

DEVELOPMENT PLAN
AND
SPECIAL PERMIT
NORTH STREET &
BLACKSTONE STREET
BELLINGHAM
MASSACHUSETTS

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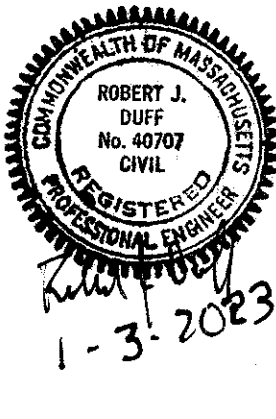
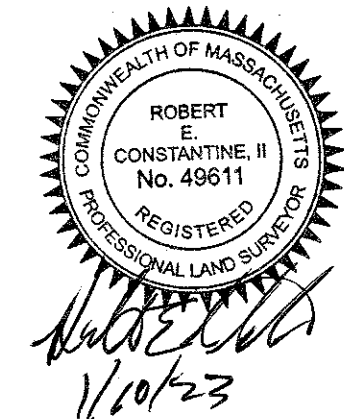
* ARCHITECTURAL PLANS (BY OTHERS)



VICINITY MAP
1"=1000'

PURPOSE OF PLAN

1. DEVELOPMENT PLAN APPROVAL PURSUANT TO SECTION 240-16 OF THE TOWN OF BELLINGHAM, MA ZONING RULES AND REGULATIONS.



F4457

APPROVED DATE:

BELLINGHAM PLANNING BOARD

BEING A MAJORITY

LEGAL NOTES

UTILITIES ARE PLOTTED AS A COMPILATION OF RECORD DOCUMENTS, MARKINGS AND OTHER OBSERVED EVIDENCE TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES AND SHOULD BE CONSIDERED APPROXIMATE. DURING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED. ADDITIONAL UTILITIES, NOT EVIDENCED BY RECORD DOCUMENTS OR OBSERVED PHYSICAL EVIDENCE, MAY EXIST. CONTRACTORS (IN ACCORDANCE WITH MASS.G.L. CHAPTER 82 SECTION 40 AS AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING AND CALL DIGSAFE AT 1(888)DIG-SAFE[7233].

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OWNER

RAVEN HOMES, INC.
22 BUCKHILL ROAD
NORTHBOROUGH, MA 01532

DEED BOOK 38607 PAGE 308
PLAN BOOK 697, PLAN 40
MAP 59 LOT 60A

APPLICANT

RAVEN HOMES, INC.
22 BUCKHILL ROAD
NORTHBOROUGH, MA 01532

DEVELOPMENT PLAN
AND SPECIAL PERMIT
NORTH STREET &
BLACKSTONE STREET
BELLINGHAM
MASSACHUSETTS

COVER SHEET

DECEMBER 30, 2022

DATE REVISION DESCRIPTION

Guerriere & Halon, Inc.
ENGINEERING & LAND SURVEYING
55 WEST CENTRAL ST. PH. (508) 528-3221
FRANKLIN, MA 02038 FX. (508) 528-7921
www.gandhengineering.com

SHEET 1 OF 15 JOB NO. F4457

THE LIMITS OF ALL CLEARING, GRADING AND DISTURBANCE SHALL BE KEPT TO A MINIMUM WITHIN THE PROPOSED AREA OF CONSTRUCTION. ALL LIMITS OUTSIDE THE LIMITS OF DISTURBANCE SHALL REMAIN TOTALLY UNDISTURBED.

INSPECT ALL SEDIMENT AND EROSION CONTROL MEASURES AT LEAST ONCE PER WEEK AND WITHIN 24 HOURS AFTER EVERY RAINFALL EVENT.

MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES OR REPLACE AS REQUIRED TO ASSURE PROPER FUNCTION.

CONTRACTOR SHALL IMMEDIATELY REPAIR ANY AND ALL EROSION AND SEDIMENT CONTROLS FOUND TO BE FAULTY.

ANY AND ALL DEBRIS AND LITTER WHICH ACCUMULATES IN THE BASINS SHALL BE REMOVED WEEKLY.

THE CONTRACTOR SHALL IMPLEMENT ALL REASONABLE EROSION AND SEDIMENT CONTROLS PRIOR TO THE ACTUAL COMMENCEMENT OF CONSTRUCTION ACTIVITIES INCLUDING THE CLEARING AND/OR GRUBBING OF ANY PORTION OF THE PROPERTY. THESE MEASURES SHALL BE MAINTAINED IN EFFECT THROUGHOUT THE ENTIRE CONSTRUCTION PHASE, OR UNTIL THE SITE HAS BECOME STABILIZED WITH AN ADEQUATE VEGETATIVE COVER.

SEDIMENT BUILT UP BEHIND FILTERMATT SHALL BE MONITORED AND BE REMOVED WHENEVER IT HAS ACCUMULATED TO FOUR INCHES IN DEPTH.

CATCH BASINS SHALL BE PROTECTED WITH SILT FILTERS (SILT SACKS). INSPECT SEDIMENT FILTERS AT LEAST ONCE PER WEEK AND WITHIN 24 HOURS AFTER RAINFALL THAT PRODUCES RUNOFF.

CLEAR OR REPLACE FILTERS WITHIN 24 HOURS OF INSPECTION WHEN SEDIMENT REACHES ONE HALF OF THE FILTER SACK DEPTH. CATCH BASINS SHALL BE PROTECTED BY SEDIMENT FILTERS THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL EROSION CONTROL DEVICES ARE THOROUGHLY STABILIZED. RUNUPS SHALL BE CLEANED WHENEVER SEDIMENT HAS ACCUMULATED TO A DEPTH OF 24 INCHES AND IMMEDIATELY FOLLOWING INSTALLATION OF PERMANENT PAVEMENT.

0. THE CONTRACTOR SHALL MAINTAIN AN ADEQUATE STOCKPILE OF EROSION CONTROL MATERIALS ON-SITE AT ALL TIMES FOR EMERGENCY OR ROUTINE REPLACEMENT AND SHALL INCLUDE MATERIALS TO REPAIR OR REPLACE SILT FENCE, MULCH SOCK, STONE FILTER SOCKS OR ANY OTHER DEVICES PLANNED FOR USE DURING CONSTRUCTION.

1. THE CONTRACTOR IS TO INSPECT ALL CONTROLS NO LESS THAN WEEKLY, AND IN ANTICIPATION OF RAINFALL EVENTS EXPECTED TO EXCEED 1/2 INCH IN DEPTH. ALL DEFICIENCIES NOTED DURING SAID INSPECTION SHALL BE REPAIRED IMMEDIATELY AND IN NO CASE SHALL A DEFICIENCY BE ALLOWED TO GO UNREPAIRED. RAINFALL EVENT. THE EROSION CONTROL DEVICES SHALL BE MAINTAINED, REINFORCED, OR REPLACED IF NECESSARY, ALL ACCUMULATED SEDIMENTS AND OTHER MATERIALS COLLECTED BY THE SEDIMENTATION CONTROL SYSTEMS SHALL BE REMOVED AS NECESSARY TO INSURE PROPER FUNCTION OF SYSTEMS AND DISPOSED OF IN A MANNER THAT IS CONSISTENT WITH THE INTENT OF THIS PLAN, IN AN UPLAND AREA.

2. TEMPORARY EARTH OR STONE RIGGS, DRAINAGE SWALES AND/OR TEMPORARY SLOPE DRAINS SHALL BE INSTALLED WHERE OFF-SITE OR ON-SITE RUNOFF IS SUFFICIENT ENOUGH SUCH THAT IT WILL BE NECESSARY TO DIVERT THE FLOW AROUND THE SITE OR PREVENT EROSION WITHIN THE LIMITS OF WORK.

3. STORM DRAIN INLET PROTECTION SHALL BE USED FOR ALL EXISTING AND PROPOSED CATCH BASINS IN THE PROJECT AREA PRIOR TO COMPLETION OF THE PROJECT, ALL CATCH BASINS WITHIN THE PROJECT AREA SHALL BE CLEANED.

