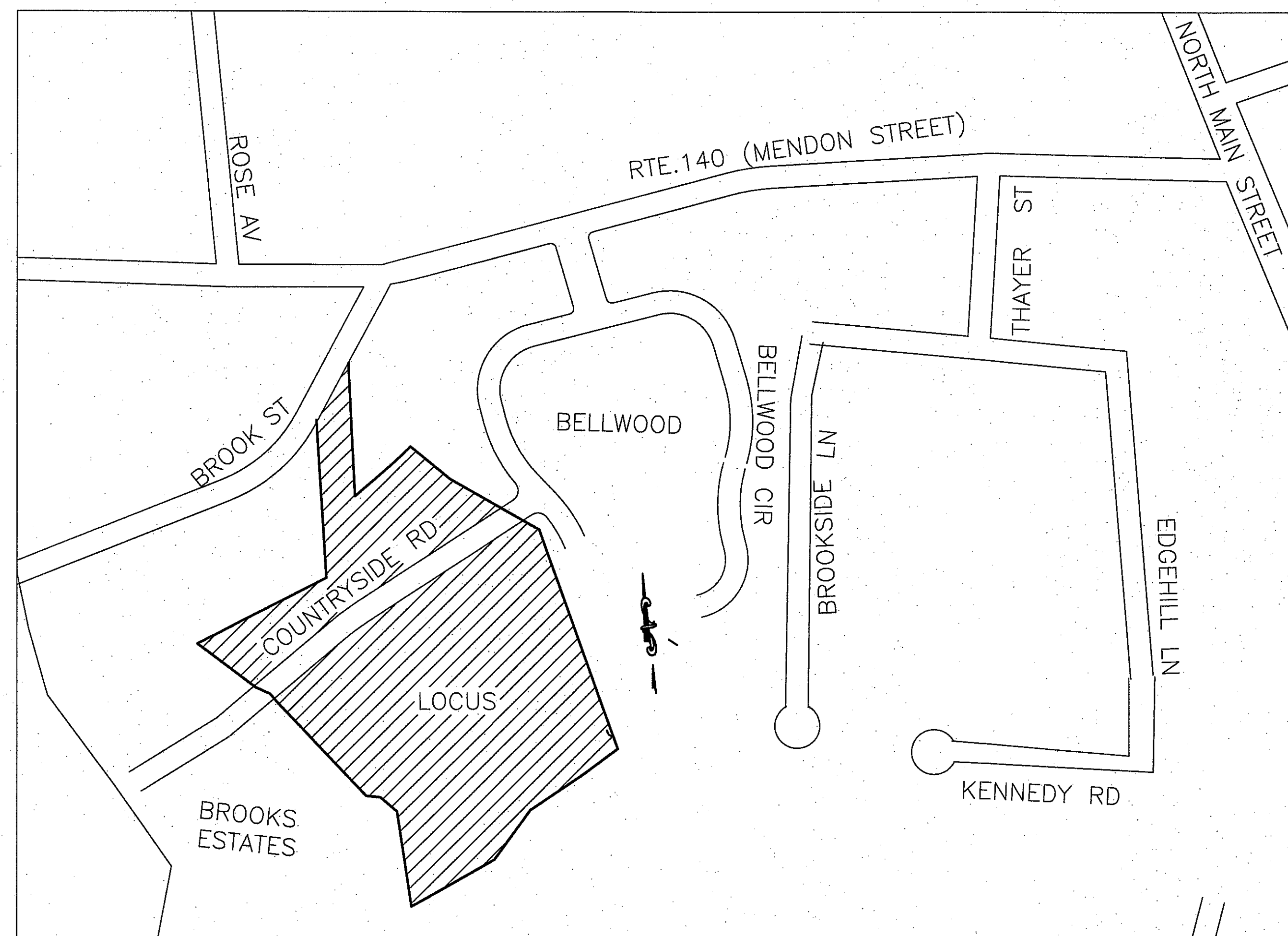


”PINE HOLLOW ESTATES” TOWNHOUSE DEVELOPMENT IN BELLINGHAM, MASSACHUSETTS

DATE: SEPTEMBER 6, 2013
REVISED: AUGUST 15, 2014
REVISED: OCTOBER 1, 2014
REVISED: MARCH 30, 2015



INDEX

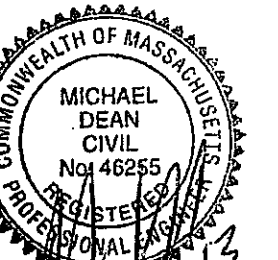
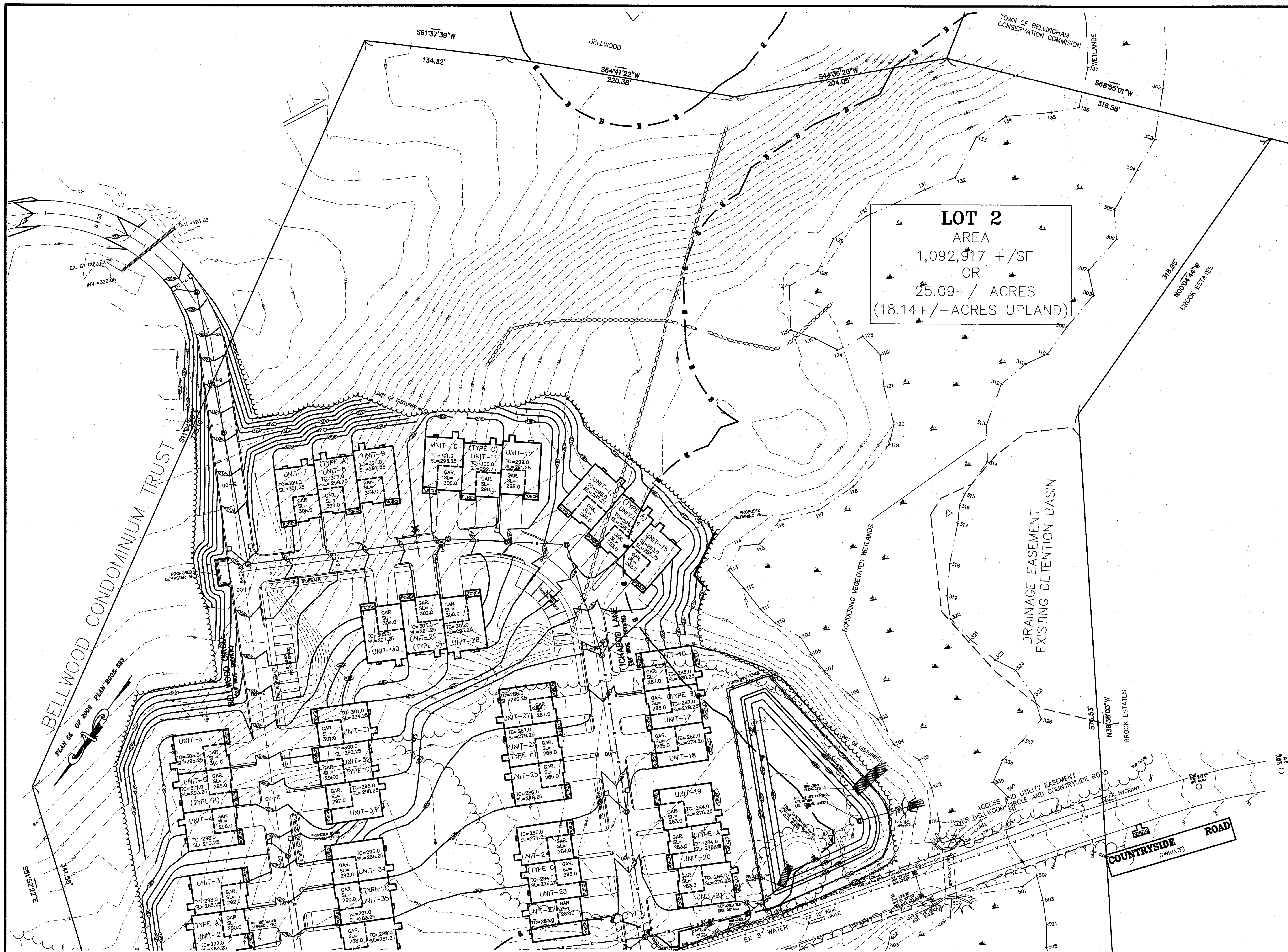
- 1 COVER SHEET
- 1 PROPERTY LINE SHEET
- 2 EXISTING CONDITIONS SHEETS
- 2 OVERALL DEVELOPMENT SHEETS
- 1 LAYOUT SHEET
- 1 TOPOGRAPHICAL/GRADING SHEET
- 1 UTILITIES SHEET
- 2 PLAN AND PROFILE SHEETS
- 1 LANDSCAPING SHEET
- 1 EROSION CONTROL SHEET
- 2 DETAIL SHEETS
- 3 SECONDARY/EMERGENCY ACCESS SHEETS

