th> <th>Soil Texture (USDA)</th> <th>Soil Color (Munsell)</th> <th>Soil Mottling</th> <th>Other (Structure, Stones, Boulders, Consistency, % Gravel)</th> </tr> </thead> <tbody> <tr> <td>0-48"</td> <td>Fill</td> <td>Mixed Soil</td> <td></td> <td></td> <td></td> </tr> <tr> <td>48-120"</td> <td>C</td> <td>Sand</td> <td>2.5y 7/4</td> <td>@72"</td> <td>Old PVC pipe lined with soil</td> </tr> </tbody> </table> <p>* MINIMUM OF 2 HOLES REQUIRED AT EVERY PROPOSED DISPOSAL AREA</p> <p>Parent Material (geologic): Till Depth to Bedrock: &gt;120" Depth to Groundwater: 72" Standing Water in Hole: 115" Weeping from pit face: 115" Estimated Seasonal High Groundwater: 72"</p> <p>DEP APPROVED FORM - 120795</p>	Depth from Surface (inches)	Soil Horizon	Soil Texture (USDA)	Soil Color (Munsell)	Soil Mottling	Other (Structure, Stones, Boulders, Consistency, % Gravel)	0-48"	Fill	Mixed Soil				48-120"	C	Sand	2.5y 7/4	@72"	Old PVC pipe lined with soil
Depth from Surface (inches)	Soil Horizon	Soil Texture (USDA)	Soil Color (Munsell)	Soil Mottling	Other (Structure, Stones, Boulders, Consistency, % Gravel)																																																																																			
0-48"	Fill	Mixed Soils																																																																																						
48-60"	A	Loamy Sand	10yr 3/2																																																																																					
60-70"	B	Loamy Sand	10yr 5/6																																																																																					
70-110"	CD	Loamy Sand	5yr 4/3	@72° Distinct	Stones, Cobbles																																																																																			
Depth from Surface (inches)	Soil Horizon	Soil Texture (USDA)	Soil Color (Munsell)	Soil Mottling	Other (Structure, Stones, Boulders, Consistency, % Gravel)																																																																																			
0-24"	Fill	Mixed Soil																																																																																						
24-120"	C	Sand	2.5y 7/3	@48° Distinct																																																																																				
Depth from Surface (inches)	Soil Horizon	Soil Texture (USDA)	Soil Color (Munsell)	Soil Mottling	Other (Structure, Stones, Boulders, Consistency, % Gravel)																																																																																			
0-20"	Fill	Mixed Soil																																																																																						
20-120"	C	Sand	2.5y 7/4	None																																																																																				
Depth from Surface (inches)	Soil Horizon	Soil Texture (USDA)	Soil Color (Munsell)	Soil Mottling	Other (Structure, Stones, Boulders, Consistency, % Gravel)																																																																																			
0-48"	Fill	Mixed Soil																																																																																						
48-120"	C	Sand	2.5y 7/4	@72"	Old PVC pipe lined with soil																																																																																			
<p><b>FORM 11 - SOIL EVALUATOR FORM</b></p> <p>Location Address or Lot No. Pulaski Blvd &amp; Westminster Ave.</p> <p><b>On-site Review</b></p> <p>Deep Hole Number: TP-2 Date: 3/30/17 Weather: 30-40% Sunny Location (Identify on site plan). See Attached Plan Land Use: Commercial Slope (%): 0-5% Surface Stones: None Visible Vegetation: Wetlands to the rear, site is mostly disturbed Landform: N/A Position on landscape (sketch on back) Distances from: Open Water Body: &gt;40 feet Drainage way: &gt;10 feet Possible Wet Area: &gt;40 feet Property Line: &gt;10 feet Drinking Water Well: &gt;100 feet Other: _____</p> <p><b>DEEP OBSERVATION HOLE LOG*</b></p> <table border="1"> <thead> <tr> <th>Depth from Surface (inches)</th> <th>Soil Horizon</th> <th>Soil Texture (USDA)</th> <th>Soil Color (Munsell)</th> <th>Soil Mottling</th> <th>Other (Structure, Stones, Boulders, Consistency, % Gravel)</th> </tr> </thead> <tbody> <tr> <td>0-48"</td> <td>Fill</td> <td>Mixed Soil</td> <td></td> <td></td> <td></td> </tr> <tr> <td>48-126"</td> <td>C</td> <td>Fine Sand</td> <td>2.5y 6/4</td> <td>@ 48° Distinct</td> <td>5yr 5/8</td> </tr> </tbody> </table> <p>* MINIMUM OF 2 HOLES REQUIRED AT EVERY PROPOSED DISPOSAL AREA</p> <p>Parent Material (geologic): Till Depth to Bedrock: &gt;120" Depth to Groundwater: 48" Standing Water in Hole: 60" Weeping from pit face: 60" Estimated Seasonal High Groundwater: 48"</p> <p>DEP APPROVED FORM - 120795</p>		Depth from Surface (inches)	Soil Horizon	Soil Texture (USDA)	Soil Color (Munsell)	Soil Mottling	Other (Structure, Stones, Boulders, Consistency, % Gravel)	0-48"	Fill	Mixed Soil				48-126"	C	Fine Sand	2.5y 6/4	@ 48° Distinct	5yr 5/8	<p><b>FORM 11 - SOIL EVALUATOR FORM</b></p> <p>Location Address or Lot No. Pulaski Blvd &amp; Westminster Ave.</p> <p><b>On-site Review</b></p> <p>Deep Hole Number: TP-5 Date: 3/30/17 Weather: 30-40% Sunny Location (Identify on site plan). See Attached Plan Land Use: Commercial Slope (%): 0-5% Surface Stones: None Visible Vegetation: Wetlands to the rear, site is mostly disturbed Landform: N/A Position on landscape (sketch on back) Distances from: Open Water Body: &gt;40 feet Drainage way: &gt;10 feet Possible Wet Area: &gt;40 feet Property Line: &gt;10 feet Drinking Water Well: &gt;100 feet Other: _____</p> <p><b>DEEP OBSERVATION HOLE LOG*</b></p> <table border="1"> <thead> <tr> <th>Depth from Surface (inches)</th> <th>Soil Horizon</th> <th>Soil Texture (USDA)</th> <th>Soil Color (Munsell)</th> <th>Soil Mottling</th> <th>Other (Structure, Stones, Boulders, Consistency, % Gravel)</th> </tr> </thead> <tbody> <tr> <td>0-40"</td> <td>C1</td> <td>Loamy Sand</td> <td>2.5y 7/6</td> <td></td> <td></td> </tr> <tr> <td>40-99"</td> <td>C2D</td> <td>Sandy Loam</td> <td>2.5y 7/1</td> <td>@ 40° Distinct</td> <td>5yr 5/8</td> </tr> </tbody> </table> <p>* MINIMUM OF 2 HOLES REQUIRED AT EVERY PROPOSED DISPOSAL AREA</p> <p>Parent Material (geologic): Till Depth to Bedrock: &gt;99" Depth to Groundwater: 40" Standing Water in Hole: 99" Weeping from pit face: 99" Estimated Seasonal High Groundwater: 40"</p> <p>DEP APPROVED FORM - 120795</p>	Depth from Surface (inches)	Soil Horizon	Soil Texture (USDA)	Soil Color (Munsell)	Soil Mottling	Other (Structure, Stones, Boulders, Consistency, % Gravel)	0-40"	C1	Loamy Sand	2.5y 7/6			40-99"	C2D	Sandy Loam	2.5y 7/1	@ 40° Distinct	5yr 5/8	<p><b>FORM 11 - SOIL EVALUATOR FORM</b></p> <p>Location Address or Lot No. 310-320 Pulaski Boulevard &amp; 21 Westminster Avenue, Bellingham, MA</p> <p><b>Determination for Seasonal High Water Table</b></p> <p>Method Used:</p> <p><input type="checkbox"/> Depth observed standing in observation hole: _____ inches <input type="checkbox"/> Depth weeping from side of observation hole: _____ inches <input type="checkbox"/> Depth to soil mottles: _____ inches <input type="checkbox"/> Groundwater adjustment: _____ feet</p> <p>Index Well Number: _____ Reading Date: _____ Index well level: _____ Adjustment factor: _____ Adjusted groundwater level: _____</p> <p>Depth of Naturally Occurring Pervious Material</p> <p>Does at least four feet of naturally occurring pervious material exist in all areas observed throughout the area proposed for the soil absorption system? <input type="checkbox"/> yes <input type="checkbox"/> no, what is the depth of naturally occurring pervious material? _____</p> <p>Certification</p> <p>I certify that on September, 1998, (date) I have passed the soil evaluator examination approved by the Department of Environmental Protection and that the above analysis was performed by me consistent with the required training, expertise and experience described in 310 CMR 15.017.</p> <p>Signature: <i>Diane M. Pantermoller</i> Date: 3/31/17 Diane M. Pantermoller (SE # 1835)</p> <p>DEP APPROVED FORM - 120795</p>																																																	
Depth from Surface (inches)	Soil Horizon	Soil Texture (USDA)	Soil Color (Munsell)	Soil Mottling	Other (Structure, Stones, Boulders, Consistency, % Gravel)																																																																																			
0-48"	Fill	Mixed Soil																																																																																						
48-126"	C	Fine Sand	2.5y 6/4	@ 48° Distinct	5yr 5/8																																																																																			
Depth from Surface (inches)	Soil Horizon	Soil Texture (USDA)	Soil Color (Munsell)	Soil Mottling	Other (Structure, Stones, Boulders, Consistency, % Gravel)																																																																																			
0-40"	C1	Loamy Sand	2.5y 7/6																																																																																					
40-99"	C2D	Sandy Loam	2.5y 7/1	@ 40° Distinct	5yr 5/8																																																																																			
<p><b>FORM 11 - SOIL EVALUATOR FORM</b></p> <p>Location Address or Lot No. Pulaski Blvd &amp; Westminster Ave.</p> <p><b>On-site Review</b></p> <p>Deep Hole Number: TP-8 Date: 3/30/17 Weather: 30-40% Sunny Location (Identify on site plan). See Attached Plan Land Use: Commercial Slope (%): 0-5% Surface Stones: None Visible Vegetation: Wetlands to the rear, site is mostly disturbed Landform: N/A Position on landscape (sketch on back) Distances from: Open Water Body: &gt;40 feet Drainage way: &gt;10 feet Possible Wet Area: &gt;40 feet Property Line: &gt;10 feet Drinking Water Well: &gt;100 feet Other: _____</p> <p><b>DEEP OBSERVATION HOLE LOG*</b></p> <table border="1"> <thead> <tr> <th>Depth from Surface (inches)</th> <th>Soil Horizon</th> <th>Soil Texture (USDA)</th> <th>Soil Color (Munsell)</th> <th>Soil Mottling</th> <th>Other (Structure, Stones, Boulders, Consistency, % Gravel)</th> </tr> </thead> <tbody> <tr> <td>0-6"</td> <td>Fill</td> <td>Mixed Soils</td> <td></td> <td></td> <td></td> </tr> <tr> <td>6-96"</td> <td>C</td> <td>Sand</td> <td>2.5y 7/4</td> <td>None</td> <td></td> </tr> <tr> <td>96"</td> <td>Refusal</td> <td></td> <td></td> <td></td> <td></td> </tr> </tbody> </table> <p>* MINIMUM OF 2 HOLES REQUIRED AT EVERY PROPOSED DISPOSAL AREA</p> <p>Parent Material (geologic): Till Depth to Bedrock: &gt;96" Depth to Groundwater: None Standing Water in Hole: None Weeping from pit face: None Estimated Seasonal High Groundwater: &gt;96"</p> <p>DEP APPROVED FORM - 120795</p>		Depth from Surface (inches)	Soil Horizon	Soil Texture (USDA)	Soil Color (Munsell)	Soil Mottling	Other (Structure, Stones, Boulders, Consistency, % Gravel)	0-6"	Fill	Mixed Soils				6-96"	C	Sand	2.5y 7/4	None		96"	Refusal					<p><b>APPROVED</b> By Amy Sutherland at 11:54 am, Jun 19, 2019</p> <p>APPENDIX</p> <p>By Amy Sutherland at 11:54 am, Jun 19, 2019</p> <p>REVISIONS</p> <p><b>IRVING OIL</b> 190 COMMERCE WAY PORTSMOUTH, NH 03801</p> <p>PROJECT: ASSESSORS MAP 94 – LOTS 138, 161, &amp; 162 310 PULASKI BOULEVARD BELLINGHAM, MA</p> <p>SHEET TITLE: SITE DETAILS</p> <p>PROJECT: DRAWING NO: REVISION: L14 -</p> <p>COMPANY SUPERVISOR AND CONTRACTOR TO VERIFY ALL MEASUREMENTS ON WORK OR AT SITE. THIS DRAWING IS THE PROPERTY OF IRVING OIL LTD. AND SHALL BE RETURNED ON COMPLETION OF WORK.</p>																																																														
Depth from Surface (inches)	Soil Horizon	Soil Texture (USDA)	Soil Color (Munsell)	Soil Mottling	Other (Structure, Stones, Boulders, Consistency, % Gravel)																																																																																			
0-6"	Fill	Mixed Soils																																																																																						
6-96"	C	Sand	2.5y 7/4	None																																																																																				
96"	Refusal																																																																																							