4. ALL DISTURBED EARTH SLOPES AREA TO BE STABILIZED WITH PERMANENT VEGETATIVE COVER, TO BE ESTABLISHED AS SOON AS POSSIBLE. DISTURBED AREAS THAT ARE NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL RECEIVE A PERMANENT OR TEMPORARY VEGETATIVE COVER AS SOON AS FINAL CONTOURS ARE ESTABLISHED. TEMPORARY VEGETATIVE COVER IS TO BE ESTABLISHED ON ALL DISTURBED AREAS WHERE CONSTRUCTION ACTIVITIES WILL NOT REQUIRE ADDITIONAL DISTURBANCE. PERIOD OF 30 DAYS OR MORE, IF THE SEASON PERMITS THE ESTABLISHMENT OF VEGETATIVE COVER, DISTURBED AREAS SHALL BE MULCHED AND THEN SEEDED AS SOON AS WEATHER CONDITIONS ALLOW.

5. THERE SHALL BE NO DIRECT DISCHARGE OF Dewatering OPERATIONS INTO ANY DRAINAGE SYSTEM UNLESS THIS DISCHARGE IS CLEAN AND FREE OF SETTLEABLE SOLIDS. ANY Dewatering DISCHARGE CONTAINING SETTLEABLE SOLIDS (SEDIMENTS) SHALL BE PASSED THROUGH A SEDIMENTATION CONTROL DEVICE(FILTER BAG) TO REMOVE THESE SOLIDS. THE CONTRACTOR IS TO MAINTAIN SAID SEDIMENT CONTROL DEVICE THROUGHOUT THE ENTIRE Dewatering OPERATION AND REPAIR DEFICIENCIES IMMEDIATELY.

6. SOIL STOCKPILE AREAS FOR CONSTRUCTION MATERIALS SHALL BE LOCATED OUTSIDE WETLAND AREAS AND ASSOCIATED BUFFERS.

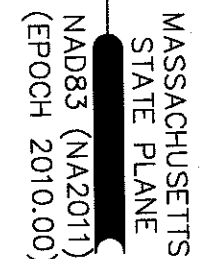
7. ALL PLANTINGS SHALL BE ACCOMPLISHED BY THE CONTRACTOR AS EARLY AS THE POSSIBLE UPON COMPLETION OF GRADING AND CONSTRUCTION.

8. ALL PLANTINGS SHALL BE WATERED AND MAINTAINED BY THE CONTRACTOR TO ENSURE SURVIVAL.

9. EROSION CONTROL SHALL REMAIN IN PLACE UNTIL THE CERTIFICATE OF COMPLIANCE IS ISSUED.

1. INSTALL EROSION CONTROL BARRIERS AND HAVE ENGINEER INSPECT AND APPROVED.
2. CLEAR SITE OF ALL TREES DESIGNATED TO BE REMOVED. CONSTRUCT A TEMPORARY BASIN TO COLLECT RUNOFF DURING CONSTRUCTION.
3. STOCKPILE OR REMOVE LOAM AS REQUIRED.
4. INSTALL PIPES FOR DRAINAGE SYSTEMS. INSTALL DISCHARGE POINT ON EACH SYSTEM.
5. BRING SITE TO SUB-GRADE.
6. ALL SLOPES ALONG THE PROPERTY LINES SHALL BE MULCHED TEMPORARILY, IF DISTURBED.
7. TEMPORARY STONE (1 1/2" - 3") SHALL BE PLACED AT THE PROPERTY ENTRANCES AS SHOWN. SWEEPING IS REQUIRED IF FINES ARE OBSERVED IN THE PUBLIC WAYS.
8. ALL DISTURBED AREAS NOT TREATED WITH PERMANENT LOAM AND SEED SHALL BE COVERED WITH MULCH, OR OTHER EROSION CONTROL DEVICE.
9. ALL CONSTRUCTION GRADES IN THE INTERIM SHALL BE SLOPED TO FLOW INTO THE TEMPORARY BASIN, WHERE POSSIBLE.

1. A SLT FENCE TURTLE BARRIER SHALL BE INSTALLED ACCORDING TO PLAN, ALONG THE LIMIT OF WORK.
2. THE INSTALLATION MUST BE HAND DUG AND LARGE ACCESS PATHS SHALL NOT BE ALLOWED PRIOR TO SWEEPING OF TURTLES.
3. NO CLEARING SHALL BE ALLOWED OUTSIDE THE LIMIT OF WORK.
4. THE BARRIER MUST BE COMPOSED OF AT LEAST 2.5 FEET OF VERTICAL BARRIER ABOVE GROUND AND AN ADDITIONAL 12 INCHES BELOW GROUND.
5. THE BARRIER SHALL BE COMPILED AND COMPACTED.
6. THE SLT FENCE SHALL BE STAKED EVERY 6-10 FOOT AND STAPLED OR TACKED TO STAKE.
7. THE SLT FENCE SHALL BE TAUT BETWEEN STAKES.
8. INSTALLATION SHALL BE INSPECTED BY A QUALIFIED ENGINEER.
9. A CONSTRUCTION ACCESS GATE SHALL BE INSTALLED AT THE ENTRANCE TO THE SITE. THE GATE SHALL BE CLOSED AT THE END OF EACH WORK DAY.
10. THE GATE SHALL COMPLY WITH ANY ROADWAY REQUIREMENTS.
11. THE GATE SHALL BE INSPECTED FOR ANY TURTLES PRIOR TO CONSTRUCTION.
12. BARRIER INSPECTIONS SHALL BE MADE EVERY 2 WEEKS BETWEEN APRIL AND OCTOBER.
13. AT LEAST ONE SPRING INSPECTION SHALL BE MADE IF THE EROSION REMAINS IN PLACE OVER THE WINTER MONTHS.
14. AT THE COMPLETION OF THE PROJECT THE SLT FENCING SHALL BE REMOVED.



BELLINGHAM PLANNING BOARD

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OWNER

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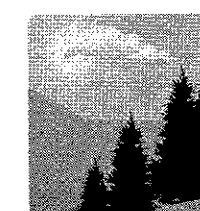
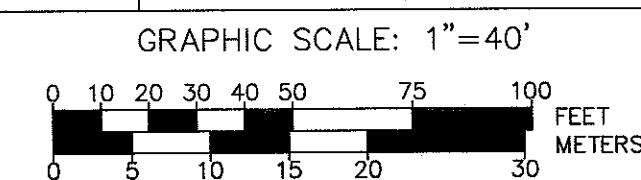
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DEVELOPMENT PLAN
AND SPECIAL PERMIT
NORTH STREET &
BLACKSTONE STREET
BELLINGHAM
MASSACHUSETTS