LOCUS MAP
200 FEET TO AN INCH

OWNER:
BELLWOOD II REALTY TRUST
40 MECHANIC STREET, SUITE 301
FOXBOROUGH, MA 02035

APPLICANT:
ALAN NASH & MICHAEL McGLAUGLIN
181 CONGRESS STREET
MILFORD, MA 01757





DATE: _____	DATE: 1/19/05
APPROVED DATE: _____	
PLANNING BOARD	

Bar P. R. L. S.
Brie Schum
1914-1915
1916

SIGNATURE DATE: 5/2/16
BEING A MAJORITY

CONSTRUCTION ON THIS LOT IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS OR OTHER LIMITATIONS WHICH MAY BE REQUIRED BY AN EXAMINATION OF THE TITLE.

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LEGEND

- | | |
|---|------------------------------|
|  | EXISTING TREELINE |
|  | EXISTING STONEWALL |
|  | EDGE OF WETLANDS |
|  | 100 FT WETLANDS BUFFER |
|  | EXISTING CONTOUR |
|  | PROPOSED EROSION CONTROL |
|  | PROPOSED FENCE |
|  | PROPOSED HEADWALL |
|  | PROPOSED FENCED END SECTION |
|  | PROPOSED DRAIN LINE |
|  | PROPOSED WATER LINE |
|  | PROPOSED GAS LINE |
|  | PROPOSED ELEC., CABLE & TEL. |
|  | EXISTING DRAINAGE MANHOLE |
|  | PROPOSED DRAINAGE MANHOLE |
|  | EXISTING CATCH BASIN |
|  | PROPOSED CATCH BASIN |
|  | EXISTING FIRE HYDRANT |
|  | PROPOSED FIRE HYDRANT |
|  | EXISTING WATER VALVE |
|  | DEEP TEST HOLE |
|  | EXISTING UTILITY POLE |
|  | PROPOSED RIP RAP |
|  | PROPOSED LIGHT POLE |
|  | ROADWAY SUBDRAIN |