SUPERSEDES ALL PREVIOUS ISSUES  
 APPROVED FOR CONSTRUCTION  
 PRELIMINARY-NOT FOR CONSTRUCTION  
 ISSUED TO: \_\_\_\_\_ DATE \_\_\_\_\_

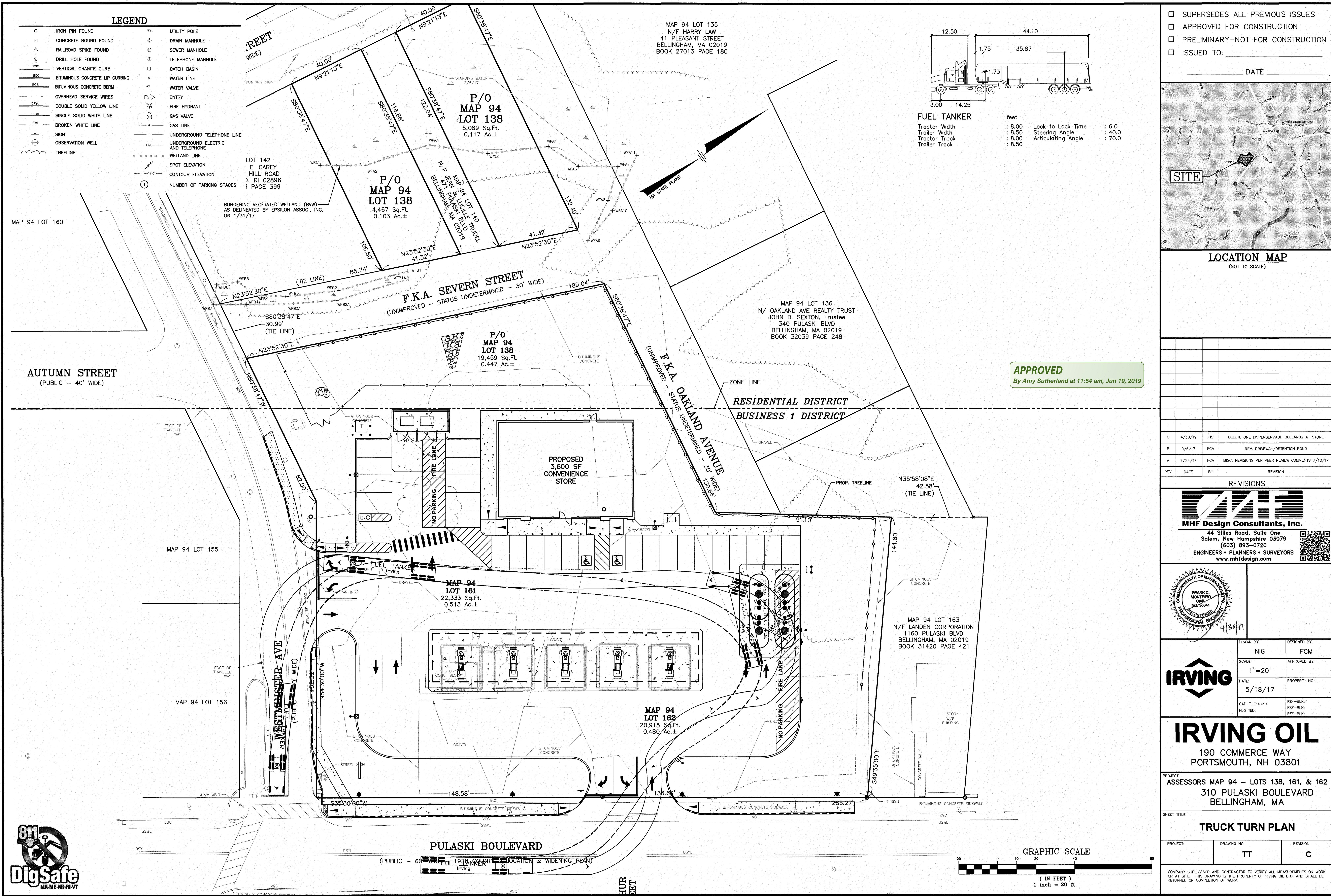


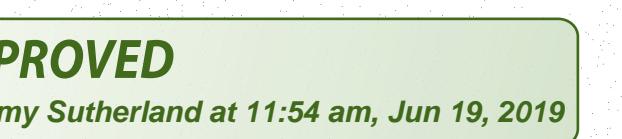
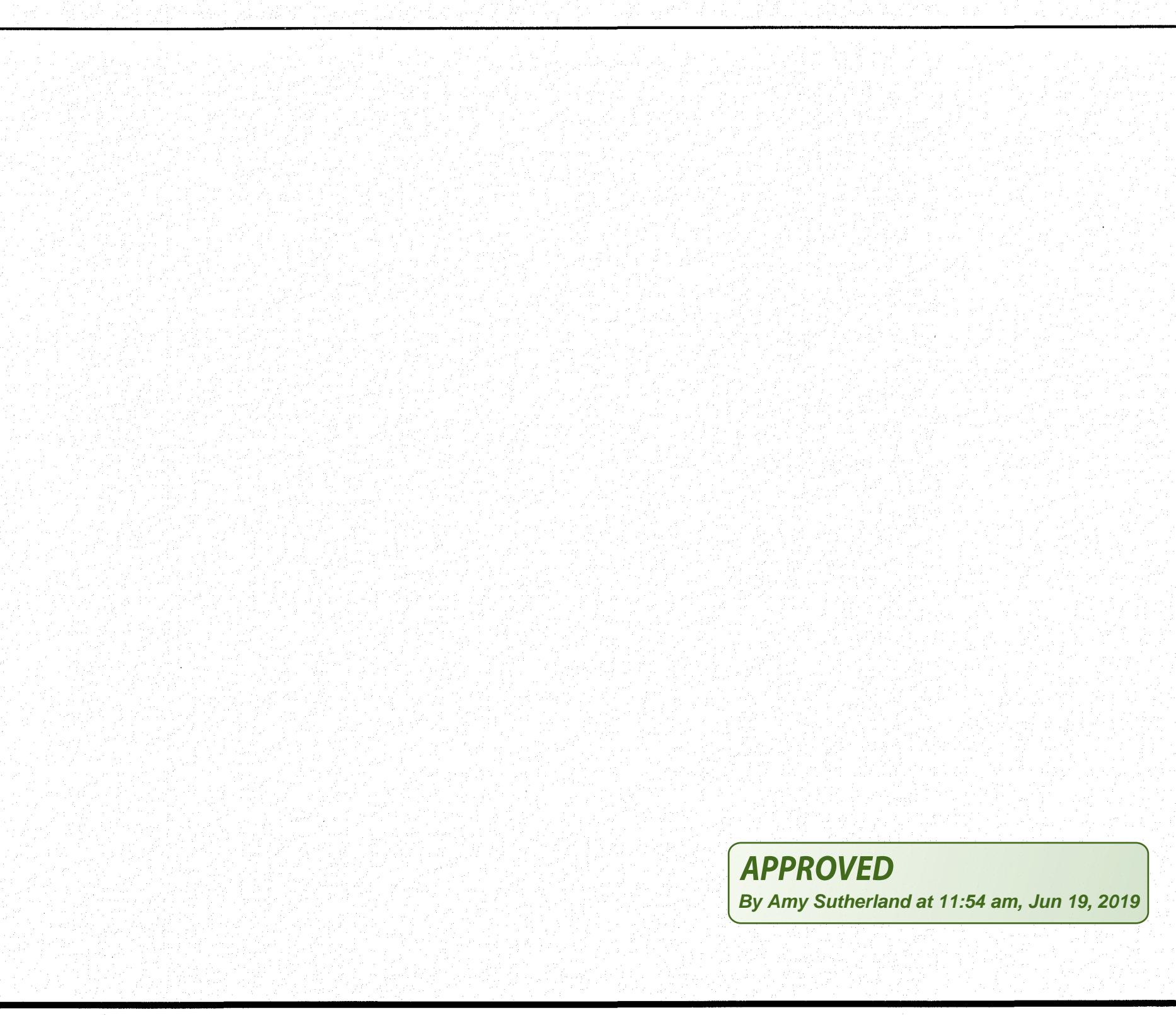