EROSION CONTROL PLAN

DECEMBER 30, 2022

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SHEET 4 OF 15

JOB NO.	F4457
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GENERAL NOTES

1. THIS PROJECT DISTURBS MORE THAN ONE ACRE OF LAND AND IS WITHIN THE NPDES CONSTRUCTION GENERAL PERMIT (CGP) AND THE UNITED STATES ENVIRONMENTAL PROTECTION AGENCY (EPA) JURISDICTION. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR IS TO SUBMIT A NOTICE OF INTENT WITH THE EPA AND SECURE AND COMPLY WITH THE CGP IN ACCORDANCE WITH THE NPDES REGULATIONS.
2. A MINIMUM OF SEVENTY-TWO (72) HOURS BEFORE COMMENCING SITE WORK, CONTRACTOR SHALL CALL "DIG SAFE" AT 1-888-344-7233 (PER 220 CMR 99), MUNICIPAL UTILITY DEPARTMENTS, AND UTILITY DISTRICTS TO ACCURATELY LOCATE UNDERGROUND UTILITIES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION NOTIFICATION AND APPLY FOR AND OBTAIN ALL NECESSARY CONSTRUCTION PERMITS. THE CONTRACTOR SHALL PAY ALL FEES AND POST ALL BONDS ASSOCIATED WITH THE WORK AND COORDINATE WITH THE PROJECT ARCHITECT AND ENGINEER AS NECESSARY.
4. THE CONTRACTOR SHALL OBTAIN PERMIT(S) FOR TRENCH EXCAVATION (PER 520 CMR 14).
5. ALL ITEMS NOTED FOR REMOVAL AND DISPOSAL, AS WELL AS THOSE ITEMS DISCOVERED DURING EXCAVATION THAT REQUIRE REMOVAL AND REPLACEMENT, SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND MUST EITHER BE RECYCLED OR DISPOSED OF OFF SITE ACCORDING TO APPLICABLE REGULATIONS (310 CMR 7, 18 & 19 AND 453 CMR 6). CONTRACTOR IS RESPONSIBLE FOR OBTAINING NECESSARY PERMITS FOR DEMOLITION, HAULING AND DISPOSING OF SAID MATERIALS.
6. CONTRACTOR SHALL VERIFY ALL CONDITIONS IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY, JOB SAFETY AND CONSTRUCTION MEANS AND METHODS. CONSTRUCTION ACTIVITIES SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND STATE AND LOCAL REQUIREMENTS.
8. REFUELING OF CONSTRUCTION VEHICLES AND EQUIPMENT SHALL NOT BE CONDUCTED IN PROXIMITY TO CATCH BASINS, STORMWATER BASINS OR WETLAND RESOURCES.
9. ANY ALTERATIONS MADE IN THE FIELD TO THE WORK SHOWN ON THESE DRAWINGS SHALL BE RECORDED BY THE CONTRACTOR ON RECORD DOCUMENTS.
10. THE CONTRACTOR SHALL NOTIFY APPROPRIATE UTILITY COMPANIES OF ANY UTILITIES DAMAGED DURING CONSTRUCTION. ANY COSTS RELATED TO THE REPAIR OF UTILITIES DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITY SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
11. THE CONTRACTOR IS RESPONSIBLE FOR PREPARING AND MAINTAINING RECORD AS-BUILT DRAWINGS OF ALL SUBSURFACE UTILITIES.
12. ANY AREA DISTURBED BY THE CONTRACTOR OUTSIDE THE LIMIT OF WORK SHALL BE RESTORED TO ITS ORIGINAL CONDITIONS AT NO COST TO THE OWNER.

SITE LAYOUT NOTES

1. ALL SETBACK LINES AND DIMENSIONS ARE PARALLEL OR PERPENDICULAR TO THE LINES FROM WHICH THEY ARE MEASURED, UNLESS NOTED OTHERWISE.
2. DIMENSIONS ARE FROM THE FACE OF CURB, FACE OF BUILDING, FACE OF WALL AND CENTERLINE OF PAVEMENT MARKINGS UNLESS NOTED OTHERWISE.
3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON THE GROUND AND REPORT ANY DISCREPANCIES TO THE PROJECT ENGINEER.
4. SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND DETAILS CONTIGUOUS TO THE BUILDING.
5. EXISTING PROPERTY LINE MONUMENTATION SHALL BE PROTECTED DURING CONSTRUCTION. ANY MONUMENTATION DISTURBED DURING CONSTRUCTION OR ANY PROPOSED MONUMENTATION SHALL BE SET OR RESET BY A PROFESSIONAL LICENSED SURVEYOR.
6. SYMBOLS OF PROJECT FEATURES DEPICTED IN THESE DRAWINGS ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THEIR DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR SHALL REFER TO THE DETAIL SHEET DIMENSIONS, MANUFACTURER'S SPECIFICATIONS, SHOP DRAWINGS AND FIELD MEASUREMENTS FOR ACCURATE INFORMATION.
7. EACH ACCESSIBLE PARKING SPACE SHALL BE IDENTIFIED BY A SIGN CONTAINING THE "INTERNATIONAL SYMBOL OF ACCESSIBILITY" AS DESCRIBED IN THE AMERICANS WITH DISABILITIES ACT, PUBLIC LAW 101-366, AND DETAILED IN THE FHWA/USDOT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, AS AMENDED.



TOWNHOUSE DWELLINGS SECTION 240-101

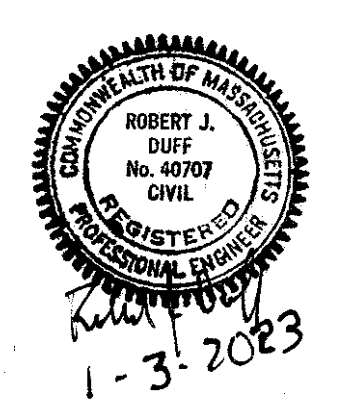
1. TOWNHOUSE DWELLINGS MAY BE ALLOWED ON SPECIAL PERMIT IN ALL EXCEPT THE INDUSTRIAL ZONE. SUCH SPECIAL PERMITS SHALL BE ACTED ON BY THE PLANNING BOARD.
2. MINIMUM LOT AREA SHALL BE 10,000 SF. PER BEDROOM, BUT IN NO CASE SHALL THE LOT AREA BE LESS THAN 20 ACRES.
3. AREA OF LOT=907,602 SF / 10,000 SF= 91 BEDROOMS
PROPOSED (12) 3 UNIT TOWNHOUSES x 2 BEDROOMS= 72 BEDROOMS

PARKING SECTION 240-91

1. EACH DWELLING UNIT SHALL BE SERVED BY AT LEAST 2 OFF STREET PARKING SPACES
2. PARKING SPACES IN FRONT OF GARAGES MAY COUNT IN THE COMPUTATION.
3. PROPOSED 12 UNITS WITH 3 TOWNHOUSES = 36 UNITS
4. 2 PARKING SPACES PROPOSED EACH UNIT = 72 PARKING SPACES
5. 5 VISITOR PARKING PROPOSED.
6. 72 PLUS 5 = 77 TOTAL PARKING SPACES PROPOSED ON SITE

ZONING DISTRICT AGRICULTURAL

	REQUIRED	PROPOSED
MIN. LOT AREA	80,000 SF	355,994±SF(8.17ACS)
MIN. LOT FRONTAGE	200'	426.82(BLACKSTONE ST.) 54.19(NORTH ST.)
MIN. YARD SETBACKS		
FRONT	30 FT	30.2 FT
SIDE	15 FT	15.5 FT
REAR	20 FT	89.8 FT
MINIMUM OPEN SPACE	---	255,077±SF(71.7%)
MAXIMUM BUILDING HEIGHT	35 FT	30 FT.



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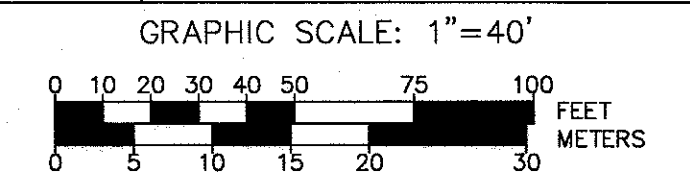
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SITE LAYOUT PLAN

