H:\1100-BELLINGHAM-CENTER STREET\DWG\PERMIT\BELLINGHAM SHORES MODIFICATION.DWG

TURNING POINT ENGINEERING
CIVIL SITE DESIGN
P.O. Box 757 • Sutton, MA 01590
P:(508) 381-1515 F:(508) 647-0189
www.tpecivildesign.com

PROJECT NAME

BELLINGHAM SHORES

MAJOR RESIDENTIAL DEVELOPMENT & DEFINITIVE SUBDIVISION

BELLINGHAM, MASSACHUSETTS

PREPARED FOR

Eastland

Eastland Partners, Inc.
997 Millbury Street
Worcester, MA 01607

REVISIONS

REV.	DATE	DESCRIPTION
1	4/28/22	PER BSC & DPW REVIEW COMMENTS

PROJECT NO.	TPE-1100
DESIGNED BY	TRB
CHECKED BY	SJO
DATE	FEBRUARY 15, 2022
CAD FILE	H:\1100-WORKING.dwg
PLAN NO.	L-295

GRAPHIC SCALE

40 0 20 40 80

(IN FEET)
1 inch = 40 feet

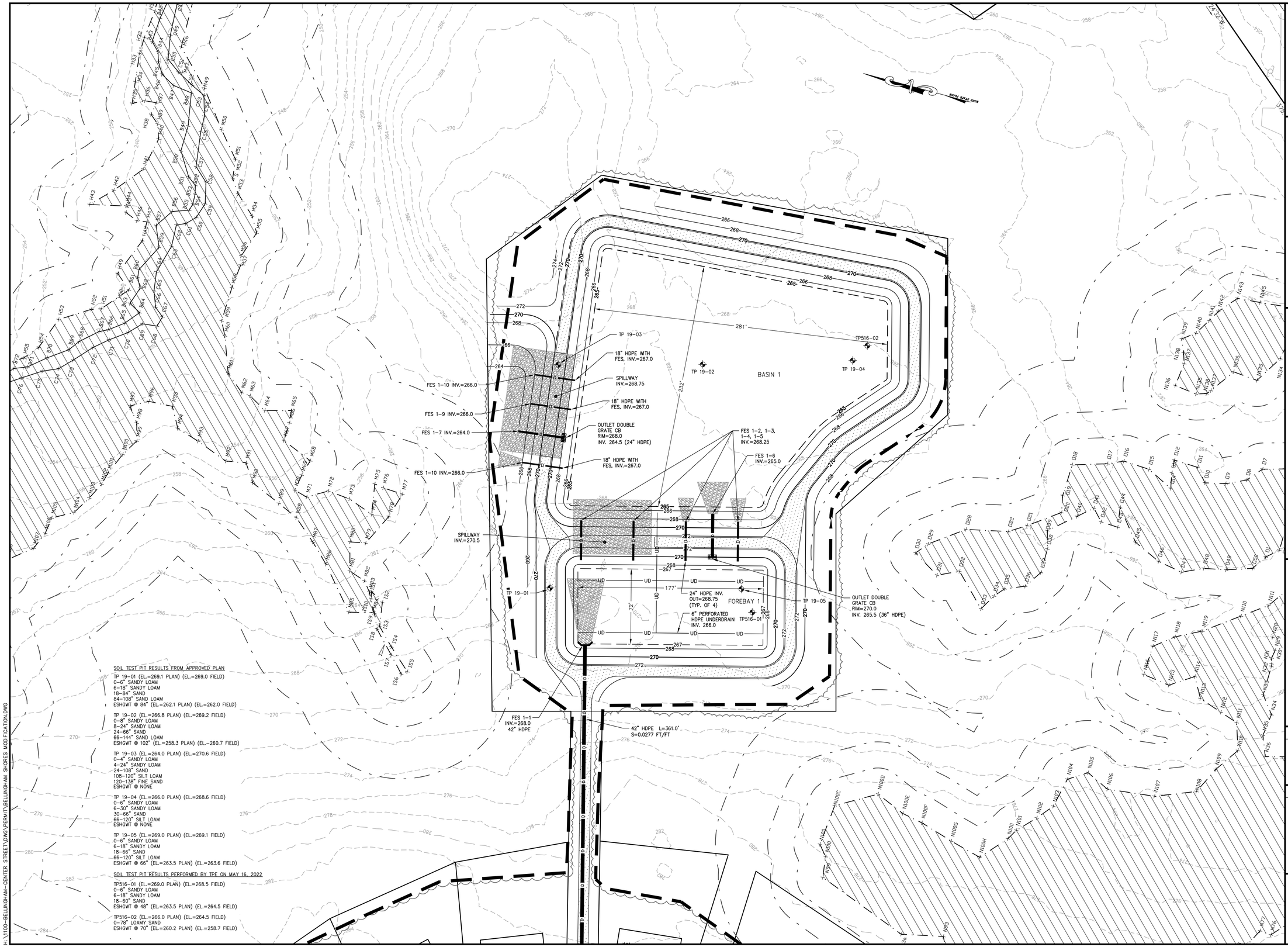
SHEET TITLE

GRADING, DRAINAGE AND EROSION CONTROL PLAN

COMMONWEALTH OF MASSACHUSETTS
RICHARD M. MAINVILLE
CIVIL
No. 28323
REGISTERED PROFESSIONAL ENGINEER
5/8/22

SHEET NO.

C-3.5



SOIL TEST PIT RESULTS FROM APPROVED PLAN

TP 19-01 (EL.=269.1 PLAN) (EL.=269.0 FIELD)
0-6" SANDY LOAM
6-18" SANDY LOAM
18-84" SAND
84-108" SAND LOAM
ESHGWT @ 84" (EL.=262.1 PLAN) (EL.=262.0 FIELD)

TP 19-02 (EL.=266.8 PLAN) (EL.=269.2 FIELD)
0-8" SANDY LOAM
8-24" SANDY LOAM
24-66" SAND
66-144" SAND LOAM
ESHGWT @ 102" (EL.=258.3 PLAN) (EL.-260.7 FIELD)

TP 19-03 (EL.=264.0 PLAN) (EL.=270.6 FIELD)
0-4" SANDY LOAM
4-24" SANDY LOAM
24-108" SAND
108-120" SILT LOAM
120-138" FINE SAND
ESHGWT @ NONE

TP 19-04 (EL.=266.0 PLAN) (EL.=268.6 FIELD)
0-8" SANDY LOAM
6-30" SANDY LOAM
30-66" SAND
66-120" SILT LOAM
ESHGWT @ NONE

TP 19-05 (EL.=269.0 PLAN) (EL.=269.1 FIELD)
0-6" SANDY LOAM
6-18" SANDY LOAM
18-66" SAND
66-120" SILT LOAM
ESHGWT @ 66" (EL.=263.5 PLAN) (EL.=263.6 FIELD)

SOIL TEST PIT RESULTS PERFORMED BY TPE ON MAY 16, 2022

TP516-01 (EL.=269.0 PLAN) (EL.=268.5 FIELD)
0-6" SANDY LOAM
6-18" SANDY LOAM
18-60" SAND
ESHGWT @ 48" (EL.=263.5 PLAN) (EL.=264.5 FIELD)

TP516-02 (EL.=266.0 PLAN) (EL.=264.5 FIELD)
0-78" LOAMY SAND
ESHGWT @ 70" (EL.=260.2 PLAN) (EL.=258.7 FIELD)

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BELLINGHAM, MASSACHUSETTS

PREPARED FOR

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987 Millbury Street
Worcester, MA 01607