	10/1/14	LAYOUT AND GRADING	RJP
	8/15/14	PER PEER REVIEW	RJP
##	DATE	DESCRIPTION	INIT

OWNER

BELLWOOD II REALTY TRUST
40 MECHANIC STREET, SUITE 301
FOXBOROUGH, MA 02035

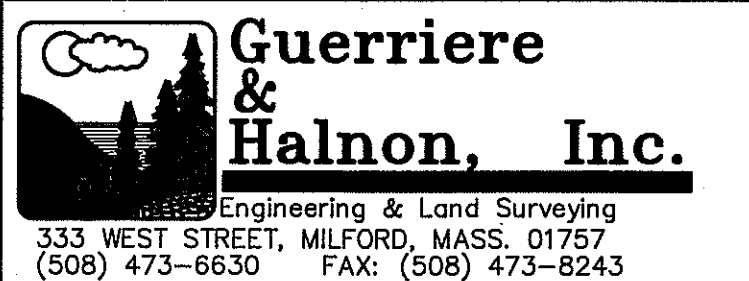
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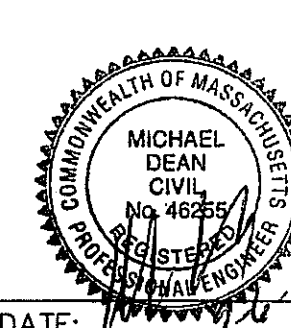
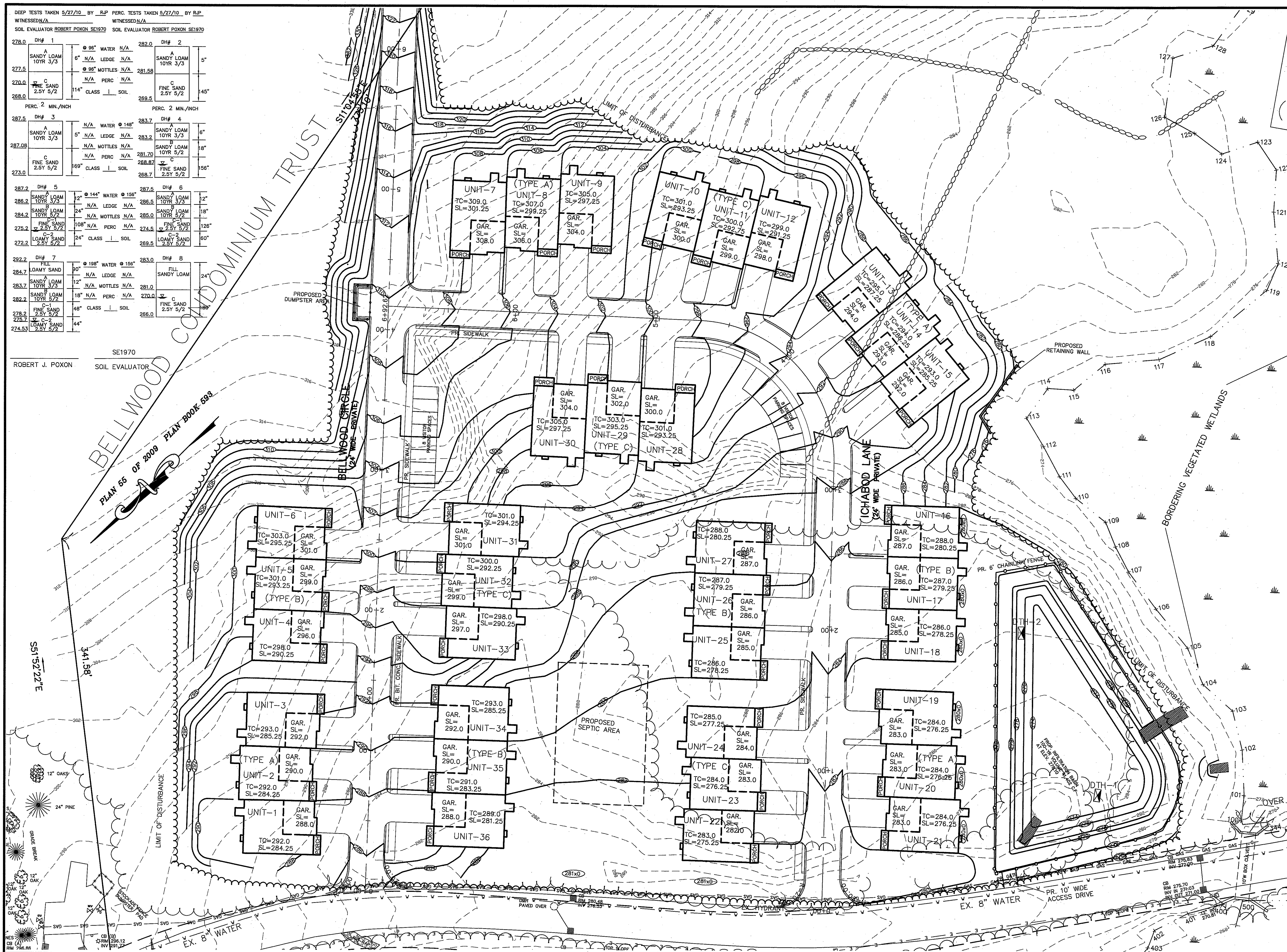
ALAN NASH & MICHAEL McGLAUGHLIN
181 CONGRESS STREET
MILFORD, MA 01757

"PINE HOLLOW ESTATES"

OVERALL SITE
PLAN OF LAND
IN
BELLINGHAM, MA

SCALE: 40 FEET TO AN INCH
DATE: SEPTEMBER 6, 2013





DATE: _____ DATE: _____

APPROVED DATE: _____
PLANNING BOARD

Ben. Schrey

SIGNATURE DATE: 5/2/18
BEING A MAJORITY

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EXCAVATION WORK, AND TO MAKE ALL POSSIBLE INVESTIGATION
AS TO POSSIBLE UNMARKED UTILITY LINES.

NOTES

1. ALL WATER LINE WORK TO MEET THE TOWN OF BELLINGHAM STANDARDS.
2. CONTRACTOR TO CONTACT THE DPW BEFORE ANY WORK IS STARTED.
3. TEST HOLES WHERE PERFORMED BY ROBERT J. POKON A CERTIFIED SOIL EVALUATOR ON MAY 27, 2010.
4. TEST HOLE WHERE NOT WITNESSED BY THE BELLINGHAM BOARD OF HEALTH.
5. TEST FOR THE INDIVIDUAL SEPTIC SYSTEMS WILL BE WITNESSED BY THE BOARD OF HEALTH.
6. TRASH INTERCEPTOR SHALL BE PROVIDED AT THE OUTFALL STRUCTURE.

	10/1/14	LAYOUT AND GRADING	RJP
	8/15/14	PER PEER REVIEW	RJP
##	DATE	DESCRIPTION	INITIALS
OWNER			

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40 MECHANIC STREET, SUITE 301
FOXBOROUGH, MA 02035