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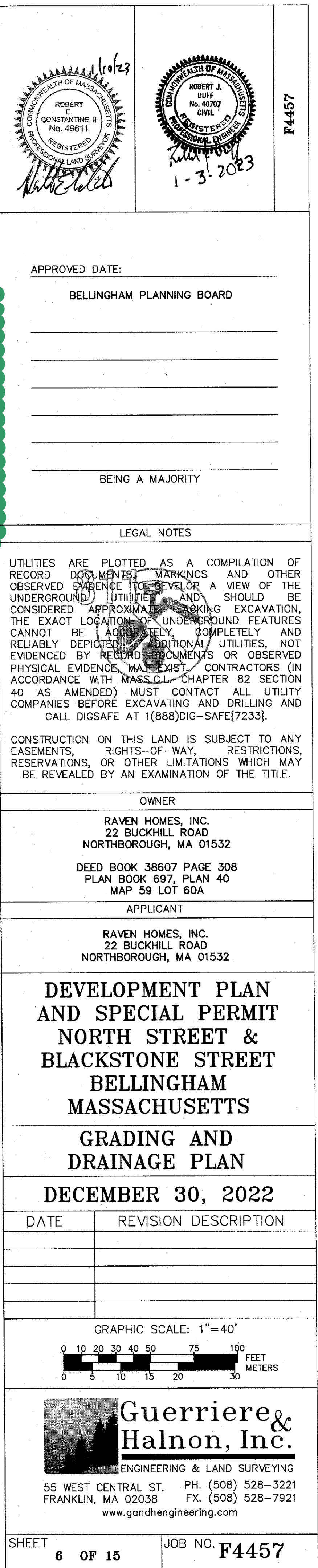
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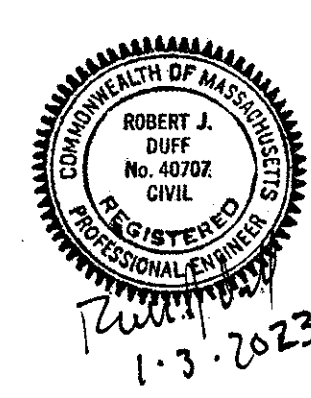
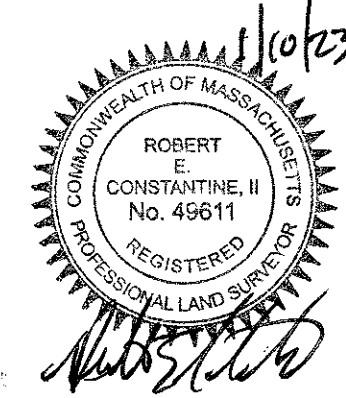
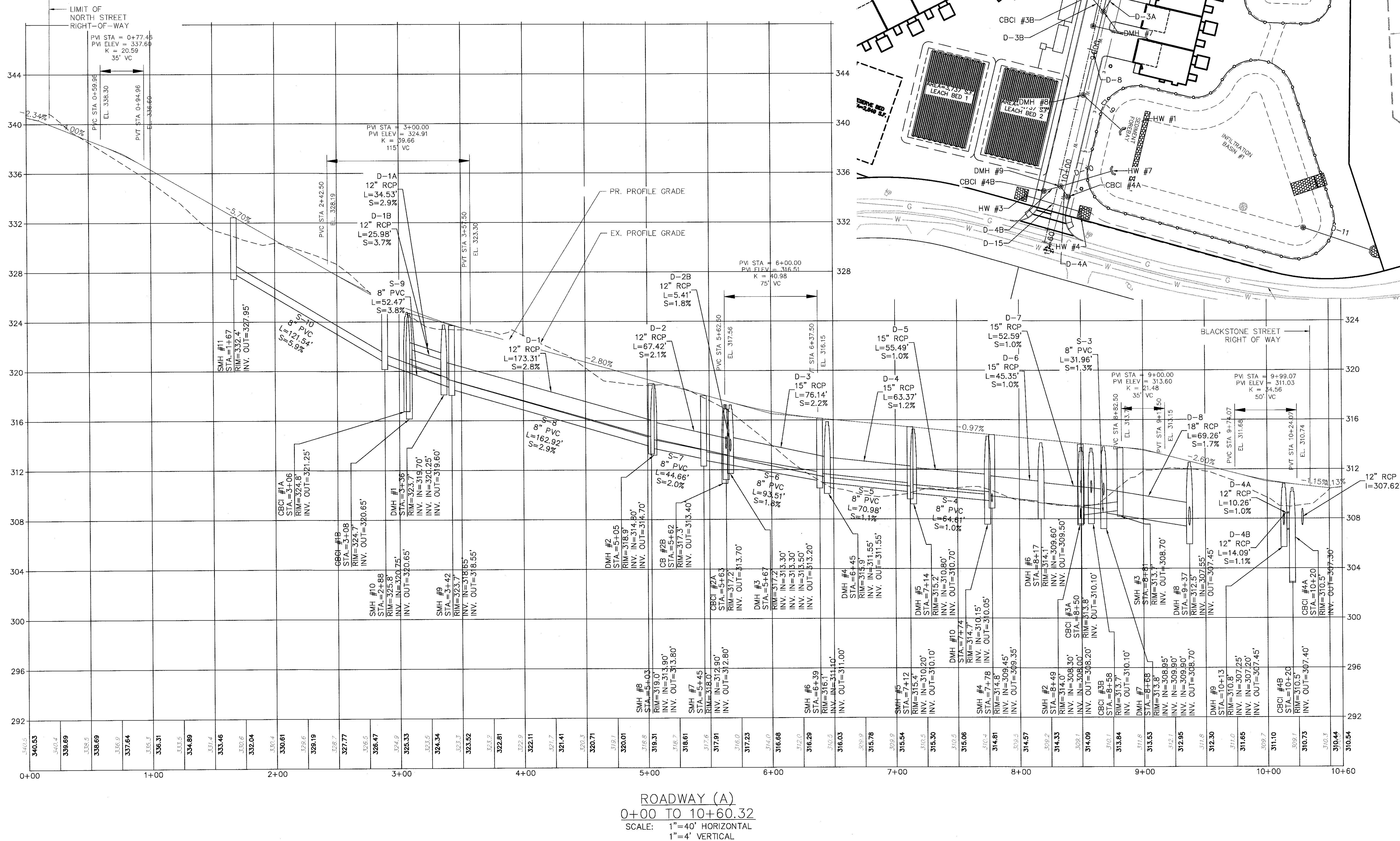
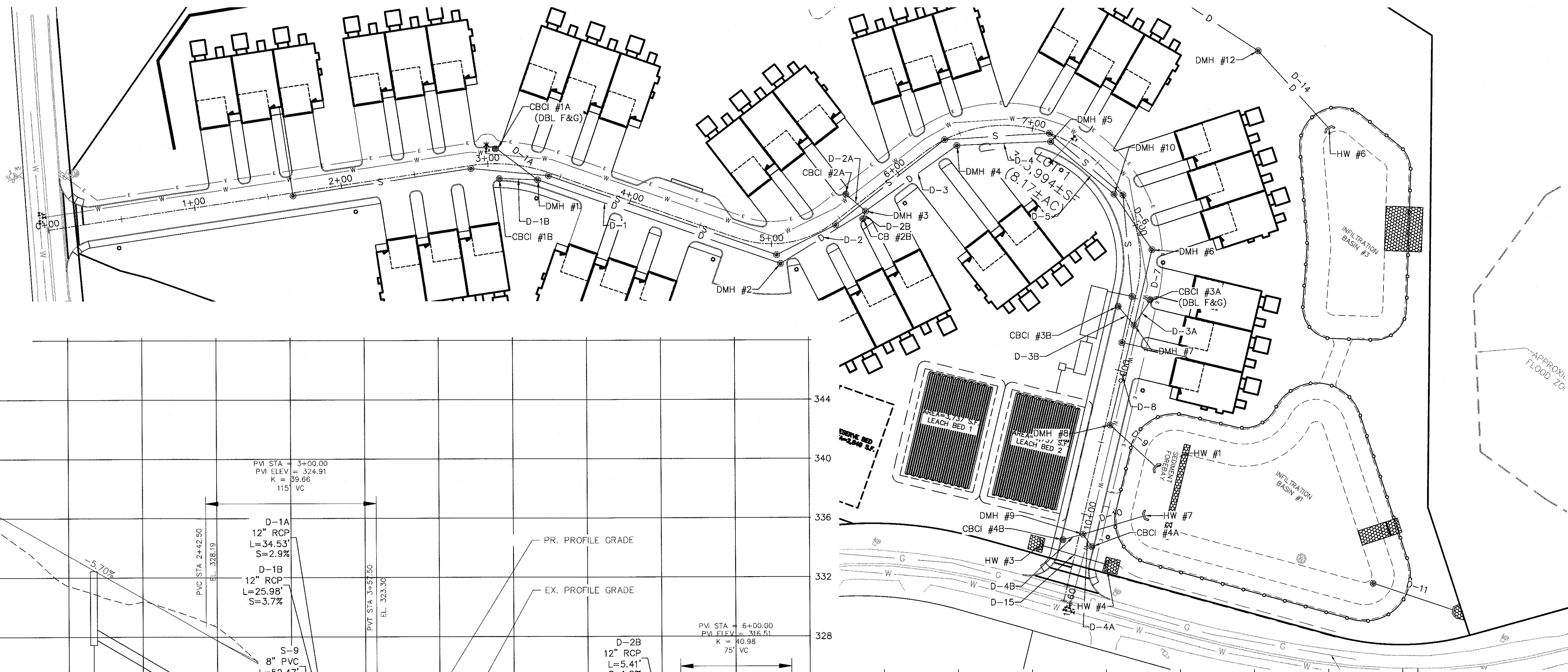
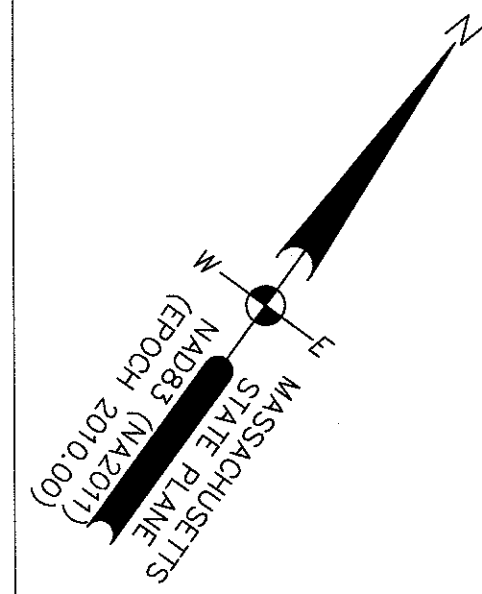
Storm Sewer	
STRUCTURE NAME	STRUCTURE DETAILS
HW #1	RIM = 309.75 INV. IN (18" RCP) = 307.00 (DMH #8)
HW #2	RIM = 308.67 INV. OUT (12" RCP) = 305.00 (OUTLET CONTROL STRUCTURE)
HW #3	RIM = 309.42 INV. OUT (12" RCP) = 307.75 (HW #4)
HW #4	RIM = 309.17 INV. IN (12" RCP) = 307.50 (HW #3)
HW #5	RIM = 316.05 INV. OUT (24" RCP) = 313.30 (DMH #11 (PROVIDE F&G))
HW #6	RIM = 307.75 INV. IN (24" RCP) = 305.00 (DMH #12)
HW #7	RIM = 308.67 INV. IN (12" RCP) = 307.00 (DMH #9)
OUTLET CONTROL STRUCTURE	RIM = 309.60 INV. IN (12" RCP) = 305.60 (HW #2)