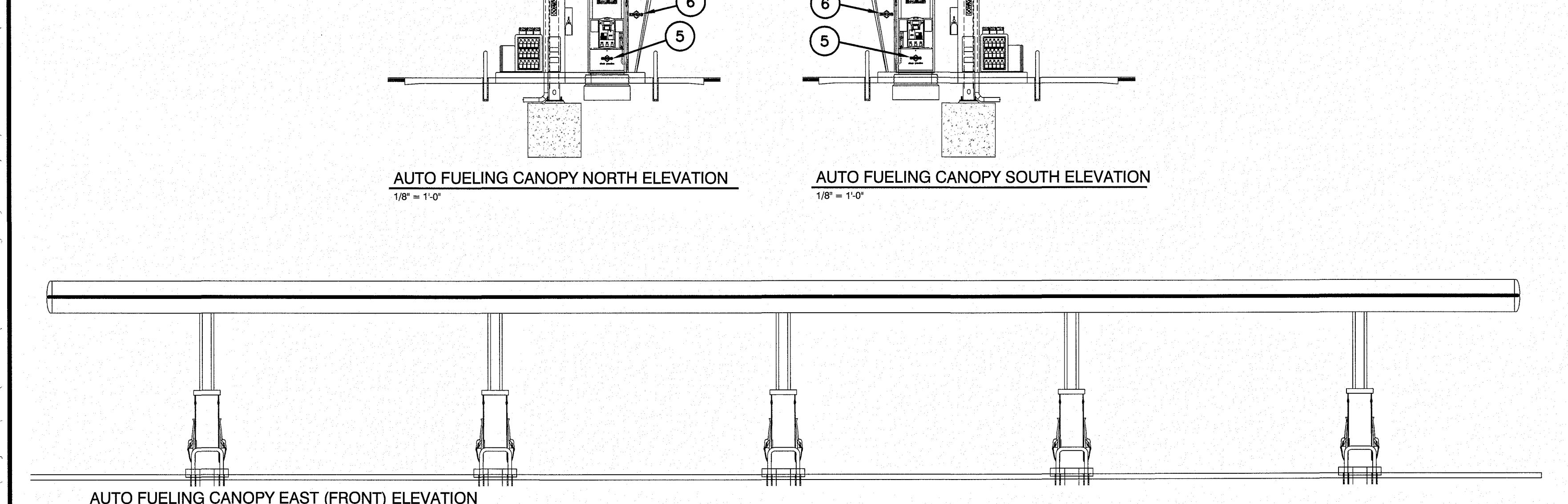
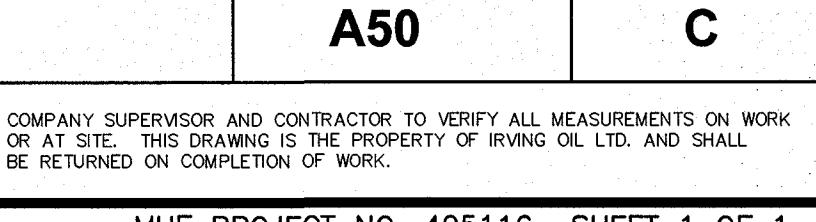
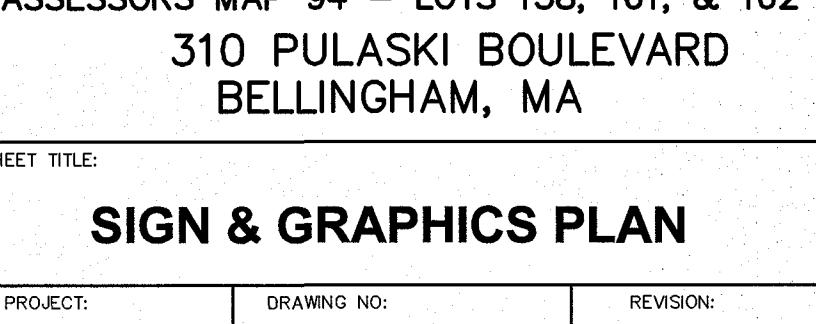
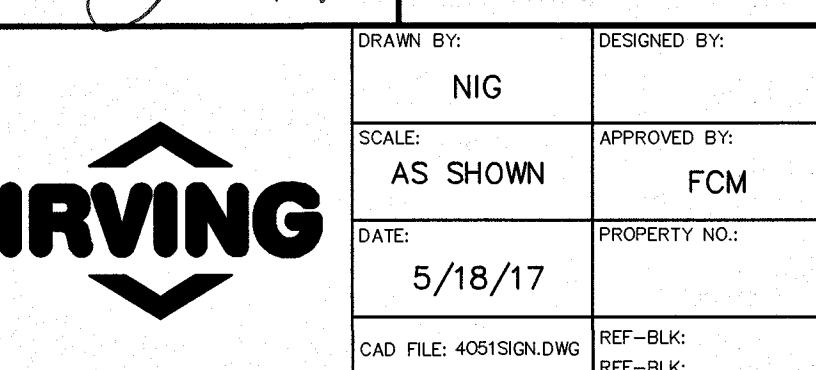
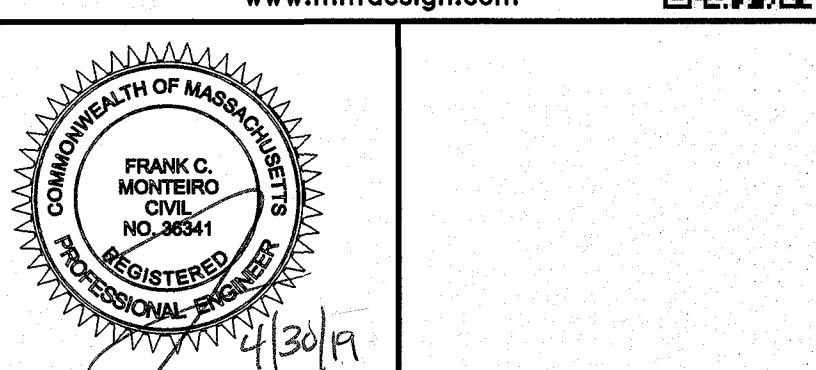
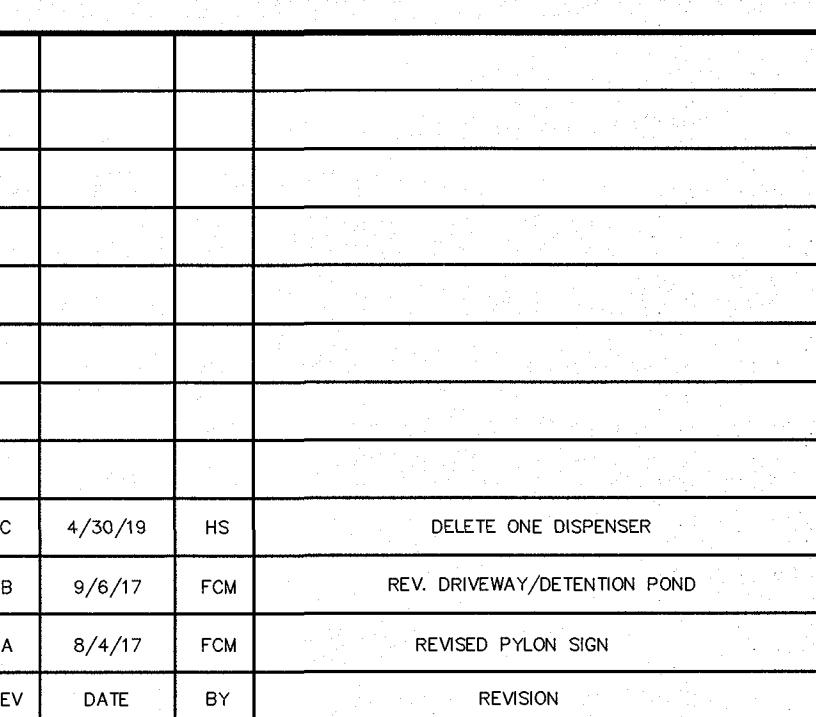