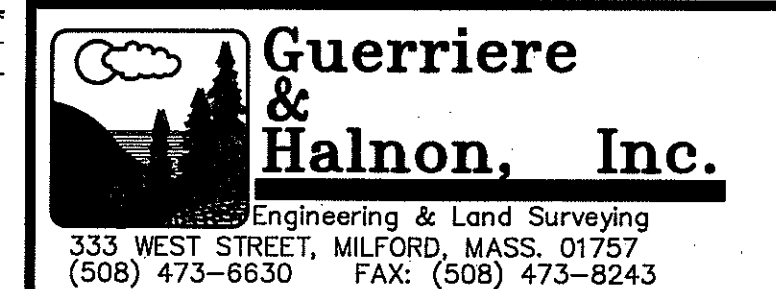
APPLICANT

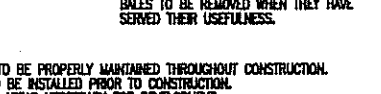
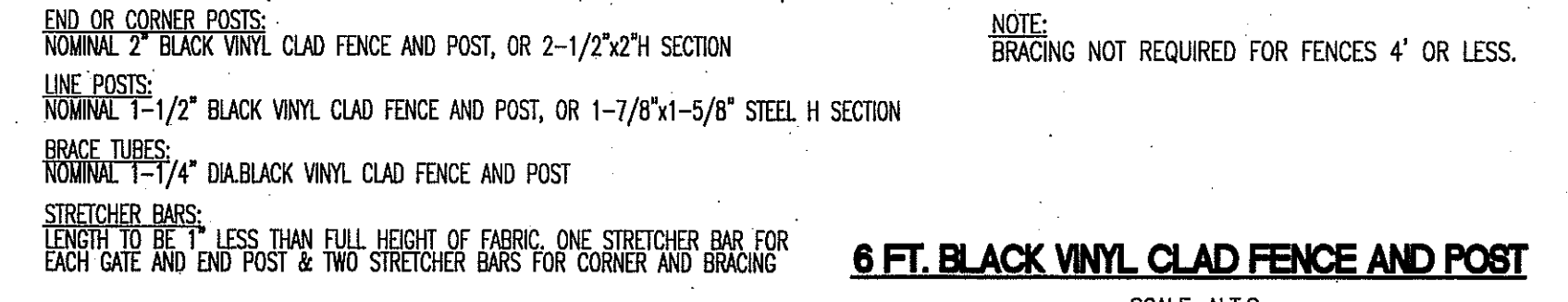
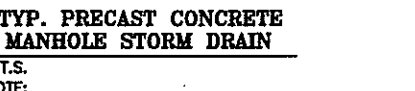
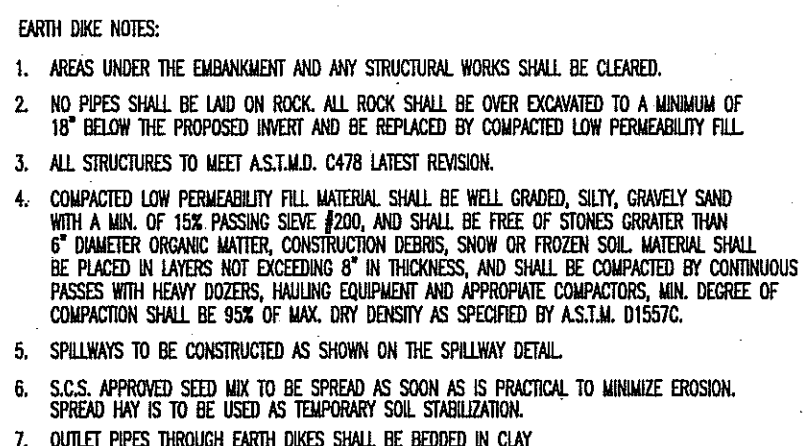
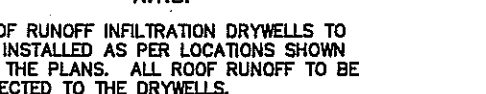
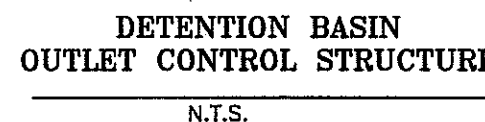
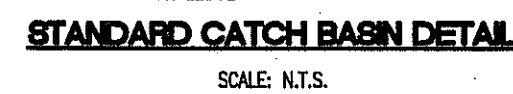
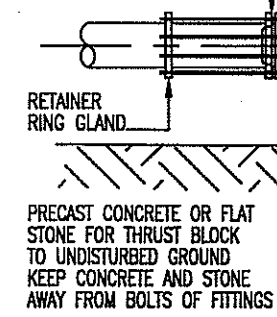
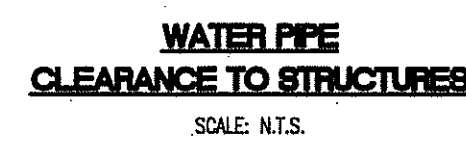
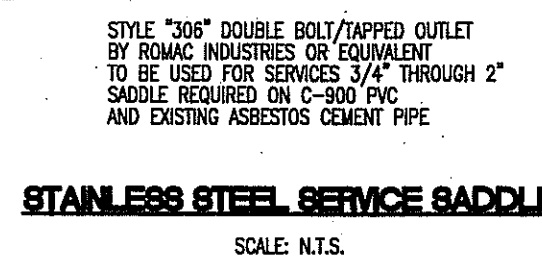
ALAN NASH & MICHAEL McGLAUGHLIN
181 CONGRESS STREET
MILFORD, MA 01757

"PINE HOLLOW ESTATES"

GRADING PLAN OF LAND IN BELLINGHAM, MA

SCALE: 30 FEET TO AN INCH
DATE: SEPTEMBER 6, 2013





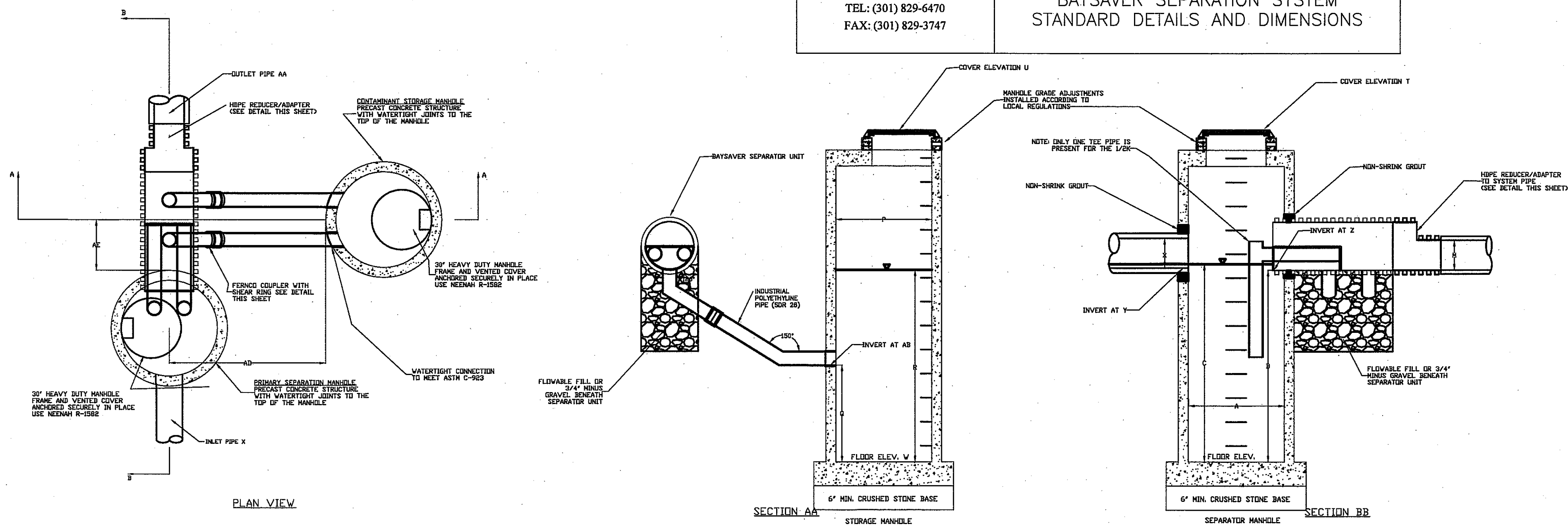
PIPE DATA		1.5:1 SLOPE		2:1 SLOPE		
D	L	CONC. OR F.S.M. CU. YDS.	STEEL LBS.	L	CONC. OR F.S.M. CU. YDS.	STEEL LBS.
8"	4'-2"	0.77	15	5'-10"	1.08	21
10"	4'-10"	0.92	20	6'-8"	1.28	23
12"	5'-6"	1.08	21	7'-6"	1.49	29
15"	6'-6"	1.34	24	8'-8"	1.82	32
18"	7'-6"	1.61	30	10'-0"	2.16	39
21"	8'-6"	1.93	34	11'-5"	2.62	43
24"	9'-3"	2.16	35	12'-6"	2.97	50
30"	10'-6"	2.63	44	15'-0"	3.86	62

BAYSAVER, INC.