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PLAN NO.	L-295

GRAPHIC SCALE

40 0 20 40 80

(IN FEET)
1 inch = 40 feet

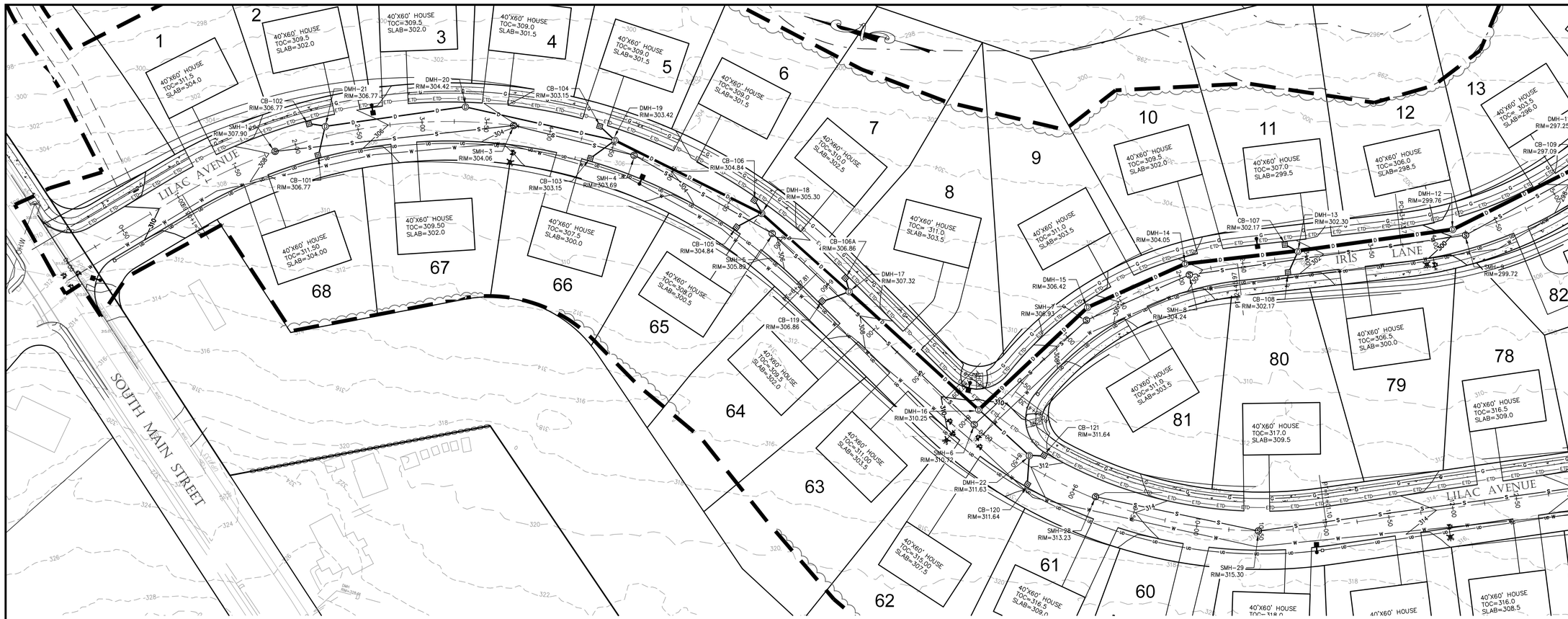
SHEET TITLE

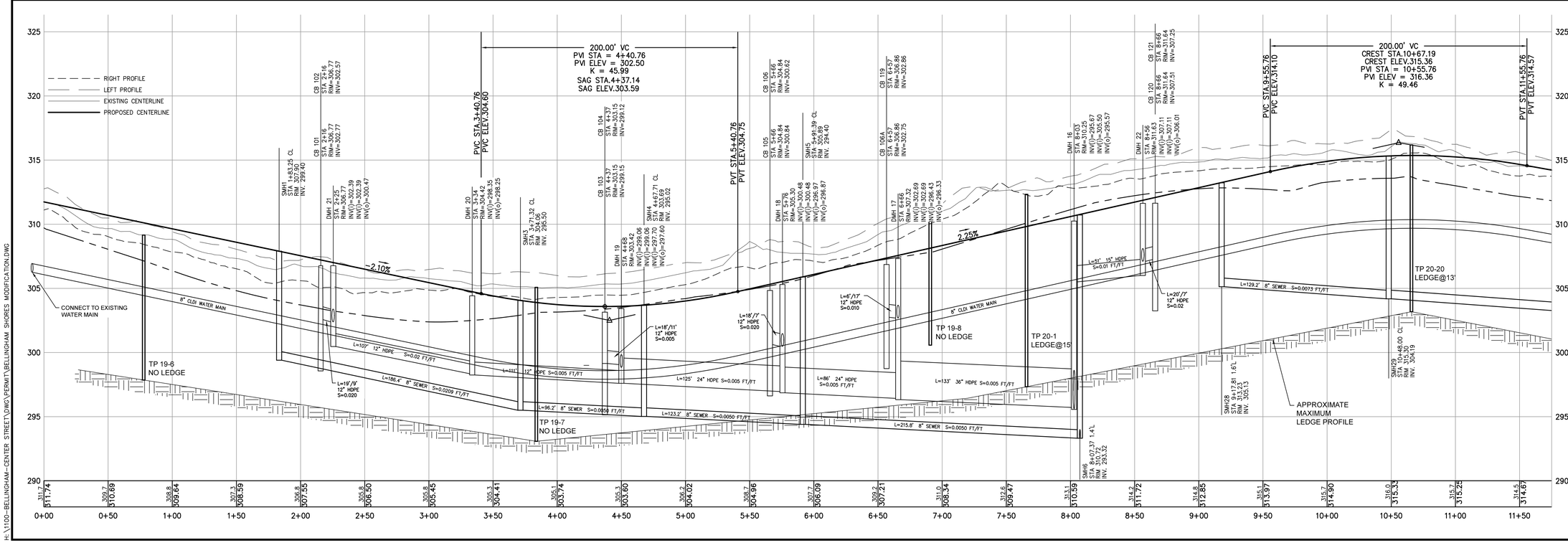
GRADING, DRAINAGE AND EROSION CONTROL PLAN

COMMONWEALTH OF MASSACHUSETTS
RICHARD M. MAINVILLE
CIVIL
No. 28323
REGISTERED PROFESSIONAL ENGINEER
5/18/22

SHEET NO.

C-3.6





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BELLINGHAM, MASSACHUSETTS

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997 Military Street
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PLAN NO.	L-295

GRAPHIC SCALE

40 0 20 40 80

(IN FEET)
Horizontal: 1 inch = 40 feet
Vertical: 1 inch = 4 feet

SHEET TITLE

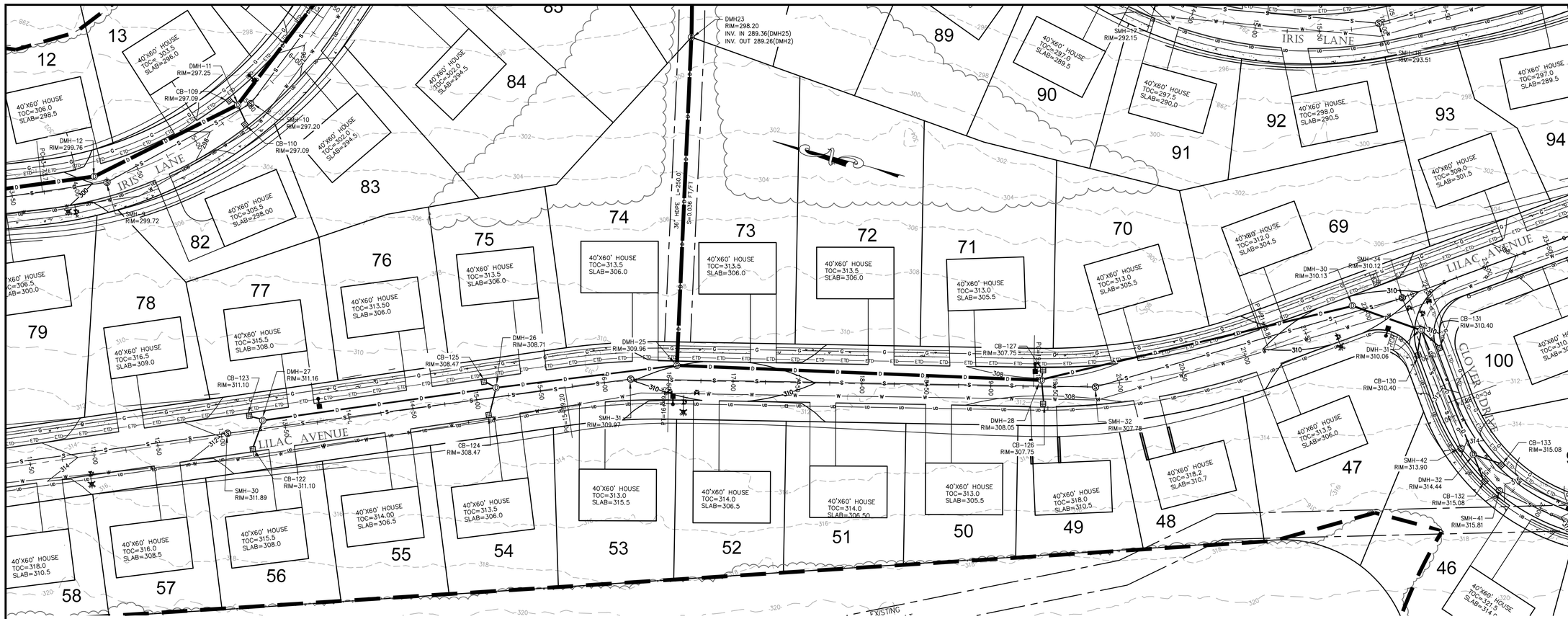
LILAC AVENUE
PLAN & PROFILE
STA. 0+00 TO 11+75
SHEET 1 OF 9