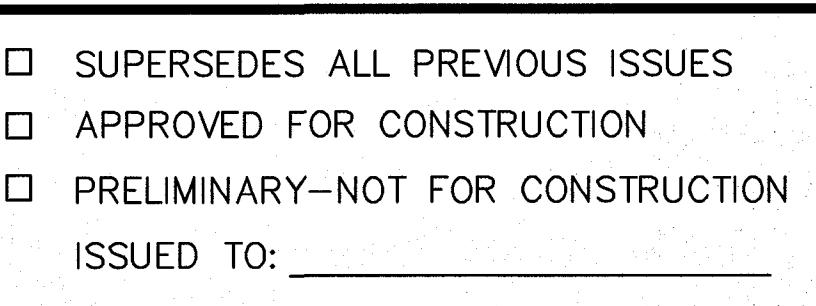
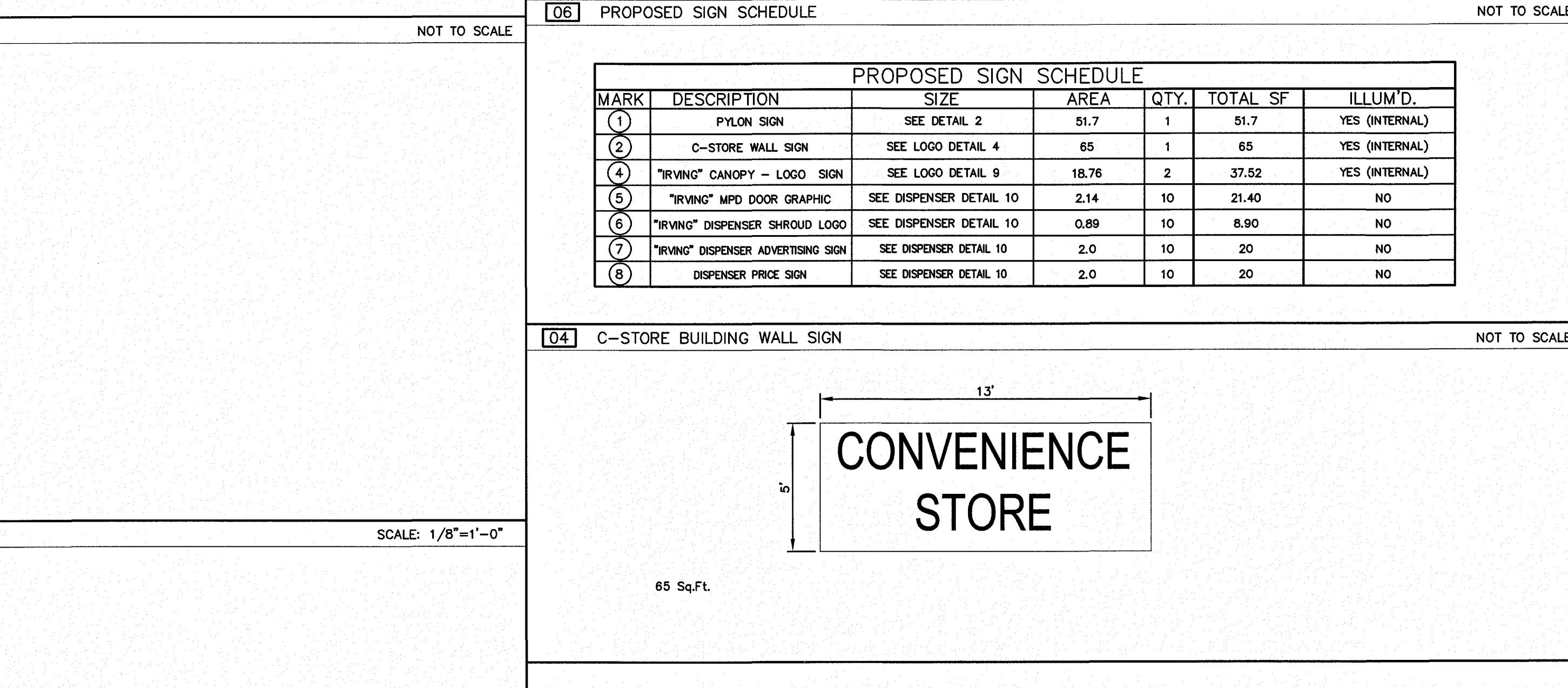
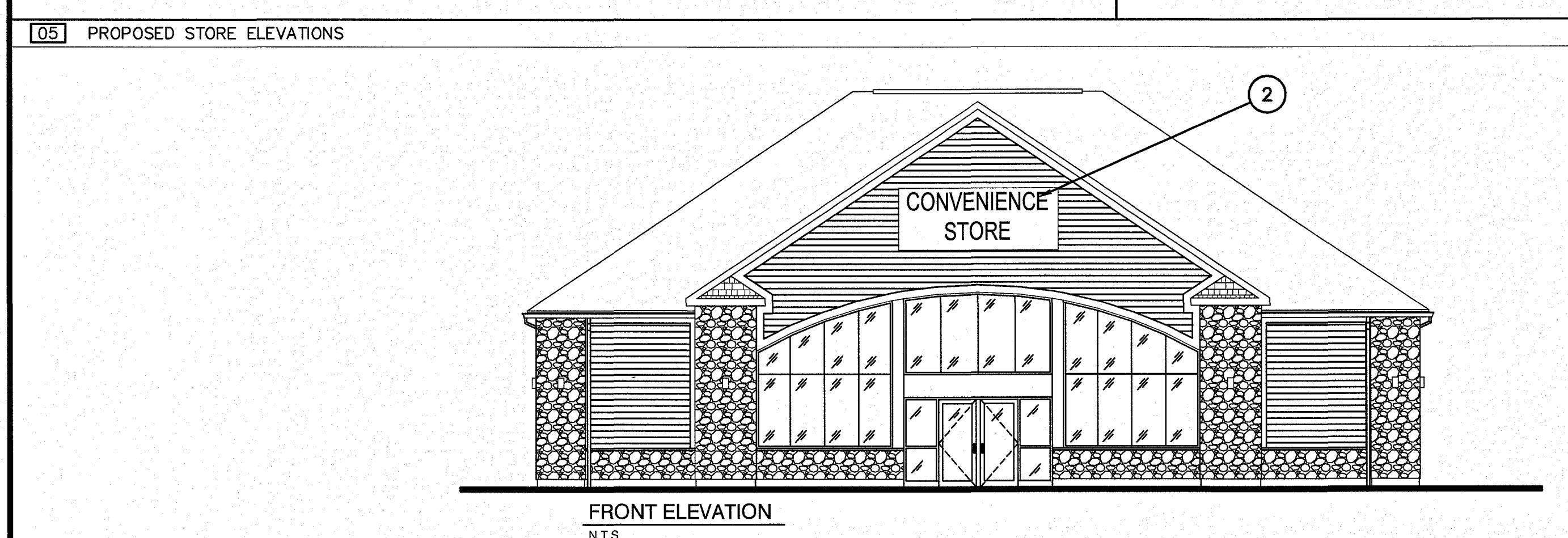
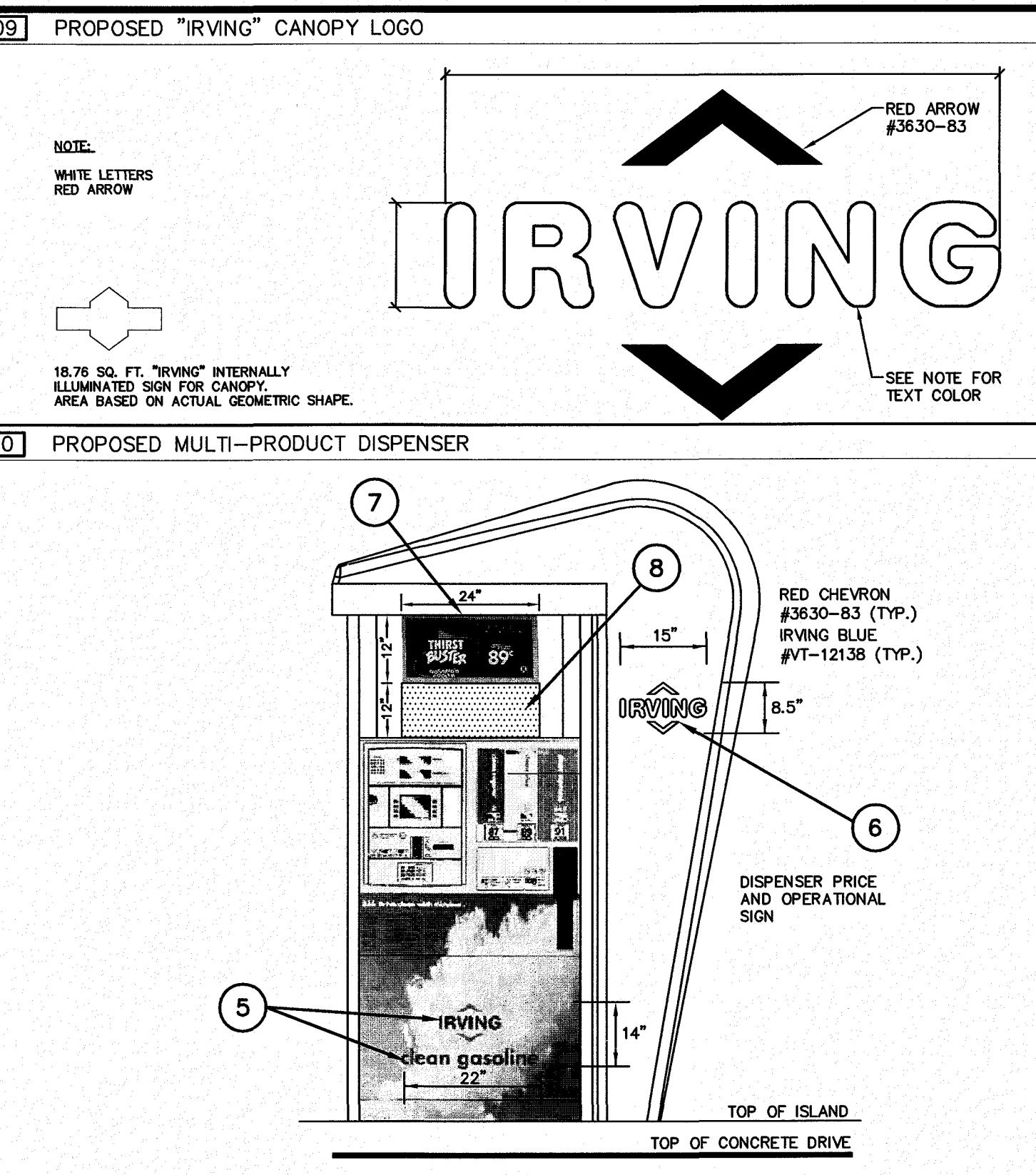
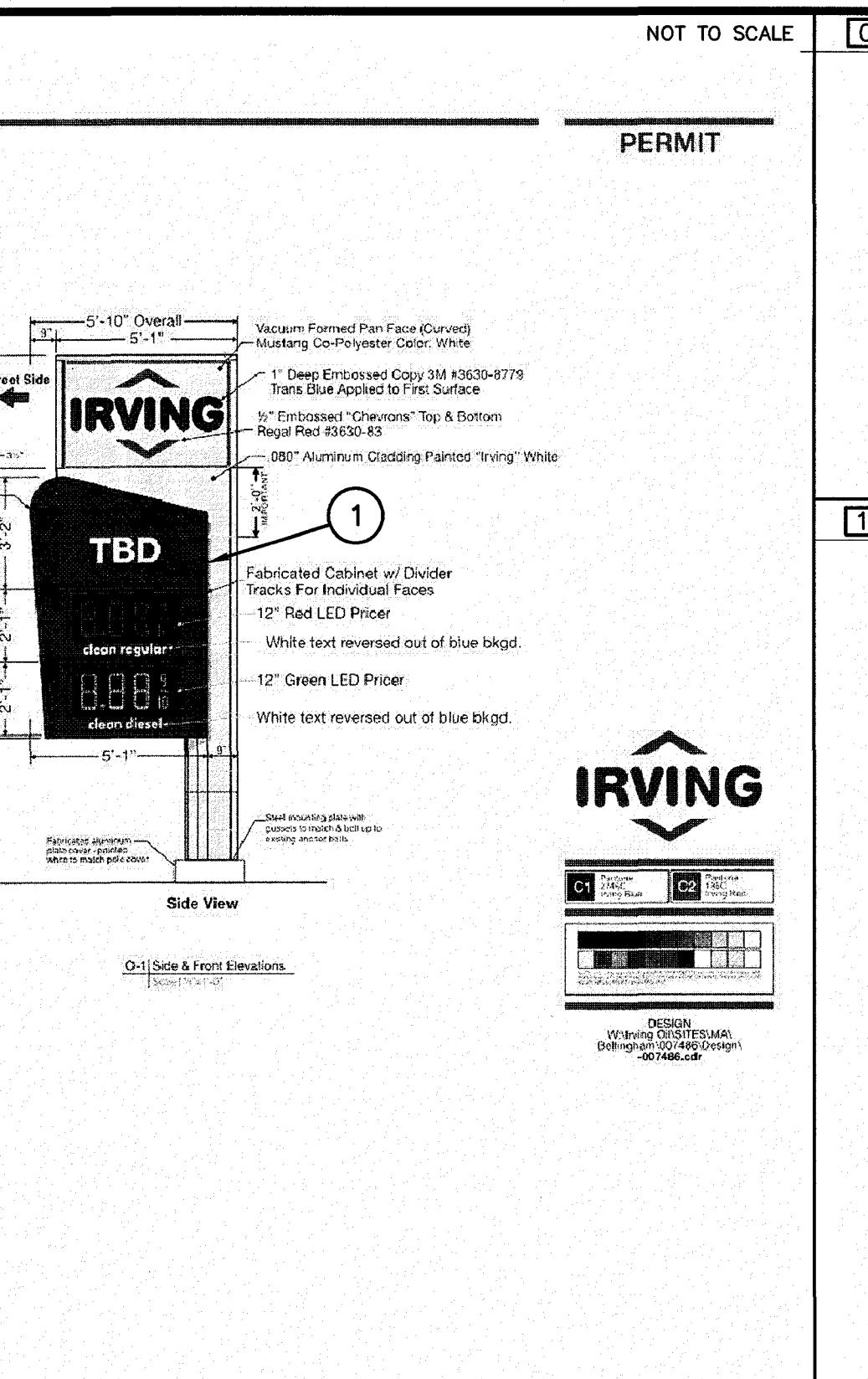
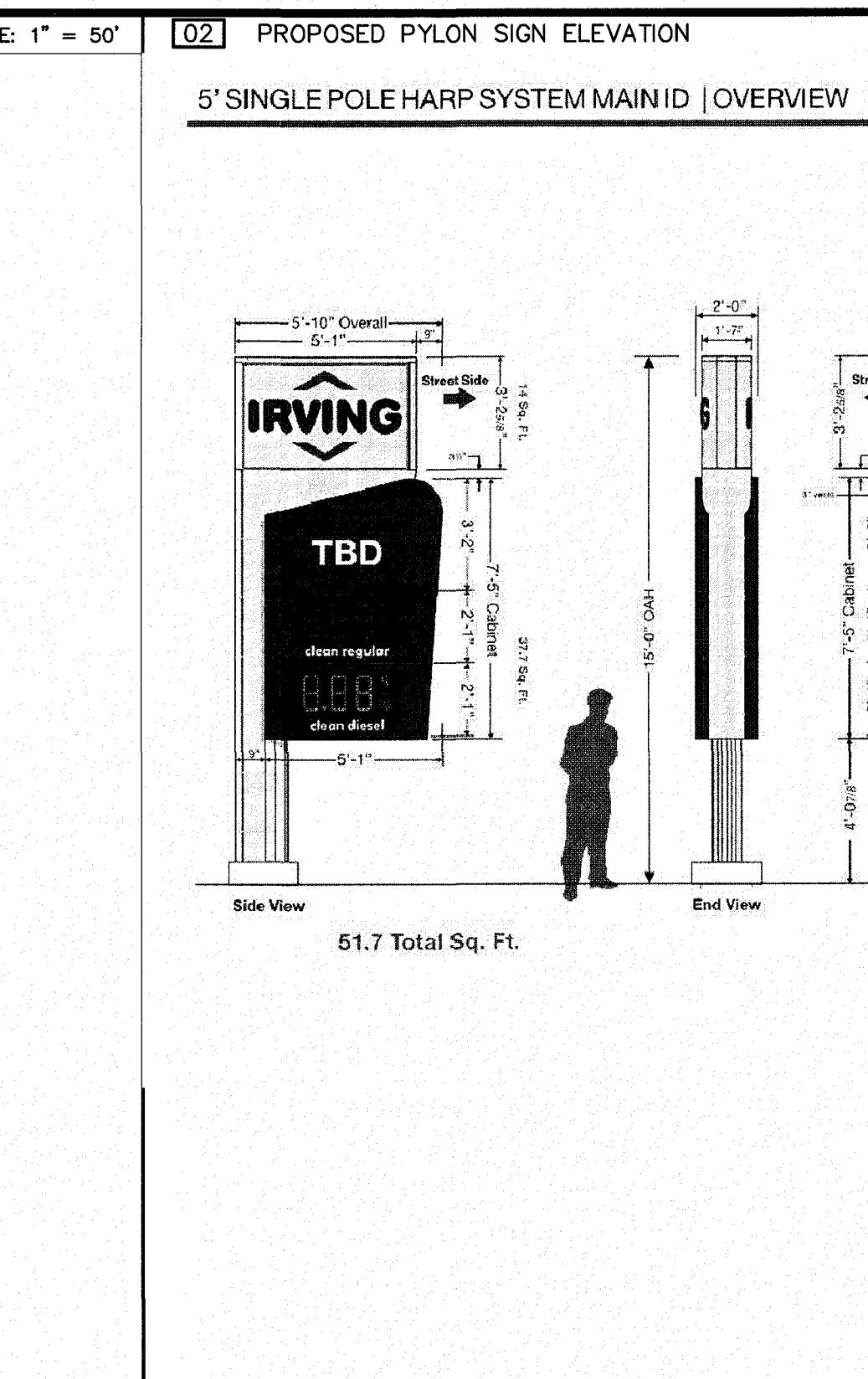