Storm Sewer			
Pipe Name	Size	Length	Slope
D-1	12"	173.3	2.77%
D-1B	12"	26.0	3.66%
D-1A	12"	34.5	2.90%
D-2	12"	67.4	2.08%
D-2B	12"	5.4	1.85%
D-2A	12"	17.4	1.15%
D-3	15"	76.1	2.17%
D-4	15"	63.4	1.18%
D-5	15"	55.5	1.00%
D-7	15"	52.6	1.05%

Storm Sewer			
Pipe Name	Size	Length	Slope
D-12	24"	102.7	2.58%
D-13	24"	139.0	2.27%
D-14	24"	71.0	3.24%
D-4B	12"	14.1	1.06%
D-10	12"	43.5	1.03%
D-4A	12"	10.3	1.00%
D-3B	12"	16.8	1.19%
D-3A	12"	19.4	1.03%
D-8	18"	69.3	1.66%
D-9	18"	42.2	1.07%

Storm Sewer			
Pipe Name	Size	Length	Slope
D-6	15"	45.4	1.00%
D-15	12"	47.1	0.53%
D-11	12"	57.6	-1.04%





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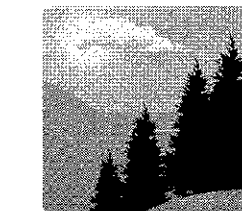
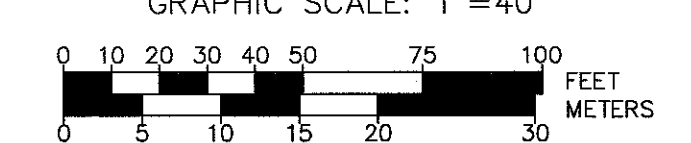
DEVELOPMENT PLAN
AND SPECIAL PERMIT
NORTH STREET &
BLACKSTONE STREET
BELLINGHAM
MASSACHUSETTS

PLAN & PROFILE

DECEMBER 30, 2022

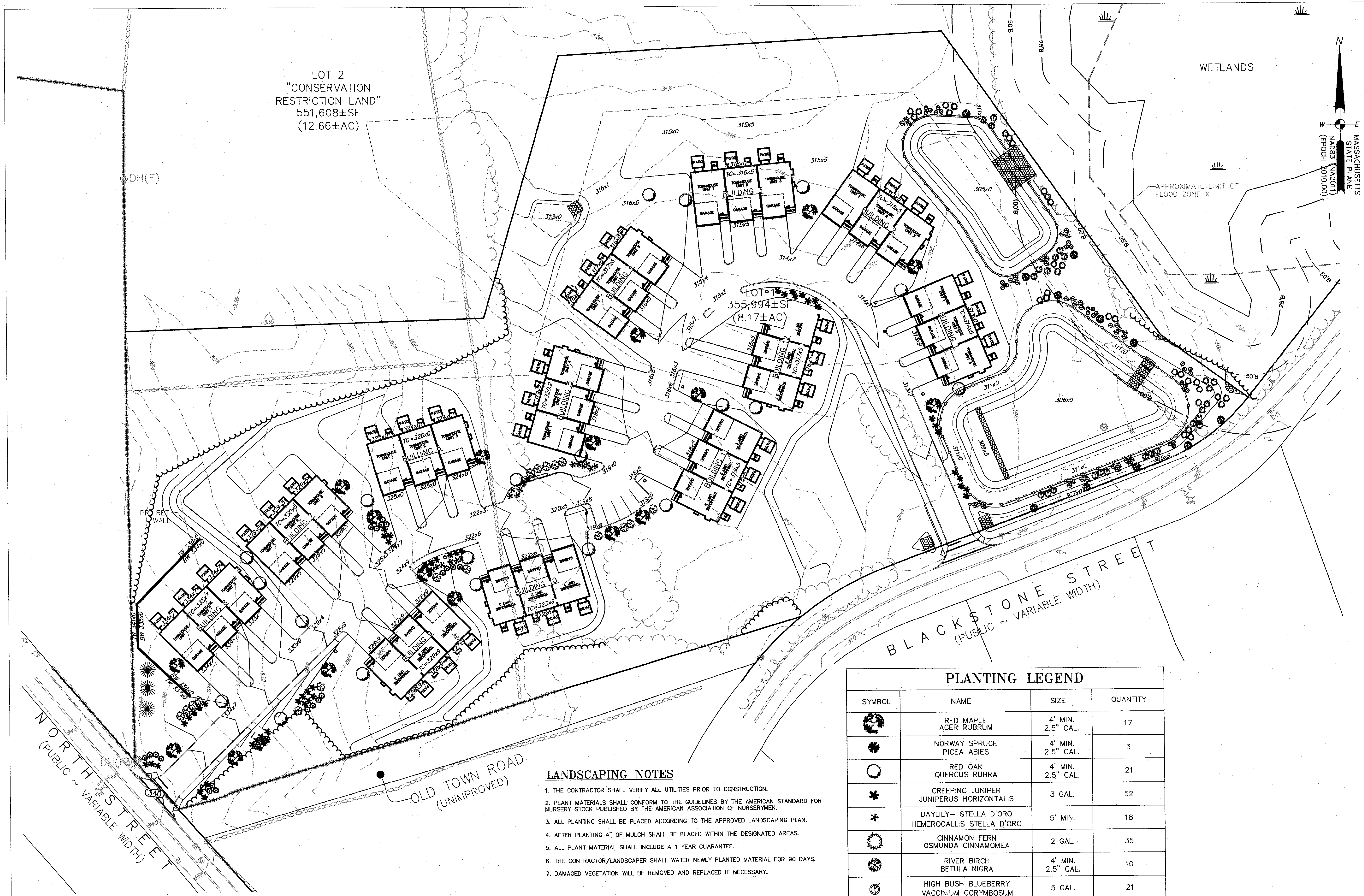
DATE	REVISION DESCRIPTION

GRAPHIC SCALE: 1"=40'



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Halon, Inc.