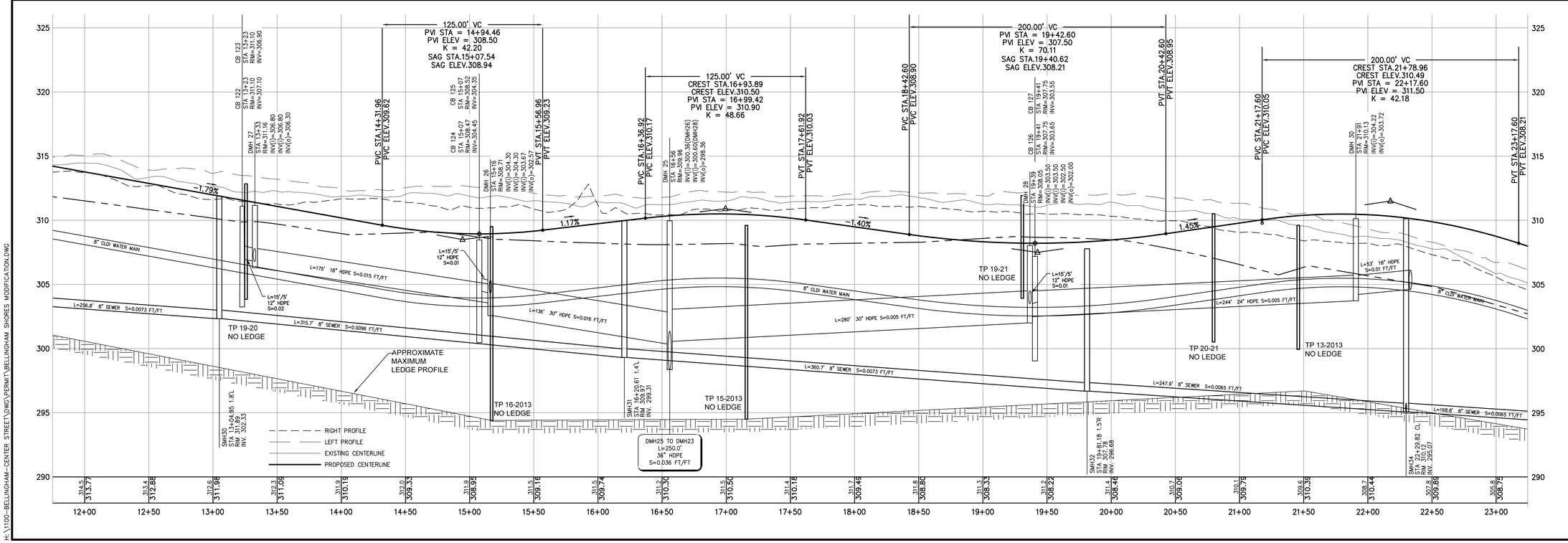
COMMONWEALTH OF MASSACHUSETTS
RICHARD M. MAINVILLE
CIVIL
No. 28323
REGISTERED PROFESSIONAL ENGINEER
51822

SHEET NO.

C-4.1

H:\1100-BELLINGHAM-CENTER STREET\DWG\PERMIT\BELLINGHAM SHORES MODIFICATION.DWG





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BELLINGHAM, MASSACHUSETTS

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CHECKED BY	SJO
DATE	FEBRUARY 15, 2022
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PLAN NO.	L-295