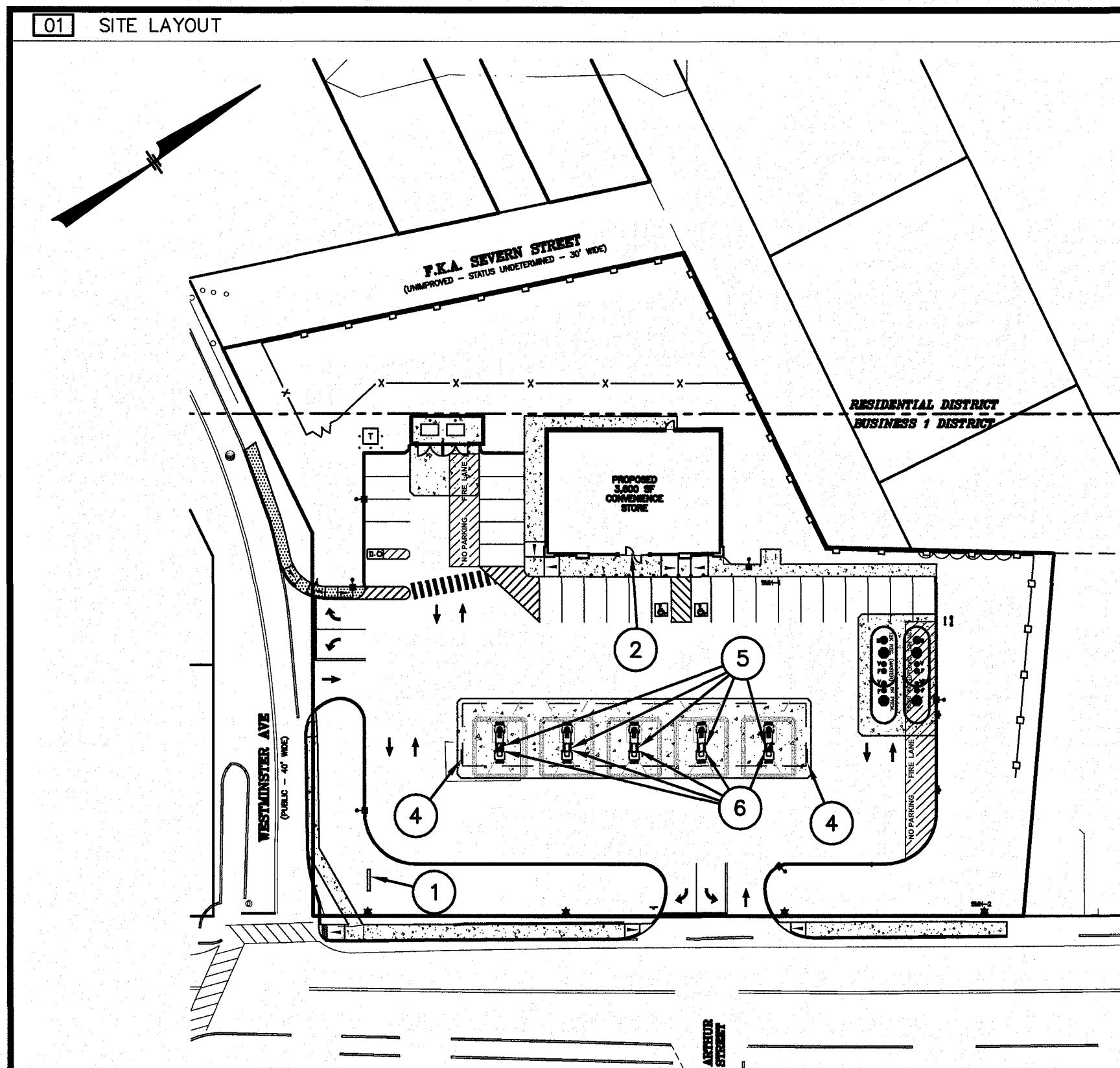
REV DATE BY REVISION  
REVISIONS  
**IRVING**  
MHF Design Consultants, Inc.  
44 Silvers Road, Suite One  
Salem, New Hampshire 03079  
(603) 893-0720  
ENGINEERS • PLANNERS • SURVEYORS  
www.mhfdesign.com