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55 WEST CENTRAL ST. PH. (508) 528-3221
FRANKLIN, MA 02038 FX. (508) 528-7921
www.gandhengineering.com



F4457

APPROVED DATE:

BELLINGHAM PLANNING BOARD

BEING A MAJORITY

LEGAL NOTES

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OWNER

RAVEN HOMES, INC.
22 BUCKHILL ROAD
NORTHBOROUGH, MA 01532

DEED BOOK 38607 PAGE 308
PLAN BOOK 697, PLAN 40
MAP 59 LOT 60A

APPLICANT

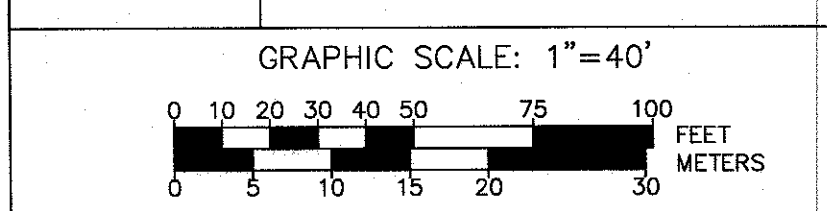
RAVEN HOMES, INC.
22 BUCKHILL ROAD
NORTHBOROUGH, MA 01532

DEVELOPMENT PLAN
AND SPECIAL PERMIT
NORTH STREET &
BLACKSTONE STREET
BELLINGHAM
MASSACHUSETTS

LANDSCAPING PLAN

DECEMBER 30, 2022

DATE	REVISION DESCRIPTION



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- LANDSCAPING NOTES
1. THE CONTRACTOR SHALL VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION.
 2. PLANT MATERIALS SHALL CONFORM TO THE GUIDELINES BY THE AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
 3. ALL PLANTING SHALL BE PLACED ACCORDING TO THE APPROVED LANDSCAPING PLAN.
 4. AFTER PLANTING 4" OF MULCH SHALL BE PLACED WITHIN THE DESIGNATED AREAS.
 5. ALL PLANT MATERIAL SHALL INCLUDE A 1 YEAR GUARANTEE.
 6. THE CONTRACTOR/LANDSCAPER SHALL WATER NEWLY PLANTED MATERIAL FOR 90 DAYS.
 7. DAMAGED VEGETATION WILL BE REMOVED AND REPLACED IF NECESSARY.

NOTE:

SEE SHEET 11 TYPICAL UNIT LANDSCAPING FOR
ADDITIONAL PLANTINGS

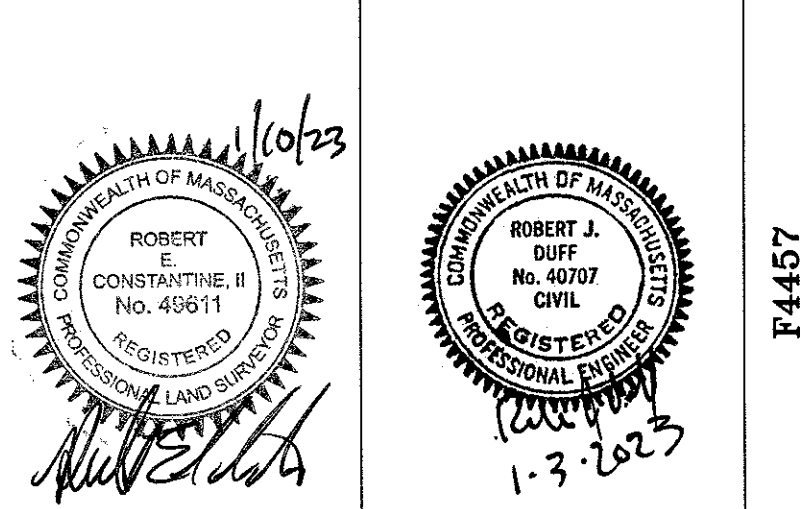
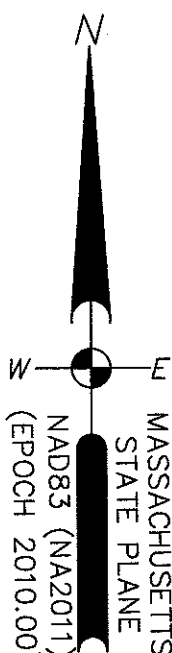
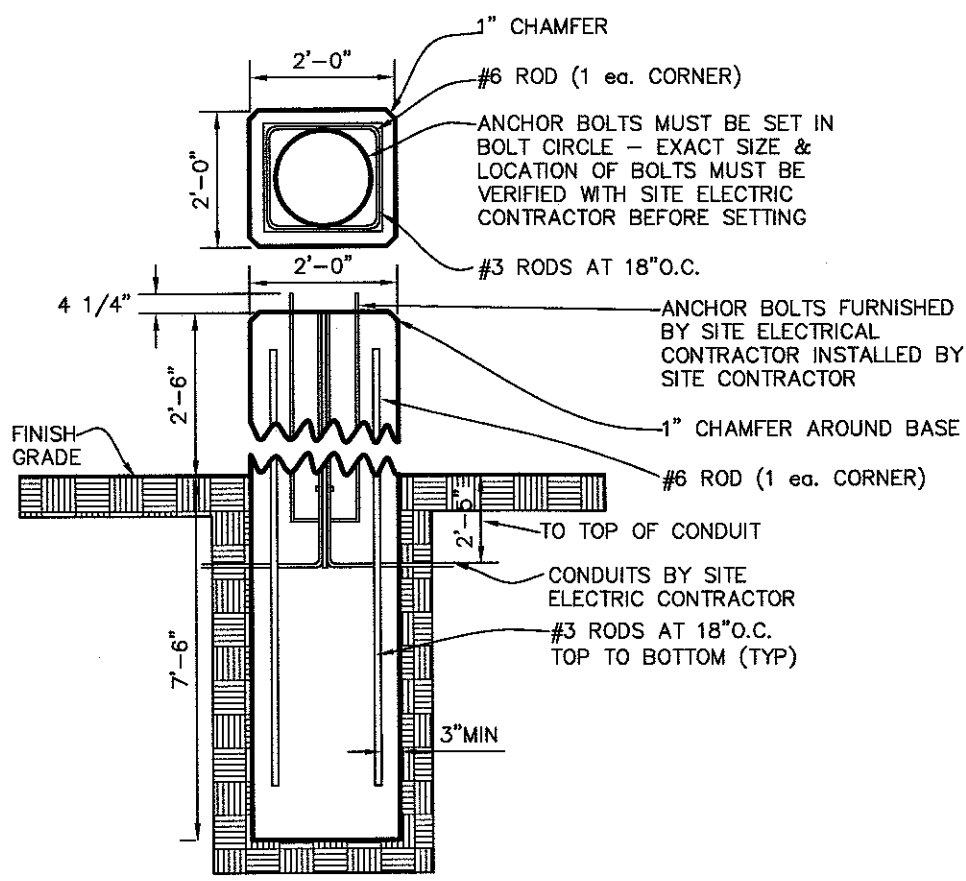
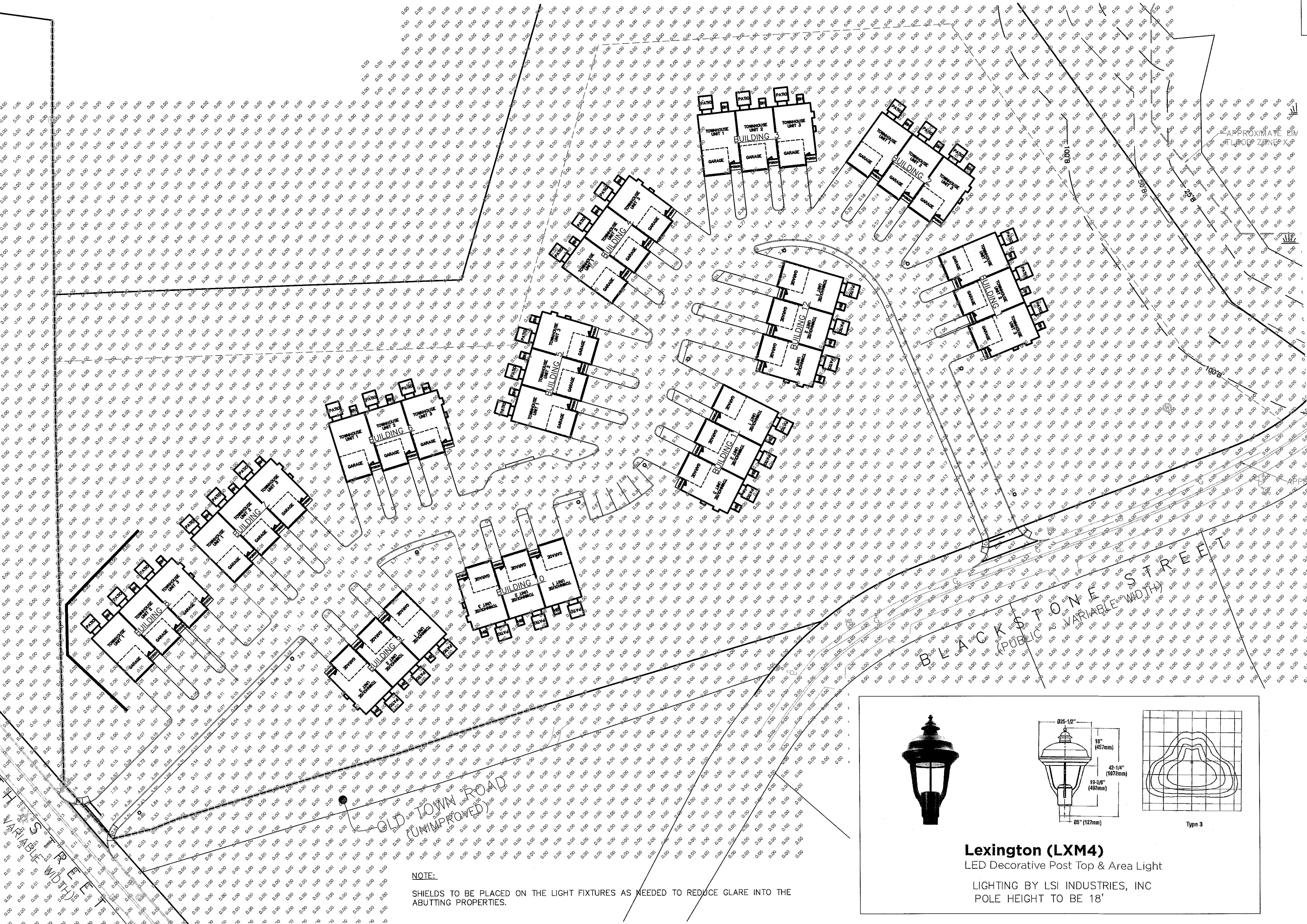
PLANTING LEGEND			
SYMBOL	NAME	SIZE	QUANTITY
	RED MAPLE ACER RUBRUM	4" MIN. 2.5" CAL.	17
	NORWAY SPRUCE PICEA ABIES	4" MIN. 2.5" CAL.	3
	RED OAK QUERCUS RUBRA	4" MIN. 2.5" CAL.	21
	CREeping JUNIPER JUNIPERUS HORIZONTALIS	3 GAL.	52
	DAYLILY- STELLA D'ORO HEMEROCALLIS STELLA D'ORO	5" MIN.	18
	CINNAMON FERN OSMUNDA CINNAMOMEA	2 GAL.	35
	RIVER BIRCH BETULA NIGRA	4" MIN. 2.5" CAL.	10
	HIGH BUSH BLUEBERRY VACCINIUM CORYMBOSUM	5 GAL.	21
	MOUNTAIN PEPPERBUSH CLETHRA ACUMINATA	3 GAL.	38
	WINTERBERRY ILEX VERTICILLATA	3 GAL.	21
	MOUNTAIN LAUREL K.LATIFOLIA	3 GAL.	20
	EARLY AZALEA R.ROSEUM	3 GAL.	6
	CREeping JUNIPER JUNIPERUS HORIZONTALIS	3 GAL.	51

THIS PHOTOMETRIC PLAN IS BASED SOLELY UPON PROPRIETARY INFORMATION SUPPLIED BY THE LUMINAIRE MANUFACTURER AND CLIENT RECOMMENDATION.

LUMINAIRE LOCATIONS, LIGHTING PATTERNS, AND ILLUMINATION LEVELS WERE PREPARED UTILIZING INFORMATION SUPPLIED BY THE LUMINAIRE MANUFACTURER AND THE SOFTWARE PACKAGE SIMPLY OUTDOOR. ITS VALUES SHOULD BE CONSIDERED APPROXIMATE IN NATURE AND SHALL BE VERIFIED BY THE LUMIN MANUFACTURER PRIOR TO INSTALLATION.

ACTUAL PERFORMANCE OF LIGHTING PATTERNS AND/OR ILLUMINANCE VALUES MAY VARY DUE TO VARIATIONS IN LIGHT HEIGHT, ELECTRICAL VOLTAGE, LAMP WATTAGE, AND OTHER VARIABLE FIELD CONDITIONS, OR USING A LUMINAIRE OTHER THAN SPECIFICALLY NOTED HEREON.

GUERRIERE & HALNON, INC ASSUMES NO RESPONSIBILITY FOR ANY SAFETY AND/OR SECURITY RISKS DUE TO INADEQUATE LIGHT LEVELS WHICH MAY OCCUR AFTER INSTALLATION.



APPROVED DATE: _____
BELLINGHAM PLANNING BOARD

BEING A MAJORITY

LEGAL NOTES
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OWNER
RAVEN HOMES, INC.
22 BUCKHILL ROAD
NORTHBOROUGH, MA 01532