GRAPHIC SCALE

40 0 20 40 80

(IN FEET)
Horizontal: 1 inch = 40 feet
Vertical: 1 inch = 4 feet

SHEET TITLE

LILAC AVENUE
PLAN & PROFILE
STA. 11+75 TO 23+25

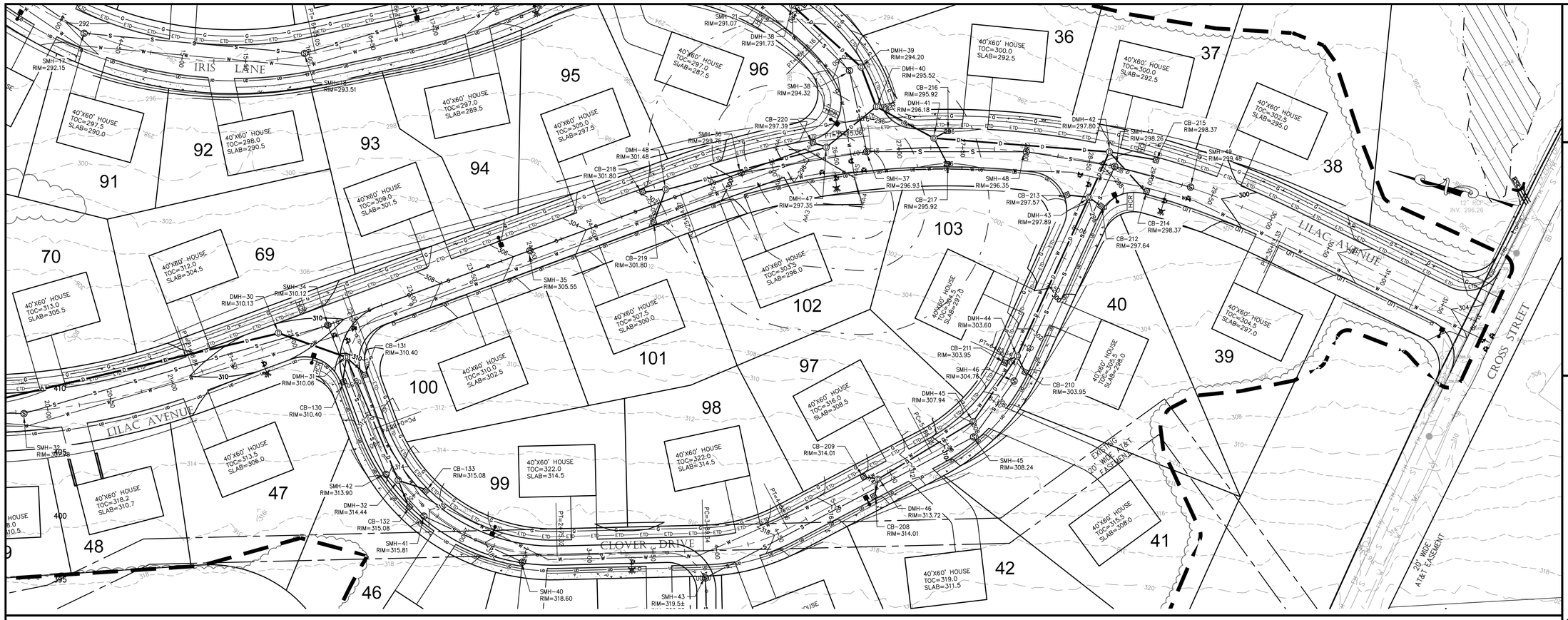
SHEET 2 OF 9

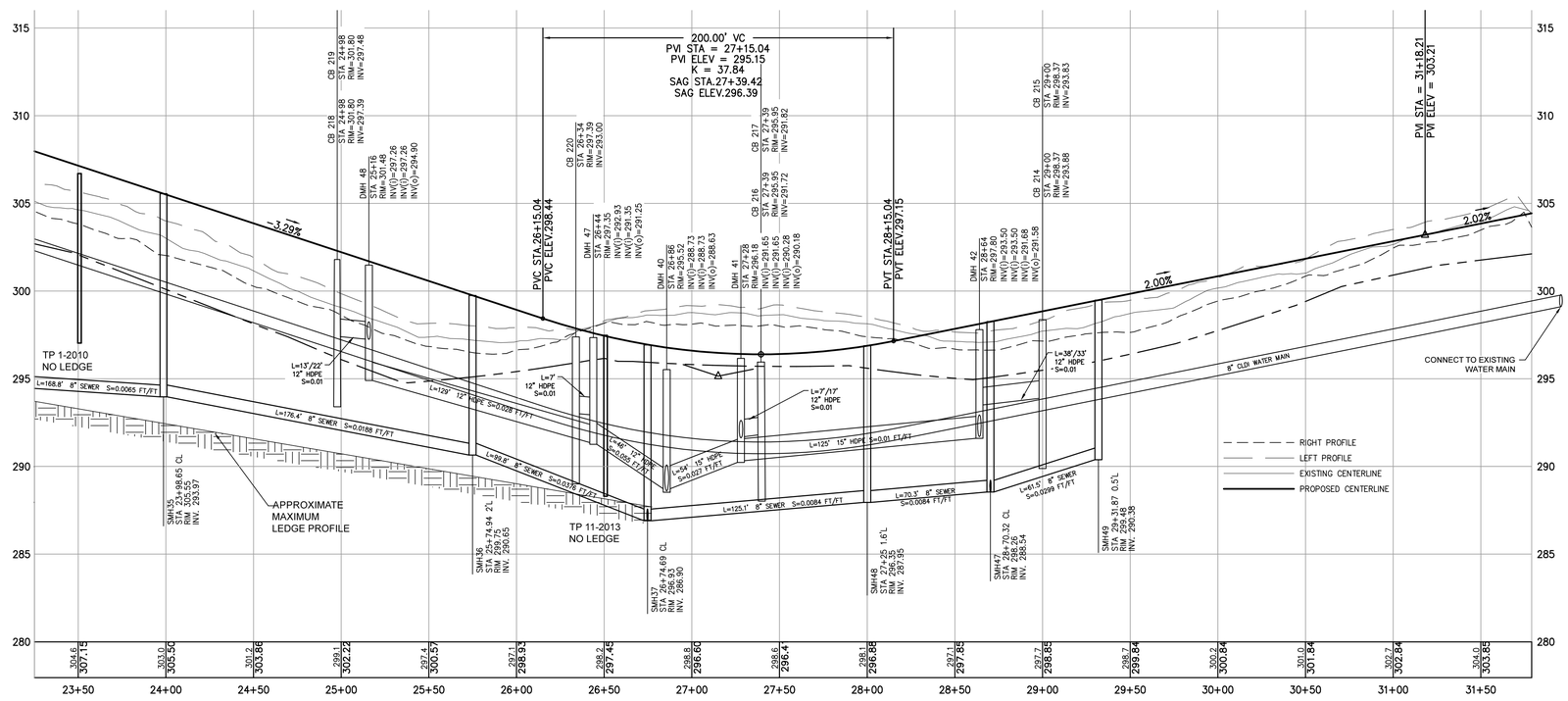
COMMONWEALTH OF MASSACHUSETTS
RICHARD M. MAINVILLE
CIVIL
No. 28323
REGISTERED PROFESSIONAL ENGINEER
5/18/22

SHEET NO.

C-4.2

H:\1100-BELLINGHAM-CENTER STREET\DWG\PERMIT\BELLINGHAM SHORES MODIFICATION.DWG





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PROJECT NAME

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BELLINGHAM, MASSACHUSETTS

PREPARED FOR

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997 Millbury Street
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REVISIONS

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CHECKED BY	SJO
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CAD FILE	H:\1100-WORKING.dwg
PLAN NO.	L-295

GRAPHIC SCALE

40 0 20 40 80

(IN FEET)
Horizontal: 1 inch = 40 feet
Vertical: 1 inch = 4 feet

SHEET TITLE

LILAC AVENUE
PLAN & PROFILE
STA. 23+25 TO 31+79

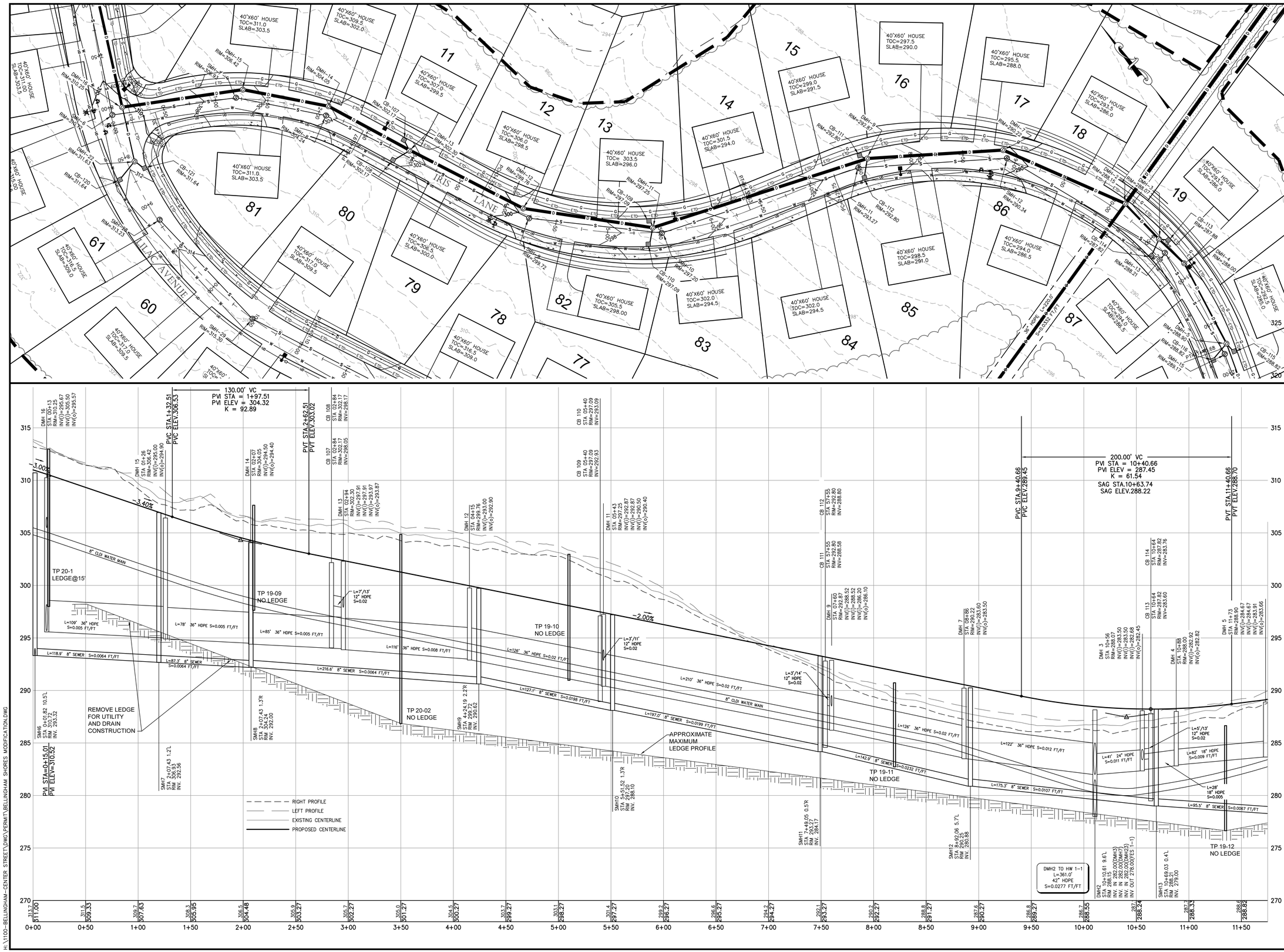
SHEET 3 OF 9

COMMONWEALTH OF MASSACHUSETTS
RICHARD M. MAINVILLE
CIVIL
No. 26323
REGISTERED PROFESSIONAL ENGINEER
51822

SHEET NO.