DRAWN BY: NIC FCM  
APPROVED BY: AS SHOWN  
DATE: 5/18/17 PROPERTY NO:  
REF-BLK: PLOTTED:  
REF-BLK: PLOTTED:  
REF-BLK: PLOTTED:  
REF-BLK: PLOTTED:

**IRVING OIL**  
190 COMMERCE WAY  
PORTSMOUTH, NH 03801  
PROJECT: ASSESSORS MAP 94 – LOTS 138, 161, & 162  
310 PULASKI BOULEVARD  
BELLINGHAM, MA  
SHEET TITLE: SITE DETAILS  
PROJECT: DRAWING NO: REVISION: L14 -

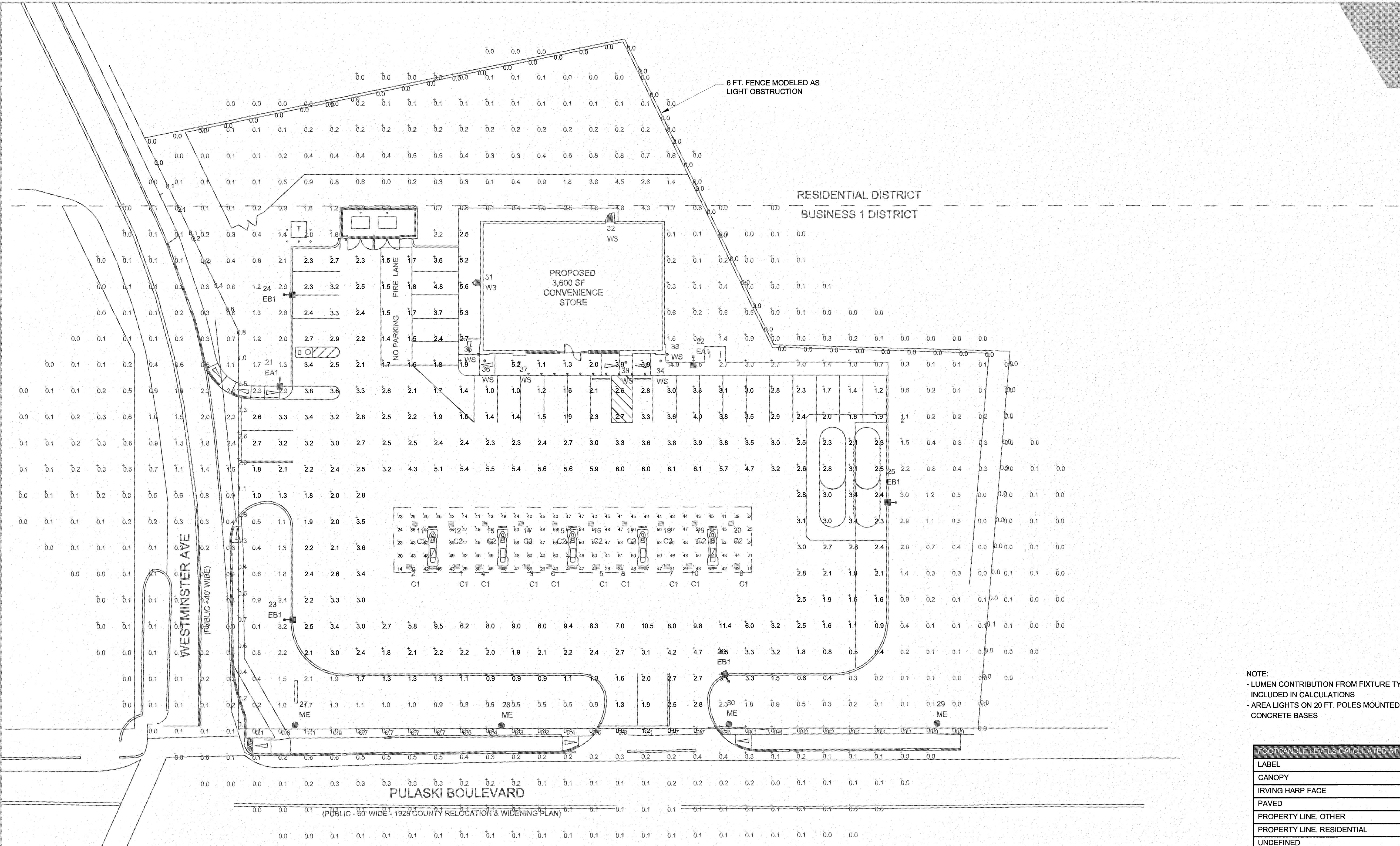




340 Kemper Meadow Dr. | Cincinnati, OH 45240 | 513-574-9500

[www.redleonard.com](http://www.redleonard.com)