1302 RISING RIDGE RD.
MOUNT AIRY, MD 21771
TEL: (301) 829-6470
FAX: (301) 829-3747

BAYSAVER STANDARD DETAIL SHEET

BAYSAVER SEPARATION SYSTEM STANDARD DETAILS AND DIMENSIONS



DESCRIPTION	3K SYSTEM	5K SYSTEM	10K SYSTEM
SEPARATOR MANHOLE DIMENSIONS			
A PRIMARY MANHOLE DIAMETER	60"		
B MANHOLE DEPTH BELOW OUTLET	6' - 0"		
C MINIMUM FLUID DEPTH	6' - 1"		
STANDARD SEPARATOR UNIT DIMENSIONS			
D SEPARATOR UNIT ID	36"		
DE SEPARATOR UNIT OD	41.4"		
E SEPARATOR UNIT LENGTH	97"		
F BYPASS PLATE LENGTH	40.5"		
G WEIR/BYPASS PLATE THICKNESS	1/2"		
H ELBOW AND CONNECTING PIPE OD	10.75"		
I ELBOW LENGTH	28"		
J WEIR HEIGHT ABOVE INVERT	4"		
K BYPASS PLATE HEIGHT ABOVE INVERT	18"		
L WIDTH OF WEIR AT BASE	3"		
M OUTLET PIPE DIAMETER	30"		
N ELBOW INVERT HEIGHT ABOVE UNIT INVERT	5"		
O ELBOW PIPE OVERHANG	12"		
STORAGE MANHOLE DIMENSIONS			
P STORAGE MANHOLE DIAMETER	60"		
Q MANHOLE DEPTH BELOW INLET/OUTLET	36"		
R FLUID DEPTH	6' - 0"		
S TOTAL STORAGE VOLUME	314 CF		
SYSTEM DIMENSIONS AND ELEVATIONS			
T SEPARATOR MANHOLE COVER ELEVATION	288.00		
U STORAGE MANHOLE COVER ELEVATION	288.00		
V SEPARATOR MANHOLE FLOOR ELEVATION	268.80		
W STORAGE MANHOLE FLOOR ELEVATION	268.80		
X INLET PIPE ID AND MATERIAL	30" RCP		
Y INLET PIPE INVERT	275.08		
Z SEPARATOR UNIT INVERT	274.58		
AA OUTLET PIPE ID AND MATERIAL	30" HDPE		
AB CONNECTING PIPE INVERT ELEVATION	271.58		
AC CONNECTION PIPE SPACING	20"		
AD STORAGE MANHOLE SIDE OFFSET	72 ± 6"		
AE STORAGE MANHOLE DOWNSTREAM OFFSET	24"		
AF BAYSAVER SEPARATOR UNIT ORIENTATION (PLEASE SPECIFY RIGHT OR LEFT)	RIGHT		
AG PIPE ANGLE INTO PRIMARY MANHOLE (RELATIVE TO DUTY)			

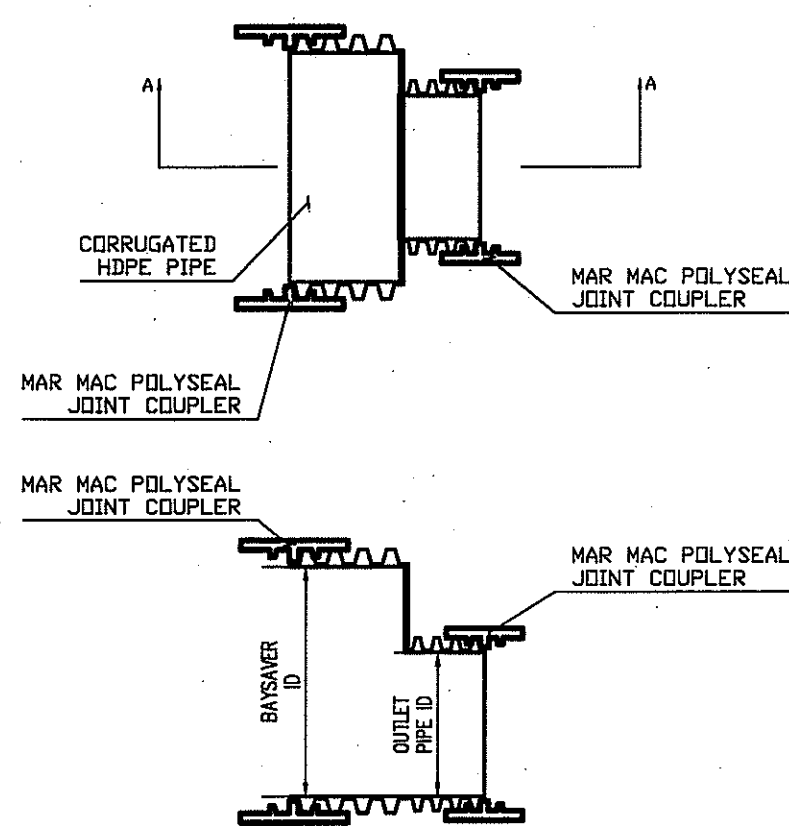
SEQUENCE OF CONSTRUCTION AND INSPECTOR'S CHECK-OFF LIST FOR DUAL MANHOLE SEPARATORS

Stage (X = Approval Required)	Developer's/Engineer Approval Initials Date	Inspector Initials Date	Geotechnical Engineer Initials Date
1. Pre-Construction Meeting.	X	X	X
2. Install Manholes and associated storm drainage: a. Obtain approval of subgrade from Geotechnical Engineer. (Subgrade to have a minimum of 95% compaction)			X
b. Installation of precast base, lower tank and lower piping.	X	X	
c. Backfill and min. 95% compaction around lower tank and lower piping.			X
d. Installation of precast middle section(s) with separator unit and remaining piping.	X	X	
e. Installation of precast top slab.	X	X	
f. Installation of adjustment rings and frame and cover.	X	X	
g. Installation of flowable fill or concrete backfill.			X
3. Backfilling operation and compaction.			X
4. Site is permanently stabilized. Sediment control measures removed and all sediment and debris removed from dual manhole separators.		X	
5. Final inspection.		X	

Baysaver Separator Unit	Baysaver Manhole Sizes (prim. x stor.)	Maximum Treatment (cfs)	Maximum Treatment (gpm)
1/2K Baysaver Separator	48x48	1.1	494
1K Baysaver Separator	48x48 48x50 48x72 50x60	2.4	1076
3K Baysaver Separator	60x60 60x72 60x84 72x72	7.8	3498
5K Baysaver Separator	72x72 72x84 72x96 96x96	11.1	4978
10K Baysaver Separator	120x120	21.8	9777

HDPE REDUCER/ADAPTER DETAIL

FOR USE WITH ALL CIRCULAR OUTLET PIPES
NOT TO SCALE



NOTE:

BAYSAVERS ARE TO BE INSTALLED WITH THE STORM DRAIN SYSTEM AND WILL FUNCTION AS SECONDARY SEDIMENT CONTROL DEVICES. UPON COMPLETION OF SITE STABILIZATION, EACH BAYSAVER SYSTEM SHALL BE FLUSHED CLEAN & THE MANHOLES CLEANED OUT AND REFILLED WITH CLEAN WATER.