C-4.3

H:\1100-BELLINGHAM-CENTER STREET\DWG\PERMIT\BELLINGHAM SHORES MODIFICATION.DWG



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PROJECT NAME

BELLINGHAM SHORES

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& DEFINITIVE SUBDIVISION
BELLINGHAM, MASSACHUSETTS

PREPARED FOR

Eastland

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997 Millbury Street
Worcester, MA 01607

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DATE	FEBRUARY 15, 2022
CAD FILE	H:\1100-WORKING.dwg
PLAN NO.	L-295

GRAPHIC SCALE

40 0 20 40 80

(IN FEET)
Horizontal: 1 inch = 40 feet
Vertical: 1 inch = 4 feet

SHEET TITLE

IRIS LANE
PLAN & PROFILE
STA. 0+00 TO 11+75

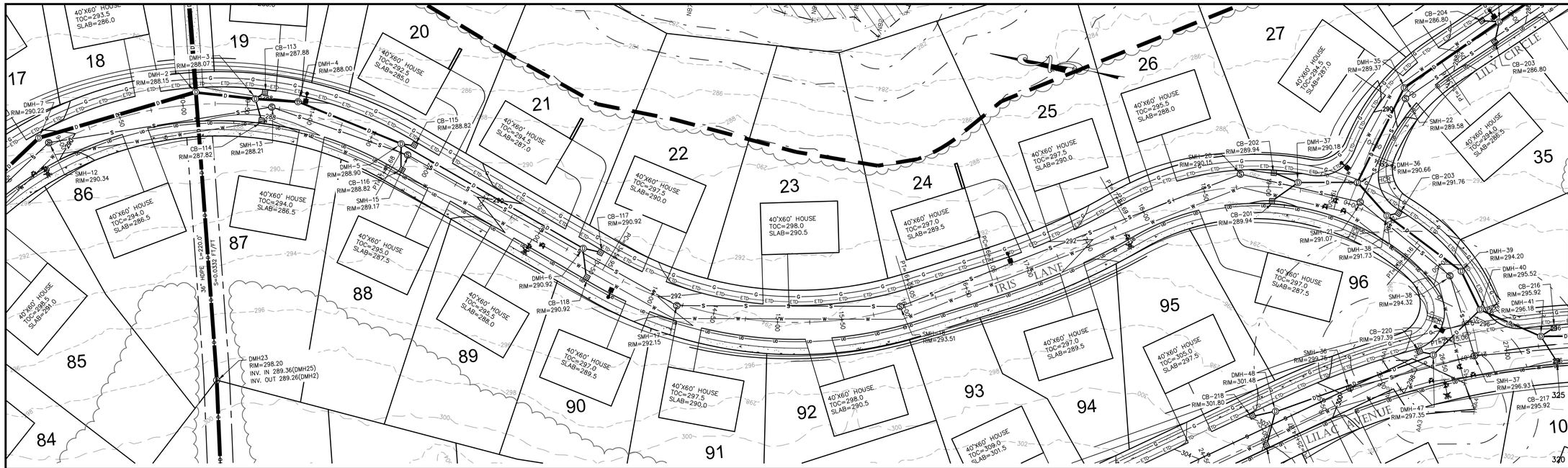
SHEET 4 OF 9

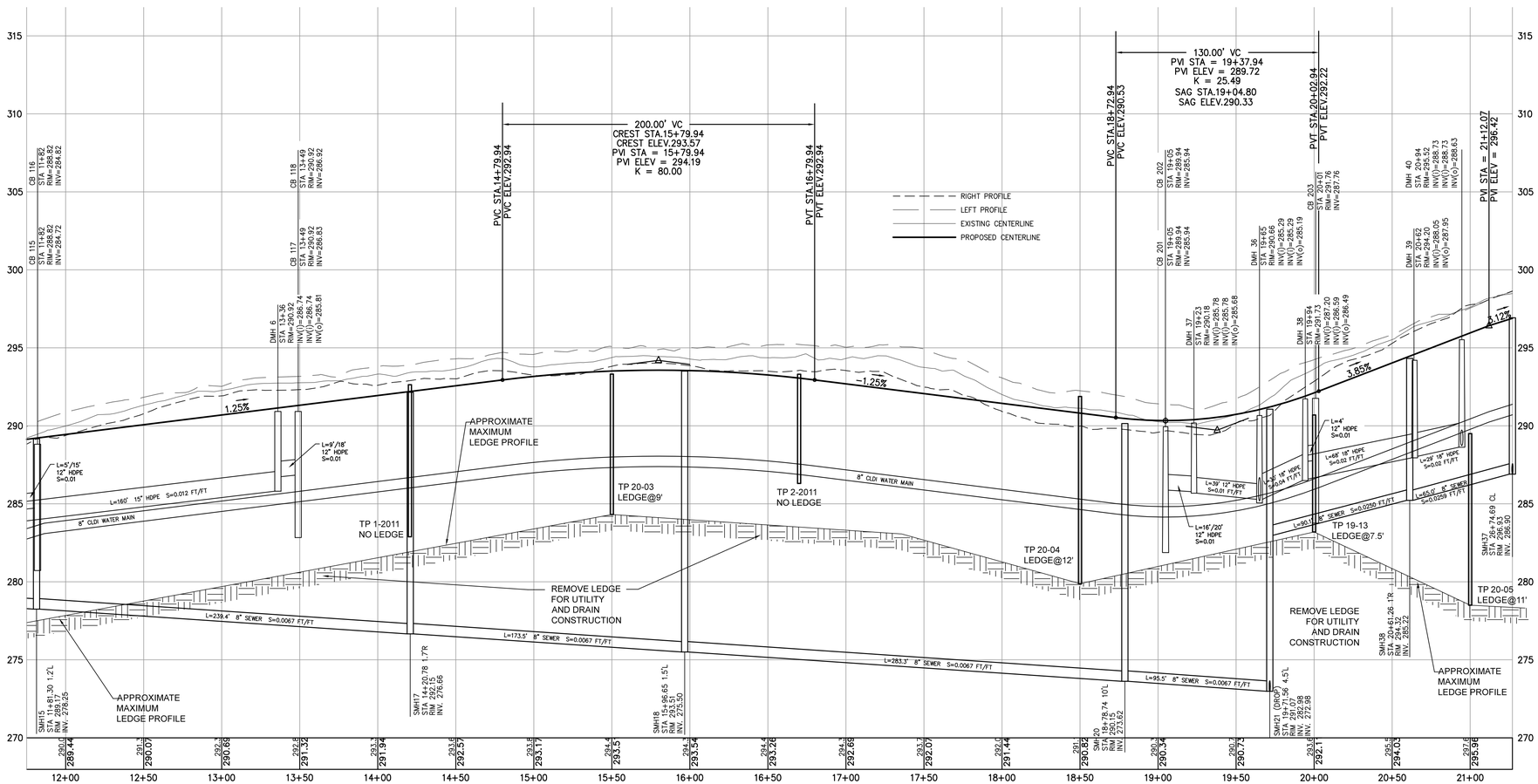
COMMONWEALTH OF MASSACHUSETTS
RICHARD M. MANNVILLE
CIVIL
No. 28323
REGISTERED PROFESSIONAL ENGINEER
51822

SHEET NO.

C-4.4

H:\1100-BELLINGHAM-CENTER STREET\DWG\PERMIT\BELLINGHAM SHORES MODIFICATION.DWG





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P.O. Box 757 • Sutton, MA 01590
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PROJECT NAME
BELLINGHAM SHORES
MAJOR RESIDENTIAL DEVELOPMENT
& DEFINITIVE SUBDIVISION
BELLINGHAM, MASSACHUSETTS

PREPARED FOR
Eastland
Eastland Partners, Inc.
997 Millbury Street
Worcester, MA 01607

REVISIONS

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PROJECT NO.	TPE-1100
DESIGNED BY	TRB
CHECKED BY	SJO
DATE	FEBRUARY 15, 2022
CAD FILE	H:\1100-WORKING.dwg
PLAN NO.	L-295

GRAPHIC SCALE
40 0 20 40 80
(IN FEET)
Horizontal: 1 inch = 40 feet
Vertical: 1 inch = 4 feet