**APPROVED**  
By Amy Sutherland at 11:55 am, Jun 19, 2019



LUMINAIRE LOCATION SUMMARY		
LUM NO.	LABEL	MTG. HT.
1	C1	14.5
2	C1	14.5
3	C1	14.5
4	C1	14.5
5	C1	14.5
6	C1	14.5
7	C1	14.5
8	C1	14.5
9	C1	14.5
10	C1	14.5
11	C2	14.5
12	C2	14.5
13	C2	14.5
14	C2	14.5
15	C2	14.5
16	C2	14.5
17	C2	14.5
18	C2	14.5
19	C2	14.5
20	C2	14.5
21	EA1	22.5
22	EA1	22.5
23	EB1	22.5
24	EB1	22.5
25	EB1	22.5
26	EB1	22.5
27	ME	12
28	ME	12
29	ME	12
30	ME	12
31	W3	12
32	W3	12
33	WS	7
34	WS	7
35	WS	7
36	WS	7
37	WS	7
38	WS	7

NOTE:

- LUMEN CONTRIBUTION FROM FIXTURE TYPE ME NOT INCLUDED IN CALCULATIONS
- AREA LIGHTS ON 20 FT. POLES MOUNTED ON 2.5 FT. CONCRETE BASES

FOOTCANDLE LEVELS CALCULATED AT GRADE USING INITIAL LUMEN VALUES					
LABEL	AVG	MAX	MIN	AVG/MIN	MAX/MIN
CANOPY	43.86	60	14	3.13	4.29
IRVING HARP FACE	35.03	42	28	1.25	1.50
PAVED	2.93	11.4	0.4	7.33	28.50
PROPERTY LINE, OTHER	0.50	2.6	0.0	N.A.	N.A.
PROPERTY LINE, RESIDENTIAL	0.01	0.1	0.0	N.A.	N.A.
UNDEFINED	0.45	14.9	0.0	N.A.	N.A.

SYMBOL	QTY	LABEL	ARRANGEMENT	LUMENS	LLF	ARR. WATTS	TOTAL WATTS	MANUFACTURER	DESCRIPTION
	10	C1	SINGLE	12862	1.050	141	1410	RUUD LIGHTING, INC., A CREE COMPANY	CAN-304-AF-RS-06-E-UL-WH-700
	10	C2	SINGLE	13251	1.050	134	1340	CREE, INC.	CAN-304-SL-RS-06-E-UL-XX-700-57K
	2	EA1	SINGLE	12181	1.000	113	226	EATON - McGRAW-EDISON (FORMER COOPER LIGHTING)	GLEON-AF-02-LED-E1-T3-7050
	4	EB1	SINGLE	12252	1.000	113	452	EATON - McGRAW-EDISON (FORMER COOPER LIGHTING)	GLEON-AF-02-LED-E1-T4FT-7050
	4	ME	SINGLE	12490	1.000	185	740	COOPER LIGHTING - McGRAW-EDISON	MNC-150-MP-X-5-X-V-X (DECORATIVE FIXTURE BY OTHERS)
	2	W3	SINGLE	5893	1.030	68	136	CREE, INC.	SEC-EDG-3M-WM-04-E-UL-XX-525-57K
	6	WS	SINGLE	819	1.000	20.18	121.08		2SRBK-4-9W-LED-120V

REV.	BY	DATE	DESCRIPTION	REV.	BY	DATE
1	LMP	05/08/17	REVISED AREA FIXTURE FROM CREE TO EATON-MCGRAW-EDISON PER REQUEST	R5	JSG	4/30/19
2	LMP	07/21/17	REVISED PER COMMENTS			
3	LMP	08/03/17	REVISED PER COMMENTS			
4	LMP	08/31/17	REVISED PER UPDATED SITE PLAN			

DESCRIPTION  
ISED PER NEW SITE PLAN. ADJUST CANOPY LIGHTING FOR ONE LESS DISPENSE

PERSONS USING THIS PROGRAM ARE ADVISED THAT THIS PROGRAM MAY CONTAIN ERRORS WHICH RED LEONARD ASSOCIATES, INC. OR ITS SOFTWARE PROVIDER HAVE NOT OBSERVED. IN ADDITION, THE USE OF THIS PROGRAM TO AID IN LAYOUT OF LIGHTING AND ESTIMATING MATERIAL QUANTITIES IS NOT INTENDED TO REMOVE THE RESPONSIBILITY OF THE USER TO VERIFY THE COMPLETENESS OF ANY BILL OF MATERIAL AND THAT THE LAYOUT OR USE OF LUMINAIRES IS IN FULL ACCORDANCE WITH ALL LOCAL, STATE OR FEDERAL STATUTES, REGULATIONS OR OTHER REQUIREMENTS, OR THE REQUIREMENTS OF ANY INSURANCE GROUP, ORGANIZATION OR CARRIER REGARDING LUMINAIRES AND THEIR APPLICATION.

FOR INFORMATIONAL AND ILLUSTRATION PURPOSES ONLY. ALL PRODUCT, SERVICE AND CORPORATE NAMES ARE THE PROPERTY OF THEIR RESPECTIVE OWNERS. PRODUCT SPECIFICATIONS AND QUANTITIES MAY VARY. THESE DOCUMENTS ARE THE PROPERTY OF RED LEONARD ASSOCIATES, INC. ANY USE OF THESE DOCUMENTS WITHOUT THE WRITTEN CONSENT OF R. J. LEONARD OF RED LEONARD ASSOCIATES, INC. IS STRICTLY PROHIBITED.

ILLUMINATION RESULTS SHOWN ON THIS LIGHTING APPLICATION ARE BASED ON PROJECT PARAMETERS PROVIDED BY THE MANUFACTURER LISTED IN CONJUNCTION WITH LUMINAIRE TEST PROCEDURES CONDUCTED UNDER LABORATORY CONDITIONS. ACTUAL PROJECT CONDITIONS DIFFERENT FROM THESE PARAMETERS MAY AFFECT FIELD RESULTS. THE CUSTOMER IS RESPONSIBLE FOR VERIFYING COMPLIANCE WITH ANY APPLICABLE ELECTRICAL, LIGHTING, OR ENERGY CODE.

DUCT, PERSPECTIVE	SCALE:	LAYOUT BY:
ES, INC. F. JAYME ANTED.	1" = 20'	LMP
BASED D. USED NDER S FROM	DWG SIZE:	DATE:
	D	04/26/17