BAYSAVER MAINTENANCE

BAYSAVER SYSTEMS MUST BE INSPECTED AND MAINTAINED PERIODICALLY. INSPECTION IS MADE BY CHECKING THE DEPTH OF SEDIMENT IN EACH MANHOLE WITH A GRADE STICK OR SIMILAR DEVICE. MAINTENANCE IS REQUIRED WHEN THE SEDIMENT DEPTH IN EITHER MANHOLE EXCEEDS 2 FEET. MINIMUM INSPECTION IS RECOMMENDED TWICE A YEAR TO MAINTAIN OPERATION AND FUNCTION OF BAYSAVER.

MAINTENANCE CONSISTS OF THE FOLLOWING:

A. CONTAMINANT STORAGE MANHOLE

1. REMOVE THE ENTIRE VOLUME OF THE CONTAMINATED WATER BY VACUUM TRUCK.

2. CLEAN THE MANHOLE WALLS AND FLUSH OUT THE MANHOLE USING A HIGH PRESSURE HOSE AND REMOVE FLUSHING WATER BY VACUUM TRUCK. MAKE CERTAIN MANHOLE IS CLEAN.

B. PRIMARY SEPARATION MANHOLE

1. USING A SUBMERSIBLE PUMP, PUMP THE CLEAN WATER FROM THE CENTER OF THE MANHOLE DIRECTLY INTO THE EMPTY STORAGE MANHOLE UNTIL THE WATER LEVEL FALLS TO 1 FOOT ABOVE THE SEDIMENT LAYER.

2. REMOVE THE SETTLED SEDIMENT AND REMAINING WATER BY VACUUM TRUCK.

3. CLEAN THE MANHOLE WALLS AND FLUSH OUT THE MANHOLE USING A HIGH PRESSURE HOSE AND REMOVE FLUSHING WATER BY VACUUM TRUCK. MAKE CERTAIN MANHOLE IS CLEAN.

4. CONTAMINATED MATERIAL REMOVED FROM THE MANHOLES MUST BE DISPOSED OF RESPONSIBLY AND LEGALLY BY THE OPERATOR OF THE VACUUM TRUCK.

BAYSAVER INSTALLATION INSTRUCTIONS

1. EXCAVATION MUST PROVIDE ADEQUATE SPACE TO CONNECT INLET AND OUTLET PIPES TO SEPARATOR MANHOLE AND BAYSAVER UNIT. INSTALL PRECAST DROP STRUCTURES ON SOLID GROUND AS VERIFIED BY A GEOTECHNICAL ENGINEER.

2. VERIFY THE SUBGRADE ELEVATION AGAINST THE MANHOLE DIMENSIONS AND CONNECTING STORM DRAIN INVERTS.

3. MAKING SURE THE BASES ARE LEVEL AND THE STORAGE MANHOLE OPENINGS ARE ALIGNED WITH THE SEPARATOR UNIT, INSTALL PRIMARY AND STORAGE MANHOLES. INSTALL WATERTIGHT GASKETS ON BASE UNITS AND COAT WITH LUBRICATING GREASE (IF REQUIRED). INSTALL ADDITIONAL MANHOLE SECTIONS AS REQUIRED. SEAL LIFT HOLES WITH NON-SHRINK GROUT.

4. BACKFILL BASE SECTIONS OF MANHOLES TO INVERT OF STORAGE MANHOLE CONNECTING PIPES. USING APPROVED BACKFILL MATERIAL, BACKFILL AND COMPACT IN 8 INCH LIFTS. BACKFILL AND COMPACTION SHOULD BE MONITORED BY A GEOTECHNICAL ENGINEER.

5. INSTALL BAYSAVER SEPARATOR UNIT AND CONNECTING PIPES. SEAL ALL CONNECTING JOINTS AND INSTALL SEPARATOR HDPE REDUCER/ADAPTER, CUT EXCESS LENGTH OFF CONNECTING PIPES INSIDE STORAGE MANHOLE.

6. BACKFILL SEPARATOR UNIT AND MANHOLES. AREAS NOT ACCESSIBLE TO COMPACTION EQUIPMENT MUST BE BACKFILLED WITH 3/4" MINUS ANGULAR GRAVEL OR FLOWABLE FILL.

7. INSTALL AND SET MANHOLE COVER GRADE ADJUSTMENT RINGS AS NECESSARY.

8. INSTALL AND SET MANHOLE FRAME AND COVER UNITS. GENERAL CONSTRUCTION NOTES

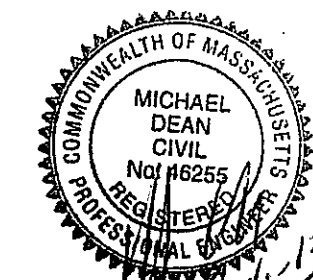
1. ALL WORK MUST BE DONE WITH REGARD FOR THE SAFETY OF THE CONSTRUCTION CREW.

2. ALL WORK AND MATERIALS MUST COMPLY WITH APPLICABLE STATE AND LOCAL REGULATIONS.

3. KNOW THE LOCATION AND DEPTH OF ANY UNDERGROUND UTILITIES BEFORE EXCAVATION BEGINS.

BAYSAVER SYSTEM DIMENSIONS

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AG PIPE ANGLE INTO PRIMARY MANHOLE (RELATIVE TO DUTY)			



DATE: 11/12/16

APPROVED DATE: BELLINGHAM PLANNING BOARD

Signature: *Ben Salby*
Date: 5/12/16
BEING A MAJORITY

SIGNATURE DATE: 5/12/16
BEING A MAJORITY

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LEGEND

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	8/15/14	PER PEER REVIEW	RJP

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FOXBOROUGH, MA 02035

APPLICANT

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181 CONGRESS STREET
MILFORD, MA 01757

"PINE HOLLOW ESTATES"