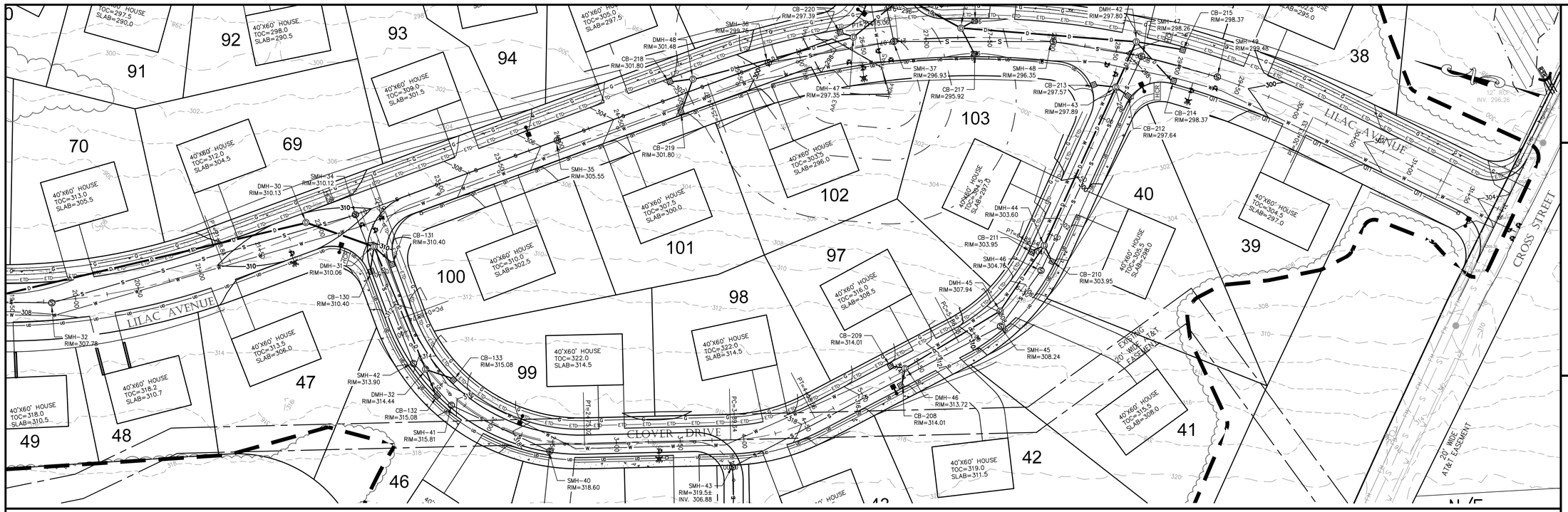
SHEET TITLE
IRIS LANE
PLAN & PROFILE
STA. 11+75 TO 21+27

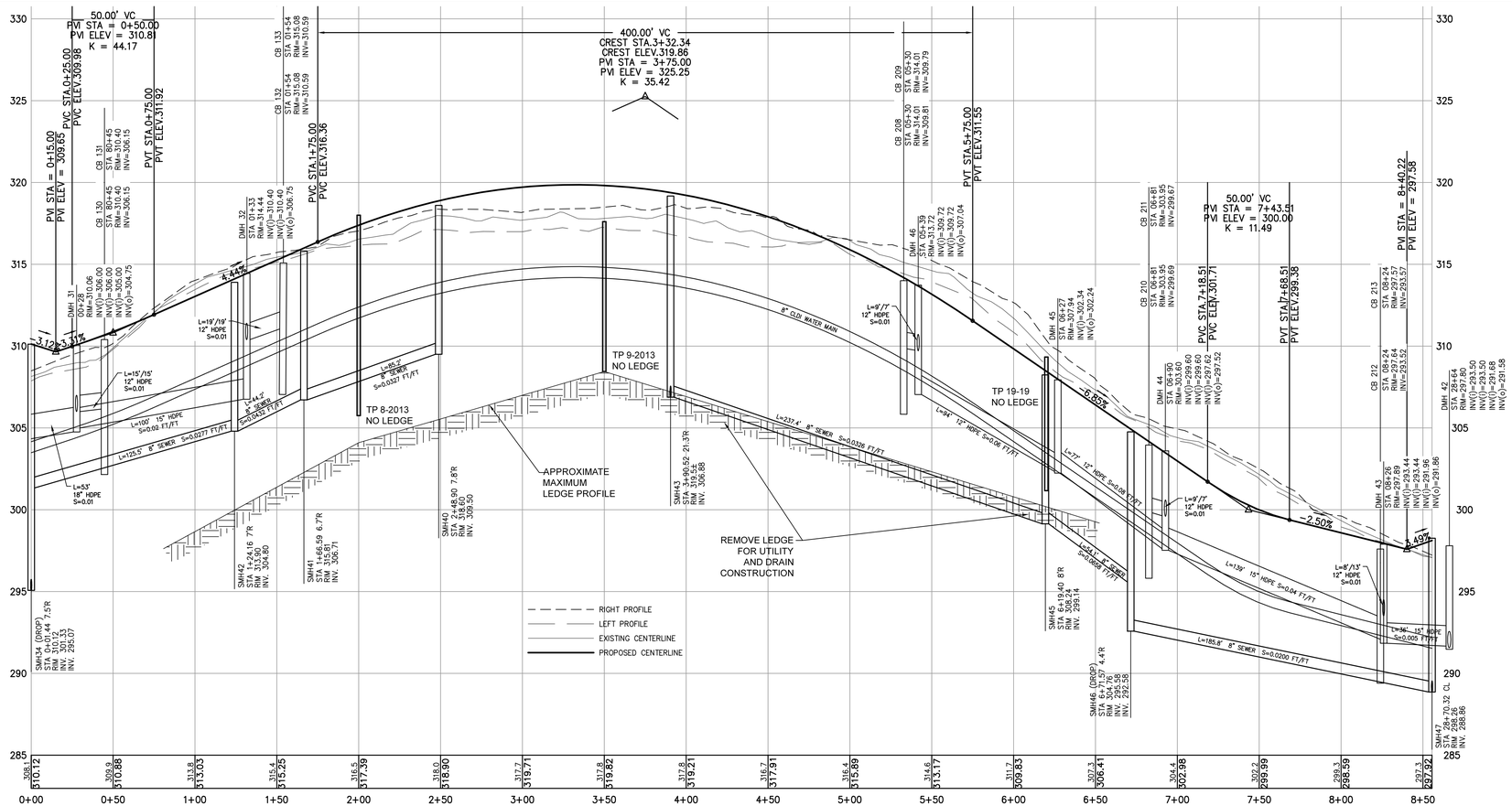
SHEET 5 OF 9

COMMONWEALTH OF MASSACHUSETTS
RICHARD M. MANNVILLE
CIVIL
No. 28323
REGISTERED PROFESSIONAL ENGINEER
4/28/22

SHEET NO.
C-4.5

H:\1100-BELLINGHAM-CENTER STREET\DWG\PERMIT\BELLINGHAM SHORES MODIFICATION.DWG





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BELLINGHAM, MASSACHUSETTS

PREPARED FOR

Eastland
Eastland Partners, Inc.
997 Millbury Street
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DATE	FEBRUARY 15, 2022
CAD FILE	H:\1100-WORKING.dwg
PLAN NO.	L-295