PROJECT NAME: **IRVING OIL**  
**BELLINGHAM, MA**

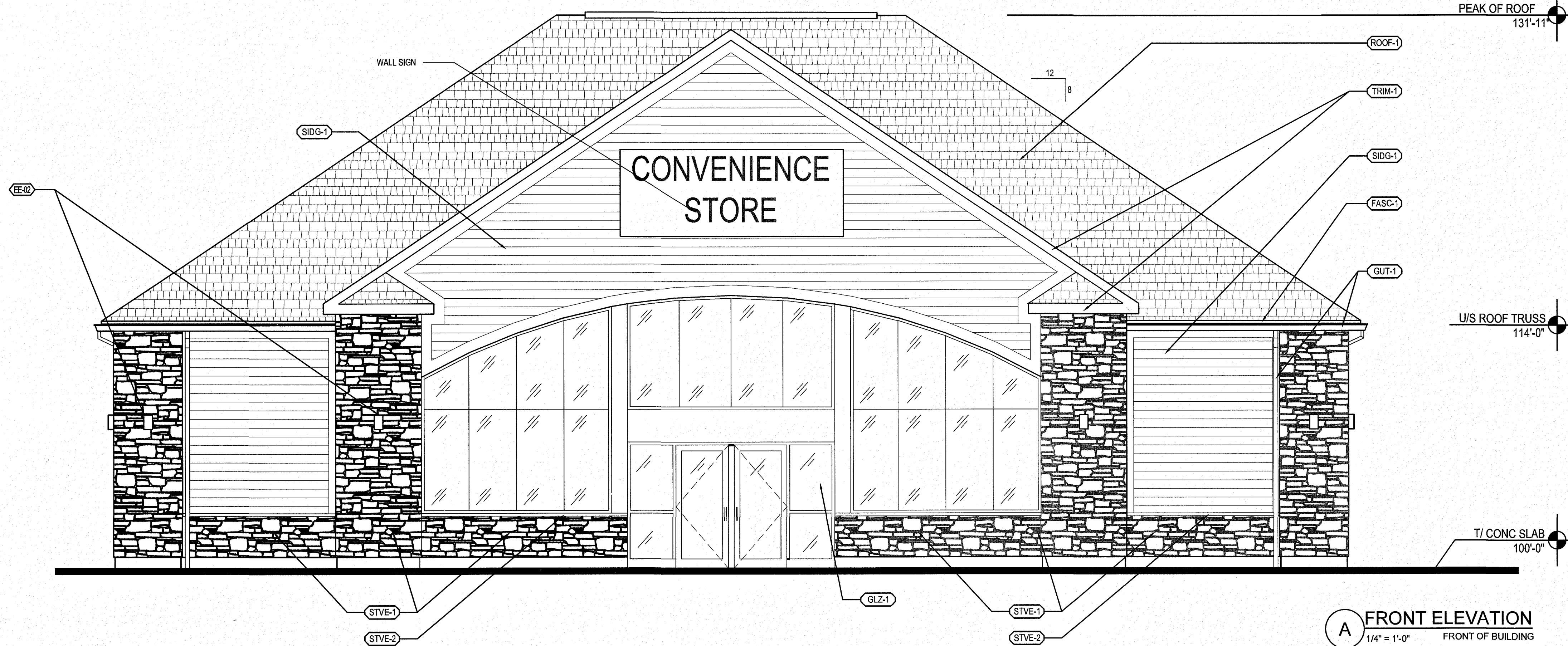
DRAWING NUMBER: **RL-4531-S1-R5**



**NEW STORE FOR:  
IRVING OIL**

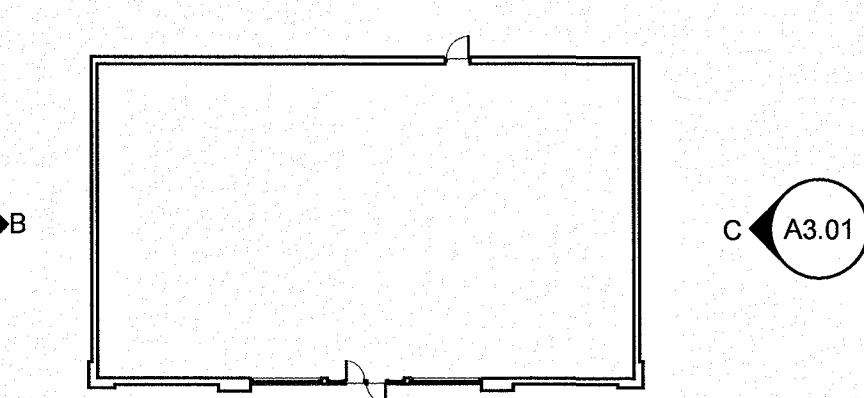
WESTMINSTER AVE AND PULASKI BLVD  
BELLINGHAM, MASSACHUSETTS

ELEVATION MATERIAL SCHEDULE		
NO:	MATERIAL:	NOTES:
FASC-1	MATERIAL: PREFINISHED WOOD FASCIA BOARD MANUFACTURER: TBD FASCIA: TBD COLOR: AS SELECTED BY OWNER FROM FULL RANGE	
FENCE-1	MATERIAL: ROOFTOP EQUIPMENT FENCE ENCLOSURE MANUFACTURER: TO BE DETERMINED COLOR: TO MATCH SIDING COLOR	
GLZ-1	MATERIAL: PREFINISHED ALUMINUM STOREFRONT SYSTEM STOREFRONT MANUFACTURER: ANOTEC STOREFRONT SYSTEM: 3400 SERIES ALUMINUM WINDOW FRAMING CLEAR ANODIZED STOREFRONT DOOR: ANOTEC SERIES 22 INSULCLAD DOOR, GLASS: TBD GLASS MANUFACTURER: TBD GLASS TYPE: TBD GLASS COLOR: TBD	SHIN AND SEAL ALL EDGES PER MFRS. REQUIREMENTS
GUT-1	MATERIAL: PREFINISHED ALUMINUM GUTTERS AND DOWNSPOUTS MANUFACTURER: TBD GUTTER COLOR: AS SELECTED BY OWNER FROM FULL RANGE DOWNSPOUT COLOR: AS SELECTED BY OWNER FROM FULL RANGE	CONNECT DOWNSPOUTS TO UNDERGROUND STORM, STAINLESS STEEL CONNECTION AT GRADE
PNT-1	MATERIAL: EXTERIOR PAINT MANUFACTURER: TO BE DETERMINED PRIMER: TO BE DETERMINED FINISH: TO BE DETERMINED COLOR: TO BE DETERMINED	
PNT-2	MATERIAL: EXTERIOR PAINT MANUFACTURER: TO BE DETERMINED PRIMER: TO BE DETERMINED FINISH: TO BE DETERMINED COLOR: TO BE DETERMINED	
ROOF-1	MATERIAL: ROOF SHINGLES MANUFACTURER: BP ARCHITECTURAL COLLECTION PATTERN: MYSTIQUE 42 ASPHALT SHINGLES COLOR: SLATE GRAY	
SIDE-1	MATERIAL: PREFINISHED WOOD SIDING MANUFACTURER: MAIBEC SIDING: EM-RABBETED BEVEL HORIZONTAL SIDING COLOR: TEXTURED FINISH CW IRVING BEIGE (L84769-258173-NG) TRIM: 2X9 AT CORNERS, WINDOW/DOOR FRAMES, BELOW SOFFIT AND CHANGE OF MATERIALS COLOR: IRVING BEIGE (L84769-258173-NG)	UNDERLAYMENT TO BE (1) LAYER 30# BUILDING FELT
STVE-1	MATERIAL: PREFABRICATED MASONRY PANELS MANUFACTURER: PERMACON BEONSTONE PATTERN: TO BE DETERMINED COLOR: CLASSIC CARBO GREY	UNDERLAYMENT TO BE MFRS APPROVED WATER AND WEATHER RESISTIVE BARRIER
STVE-2	MATERIAL: STONE SILL CAP MANUFACTURER: PERMACON BEONSTONE PATTERN: TO BE DETERMINED COLOR: CLASSIC CARBO GREY	UNDERLAYMENT TO BE ICE AND WATER SHIELD BY WR GRACE OR APPROVED EQUAL
TRIM-1	MATERIAL: PREFINISHED WOOD FASCIA BOARD MANUFACTURER: MAIBEC FASCIA: TBD COLOR: TO BE DETERMINED	
SOF-1	MATERIAL: TO BE DETERMINED MANUFACTURER: TO BE DETERMINED COLOR: TO BE DETERMINED	



EXTERIOR ELEVATION NOTES:

- EE-01 NOT USED
- EE-02 DECORATIVE WALL SCONCE
- EE-03 EQUIPMENT PLATFORM GALV. STEEL ACCESS LADDER WITH GALV. STEEL SECURITY DOOR (PTD)
- EE-04 ELECTRICAL ROOM EXHAUST, WALL CAP TO BE INSTALLED UNDER SIDING TRIM BELOW SOFFIT

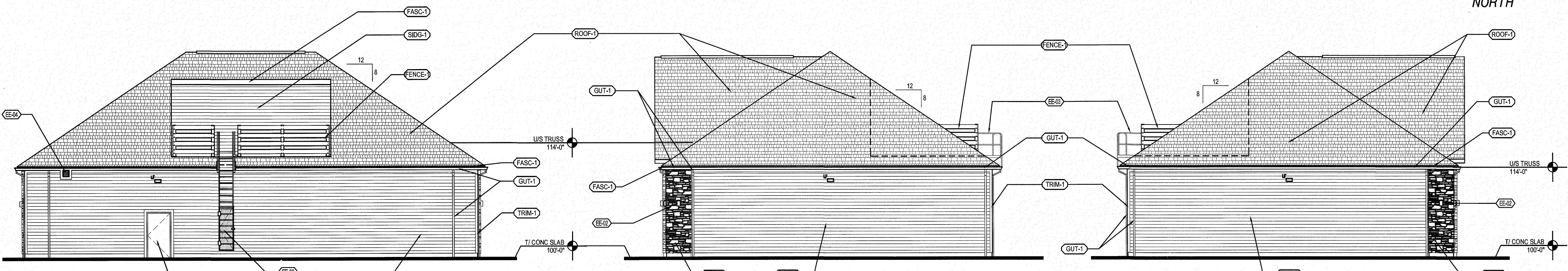


**KEY PLAN**  
NO SCALE

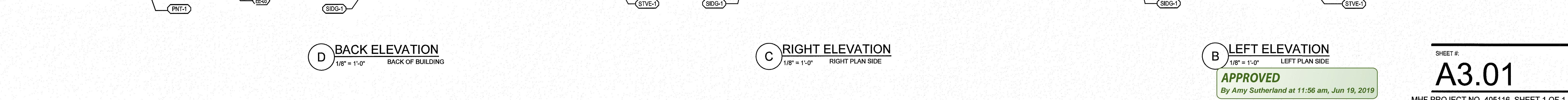


MARK: ISSUE:  
Review

DATE:  
05/11/17



**C RIGHT ELEVATION**  
1/8" = 1'-0" RIGHT PLAN SIDE



**APPROVED**  
By Amy Sutherland at 11:56 am, Jun 19, 2019

**A3.01**

MHF PROJECT NO. 405116 SHEET 1 OF 1