DETAIL SHEET

BAYSAVER UNIT

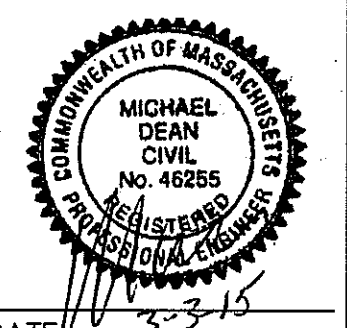
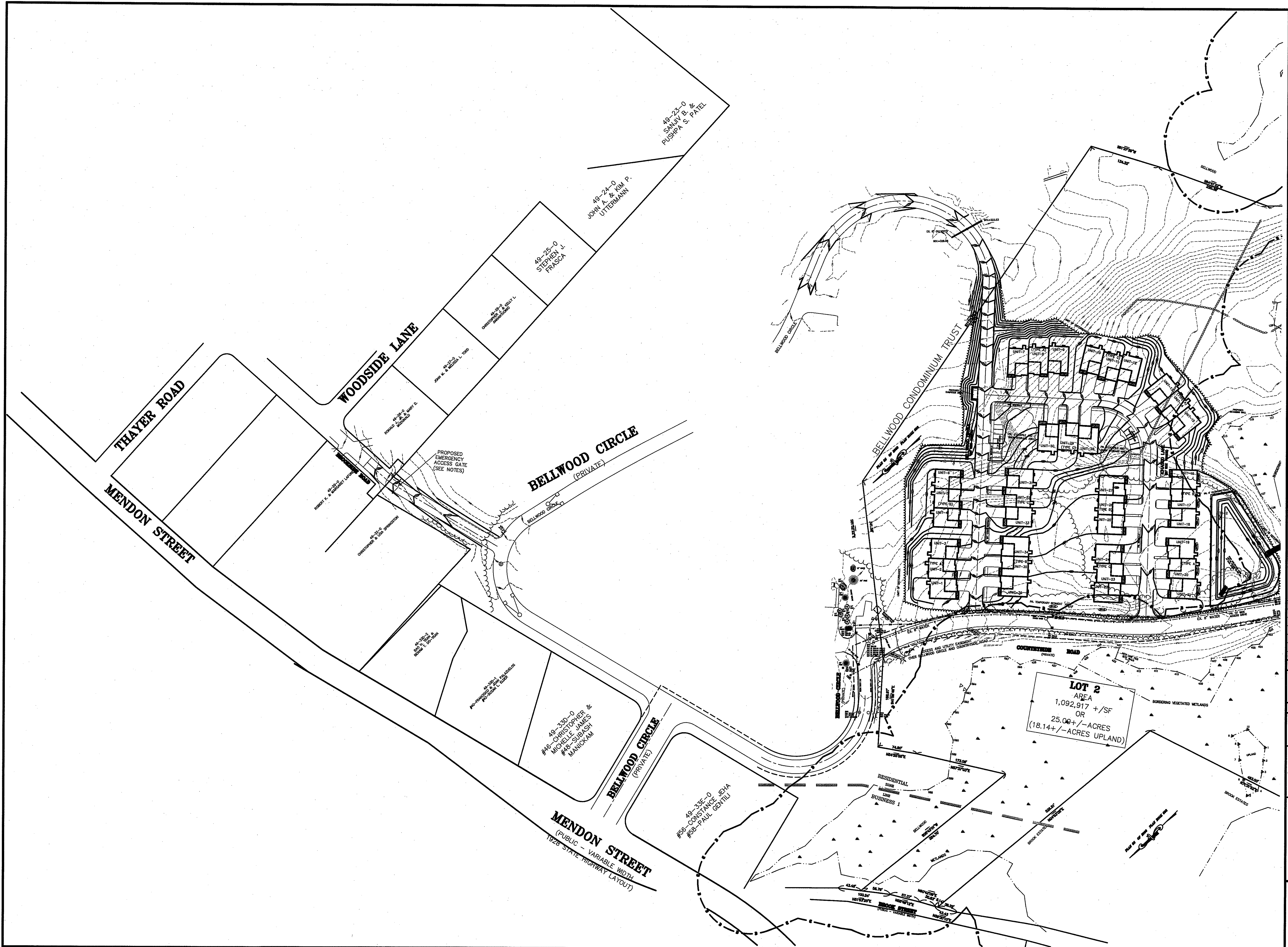
IN

BELLINGHAM, MA

SCALE: NO SCALE

DATE: SEPTEMBER 8, 2013

Guerriere & Halnon, Inc.
Engineering & Land Surveying
333 WEST STREET, MILFORD, MASS. 01757
(508) 473-6630 FAX: (508) 473-8243



DATE: 3-3-15
APPROVED DATE: PLANNING BOARD

Michael Dean
Dean & Halon
Surveyors

SIGNATURE DATE: 5/2/16
BEING A MAJORITY

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NOTES

1. EMERGENCY GATE TO BE "GUARDIAN TRAFFIC SYSTEMS 14020.230 SENTINEL 30" MANUAL DOUBLE LEAF SWING BARRIER GATE ARM OR EQUIVALENT APPROVED BY THE DPW.
2. PER FIRE DEPARTMENT REQUIREMENTS, THE GATE SHALL BE LOCKED USING A DOUBLE CHAIN AND DOUBLE PADLOCK SYSTEM. A KNOX PADLOCK SHALL BE ACQUIRED FROM THE FIRE DEPARTMENT TO ALLOW ACCESS FROM TOWN DEPARTMENTS. THE OWNER SHALL PROVIDE THE SECOND PADLOCK FOR USE BY ON-SITE MAINTENANCE.
3. THE GATE SHALL REMAIN UNOBSTRUCTED AT ALL TIMES INCLUDING SNOW.

DATE	GATE & NOTES DESCRIPTION	R/J/P
3/30/15	GATE & NOTES DESCRIPTION	R/J/P

OWNER
BELLWOOD II REALTY TRUST
40 MECHANIC STREET, SUITE 301
FOXBOROUGH, MA 02035

APPLICANT
ALAN NASH & MICHAEL McGLAUGHLIN
181 CONGRESS STREET
MILFORD, MA 01757

"PINE HOLLOW ESTATES"

SECONDARY ACCESS
GRADING
PLAN OF LAND
IN
BELLINGHAM, MA

SCALE: 80 FEET TO AN INCH
DATE: JANUARY 17, 2014

Guerriere & Halon, Inc.
Engineering & Land Surveying
333 WEST STREET, MILFORD, MASS. 01757
(508) 473-6530 FAX: (508) 473-8243



DATE: 3/30/15
APPROVED DATE: PLANNING BOARD

Alan Nash
Michael McLaughlin
Michael Dean

SIGNATURE DATE: 3/30/15
BEING A MAJORITY

CONSTRUCTION ON THIS LOT IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.