GRAPHIC SCALE

40 0 20 40 80

(IN FEET)
Horizontal: 1 inch = 40 feet
Vertical: 1 inch = 4 feet

SHEET TITLE

CLOVER DRIVE
PLAN & PROFILE
STA. 0+00 TO 8+55

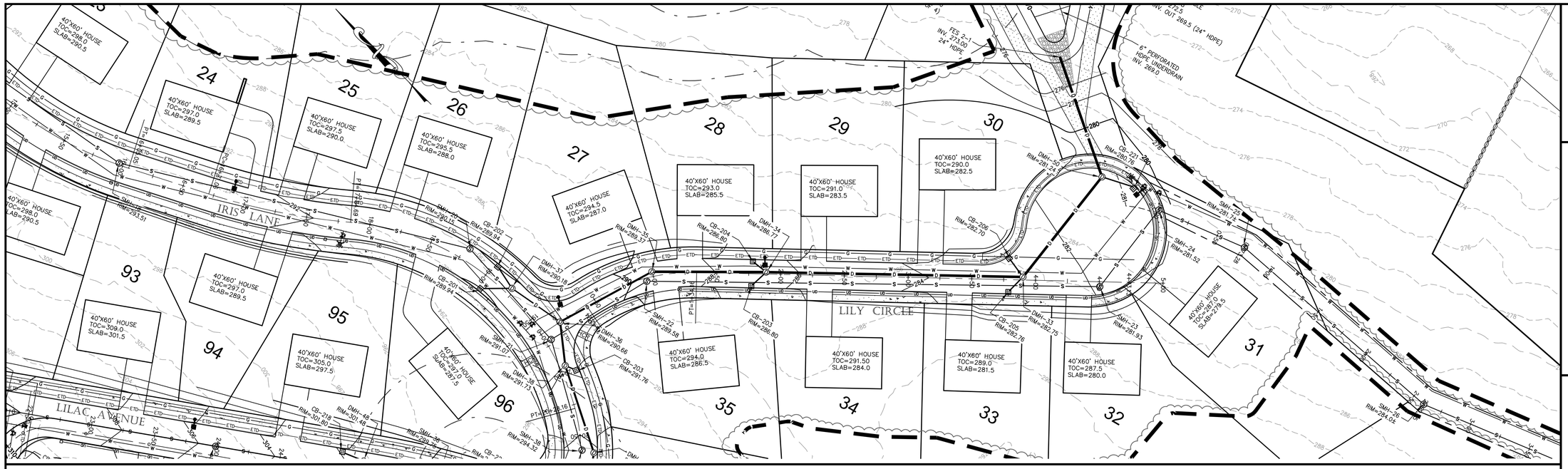
SHEET 6 OF 9

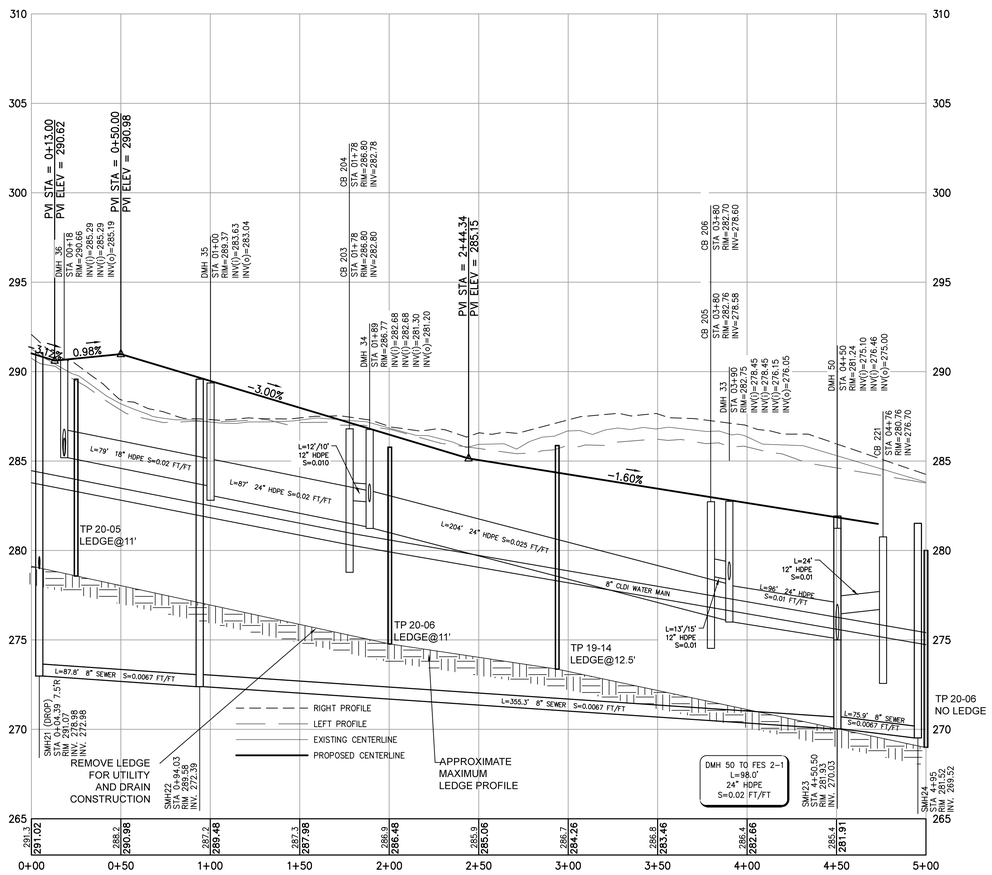
COMMONWEALTH OF MASSACHUSETTS
RICHARD M. MANNVILLE
CIVIL
No. 28323
Registered Professional Engineer
51822

SHEET NO.

C-4.6

H:\1100-BELLINGHAM-CENTER STREET\DWG\PERMIT\BELLINGHAM SHORES MODIFICATION.DWG





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MAJOR RESIDENTIAL DEVELOPMENT & DEFINITIVE SUBDIVISION

BELLINGHAM, MASSACHUSETTS

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CAD FILE	H:\1100-WORKING.dwg
PLAN NO.	L-295

GRAPHIC SCALE

40 0 20 40 80

(IN FEET)
Horizontal: 1 inch = 40 feet
Vertical: 1 inch = 4 feet

SHEET TITLE

LILY CIRCLE
PLAN & PROFILE
STA. 0+00 TO 4+41

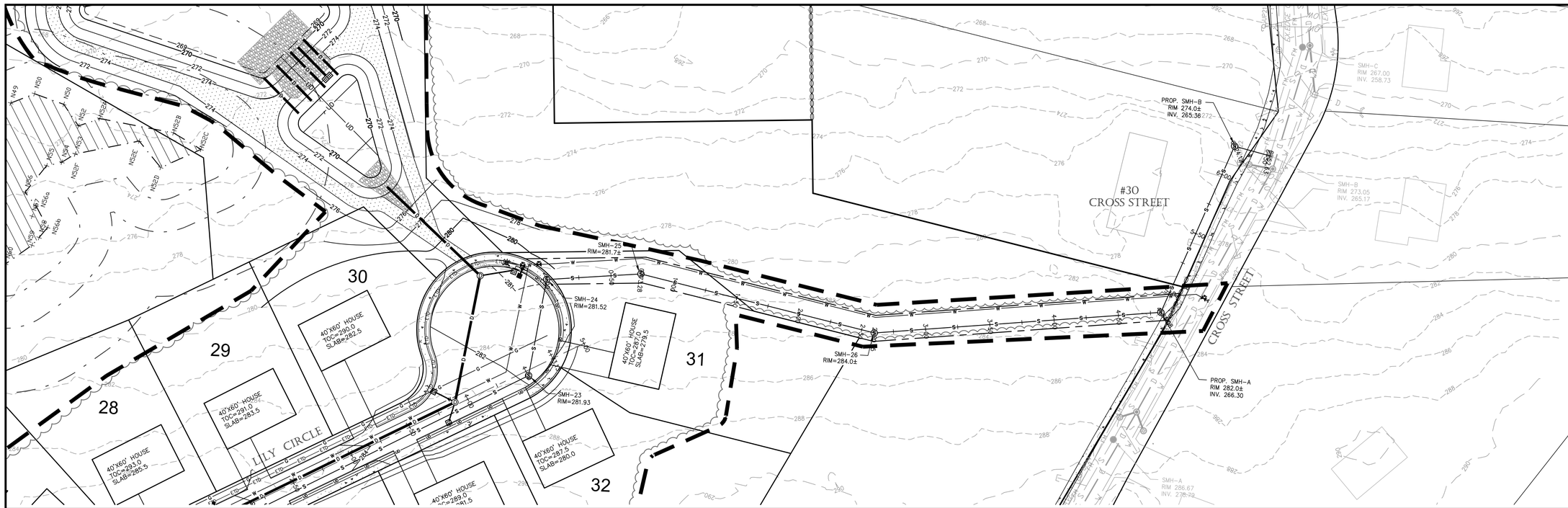
SHEET 7 OF 9

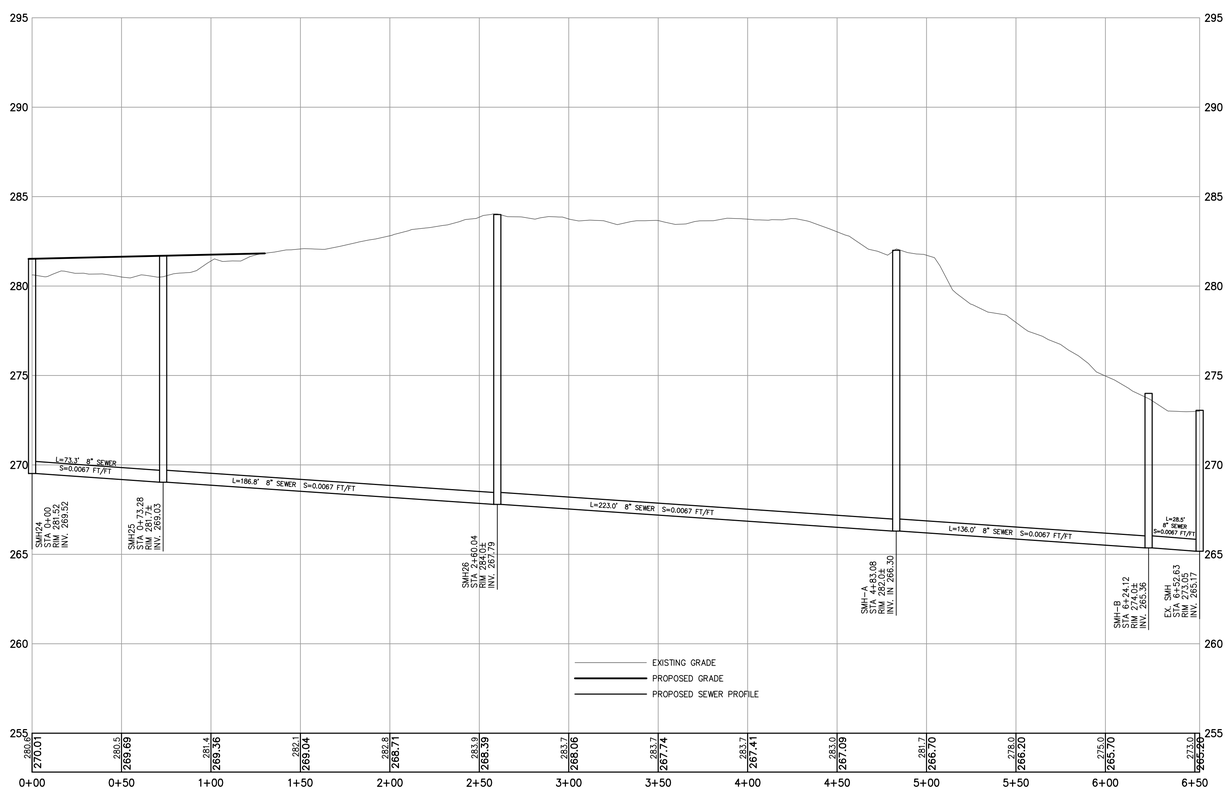
COMMONWEALTH OF MASSACHUSETTS
RICHARD M. MAINVILLE
CIVIL
No. 28323
REGISTERED PROFESSIONAL ENGINEER
51822