"WARNING"
EXISTING UTILITY LINES INDICATED OR NOTED ON THESE DRAWINGS ARE SHOWN AS OBTAINED FROM EXISTING INFORMATION AND ARE ONLY APPROXIMATE IN LOCATION. THE CONTRACTOR SHALL TAKE CAUTION IN THESE AREAS TO AVOID DAMAGE TO EXISTING UTILITY LINES AND/OR HARM TO PERSONNEL ENGAGED IN WORKING IN THESE AREAS.
CALL "DIG SAFE" 1-888-DIG-SAFE (1-888-344-7233).

EXISTING LINES OTHER THAN THOSE INDICATED ON THESE DRAWINGS MAY BE ON THE SITE. THE CONTRACTOR IS WARNED TO PROCEED WITH CAUTION WITH ALL WORK, ESPECIALLY EXCAVATION WORK, AND TO MAKE ALL POSSIBLE INVESTIGATIONS AS TO POSSIBLE UNMARKED UTILITY LINES.

NOTES

1. EMERGENCY GATE TO BE "GUARDIAN TRAFFIC SYSTEMS 14020.230 SENTINEL 30" MANUAL DOUBLE LEAF SWING BARRIER GATE ARM OR EQUIVALENT APPROVED BY THE DPW.
2. PER FIRE DEPARTMENT REQUIREMENTS, THE GATE SHALL BE LOCKED USING A DOUBLE CHAIN AND DOUBLE PADLOCK SYSTEM. A KNOX PADLOCK SHALL BE ACQUIRED FROM THE FIRE DEPARTMENT TO ALLOW ACCESS FROM TOWN DEPARTMENTS. THE OWNER SHALL PROVIDE THE SECOND PADLOCK FOR USE BY ON-SITE MAINTENANCE.
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3/30/15	GATE & NOTES	RJP
#	DATE	DESCRIPTION
		INIT

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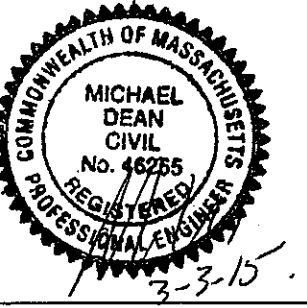
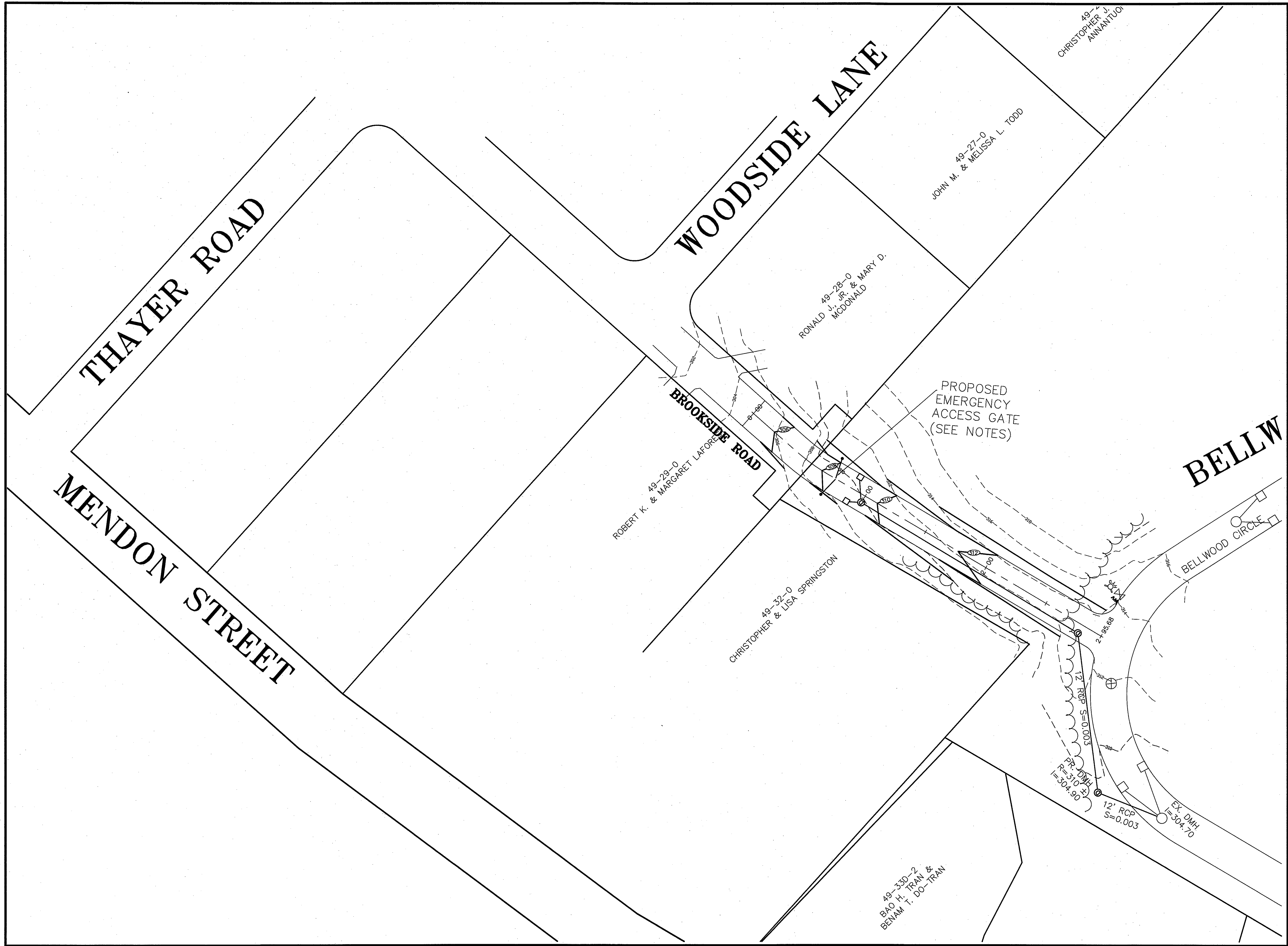
SECONDARY ACCESS
GRADING
PLAN OF LAND
IN
BELLINGHAM, MA

SCALE: 30 FEET TO AN INCH
DATE: JANUARY 17, 2014

Guerriere & Halon, Inc.
Engineering & Land Surveying
333 WEST STREET, MILFORD, MASS. 01757
(508) 473-6630 FAX: (508) 473-8243

INIT





DATE: _____
APPROVED DATE: _____
PLANNING BOARD

[Signature]
[Signature]
[Signature]

SIGNATURE DATE: 5/2/16
BEING A MAJORITY

CONSTRUCTION ON THIS LOT IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.

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