SHEET NO.

C-4.7

H:\1100-BELLINGHAM-CENTER STREET\DWG\PERMIT\BELLINGHAM SHORES MODIFICATION.DWG





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GRAPHIC SCALE

40 0 20 40 80

(IN FEET)
Horizontal: 1 inch = 40 feet
Vertical: 1 inch = 4 feet

SHEET TITLE

CROSS-COUNTRY SEWER
PLAN & PROFILE

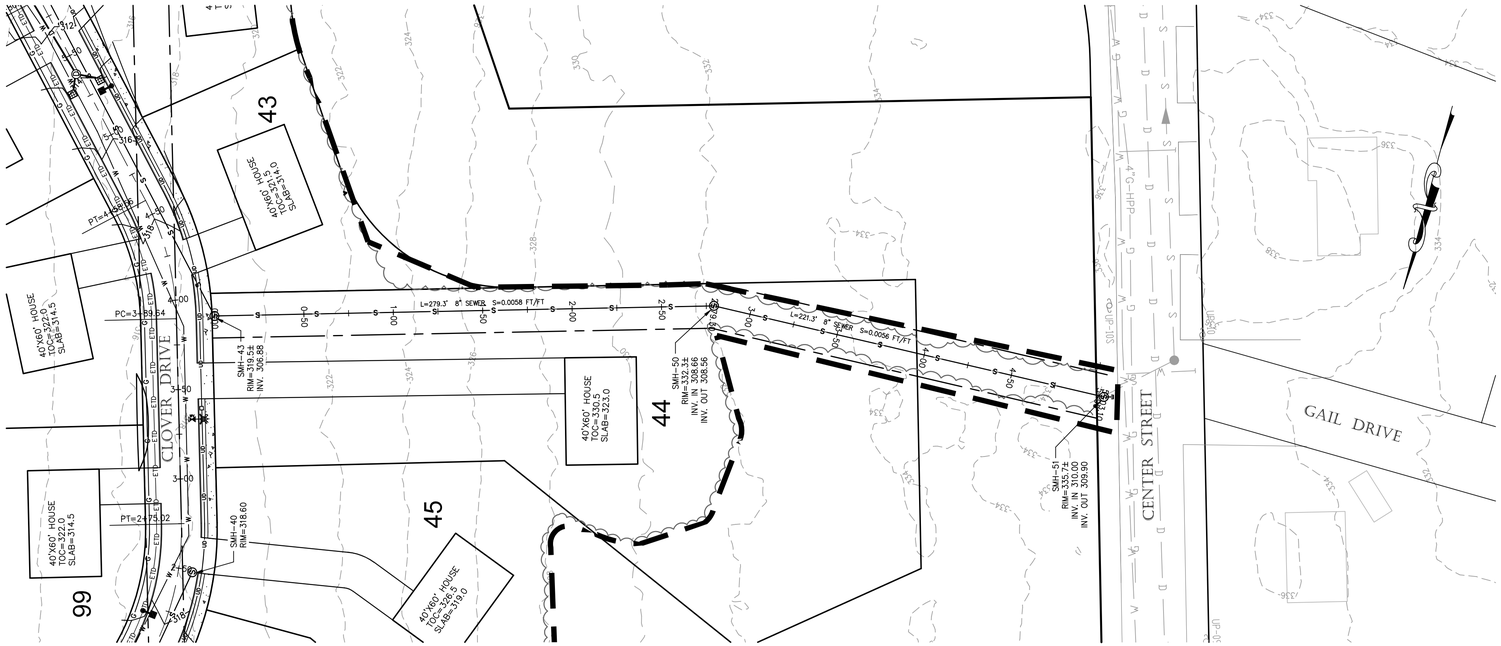
SHEET 8 OF 9

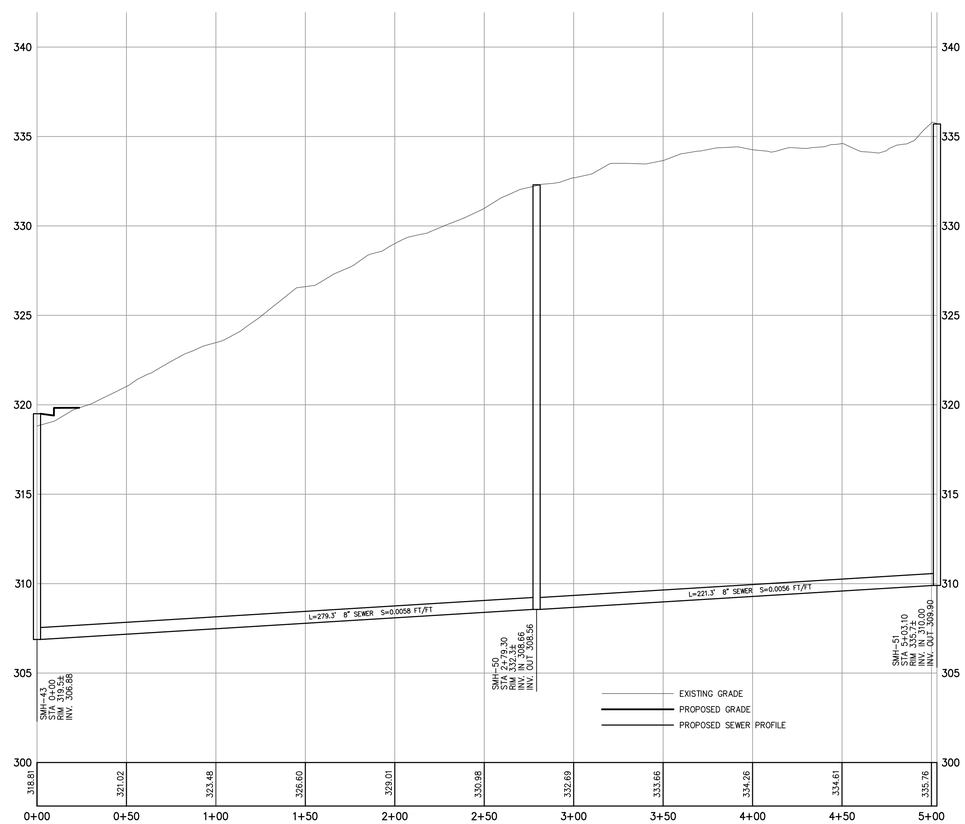
COMMONWEALTH OF MASSACHUSETTS
RICHARD M. MANNVILLE
CIVIL
No. 28323
REGISTERED PROFESSIONAL ENGINEER
5/18/22

SHEET NO.

C-4.8

H:\1100-BELLINGHAM-CENTER STREET\DWG\PERMIT\BELLINGHAM SHORES MODIFICATION.DWG





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GRAPHIC SCALE

40 0 20 40 80

(IN FEET)
Horizontal: 1 inch = 40 feet
Vertical: 1 inch = 4 feet

SHEET TITLE

CROSS-COUNTRY SEWER PLAN & PROFILE

SHEET 9 OF 9

COMMONWEALTH OF MASSACHUSETTS
RICHARD M. MANNVILLE
CIVIL
No. 28323
REGISTERED PROFESSIONAL ENGINEER
5/18/22

SHEET NO.

C-4.9

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