DEED BOOK 38607 PAGE 308
PLAN BOOK 697, PLAN 40
MAP 59 LOT 60A

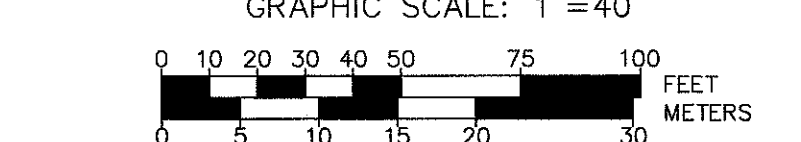
APPLICANT
RAVEN HOMES, INC.
22 BUCKHILL ROAD
NORTHBOROUGH, MA 01532

DEVELOPMENT PLAN AND SPECIAL PERMIT NORTH STREET & BLACKSTONE STREET BELLINGHAM MASSACHUSETTS

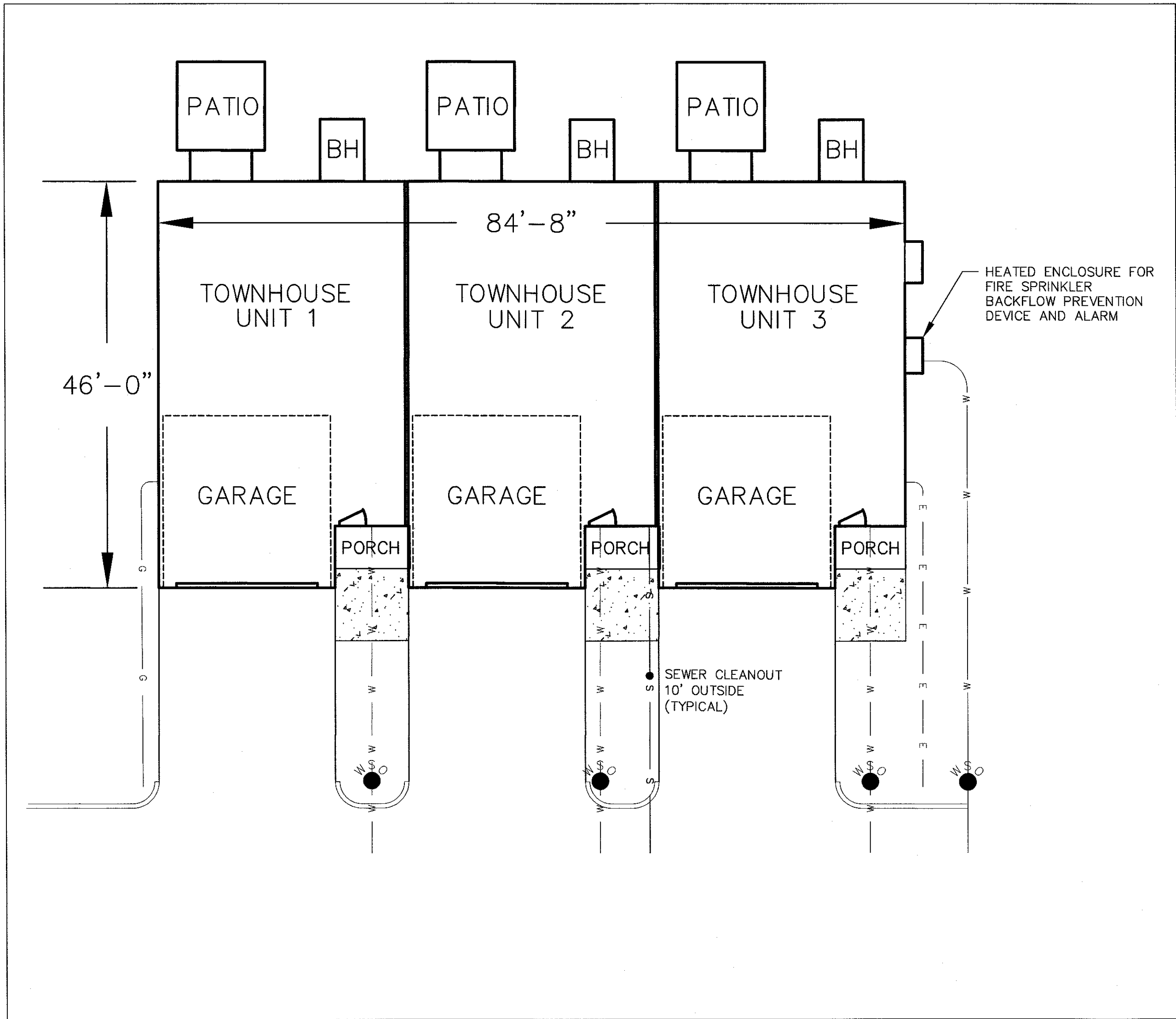
PHOTOMETRIC PLAN

DECEMBER 30, 2022

DATE	REVISION DESCRIPTION

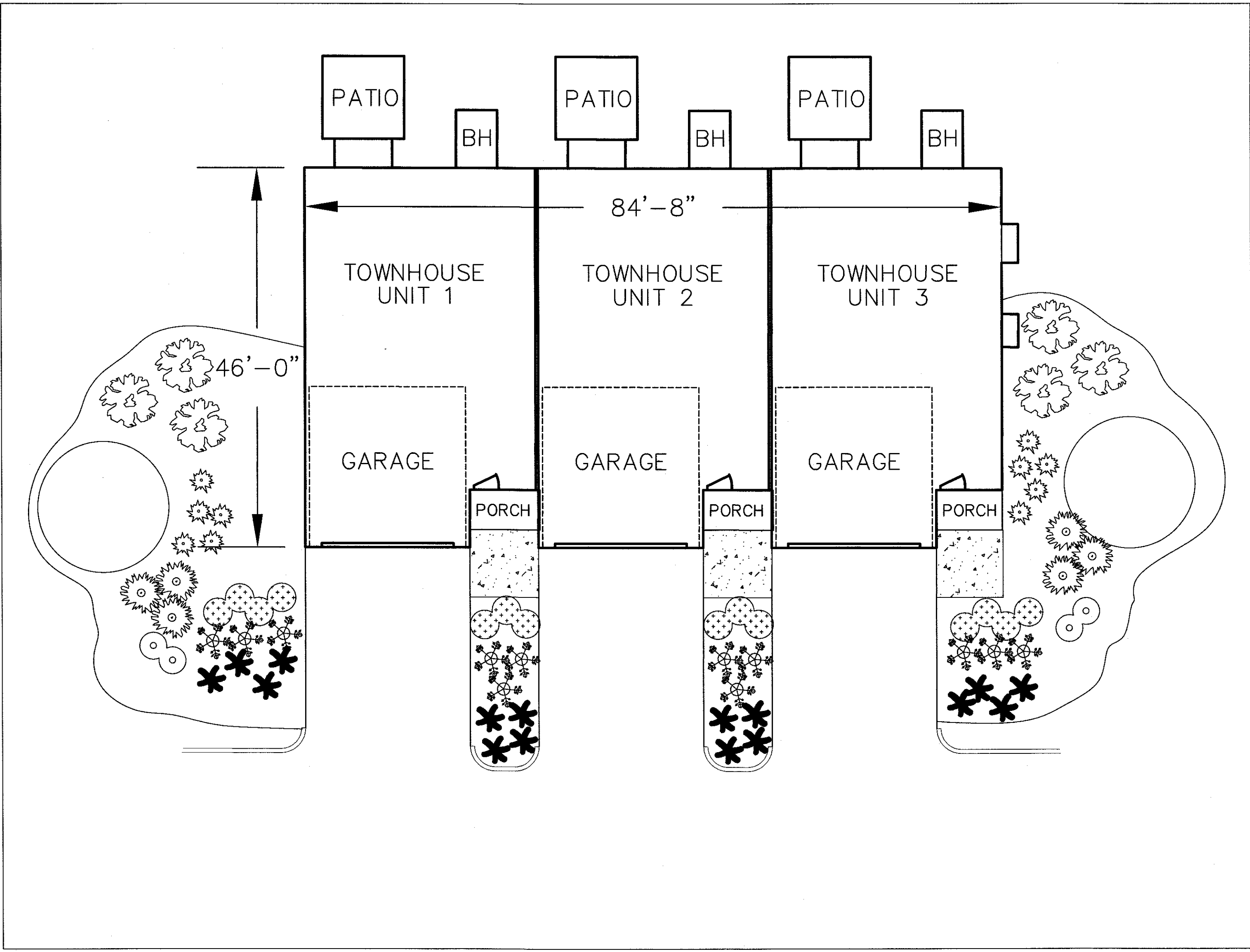


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FRANKLIN, MA 02038 FX. (508) 528-7921
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TYPICAL UTILITY SERVICE CONNECTION

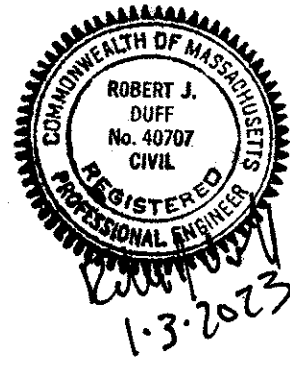
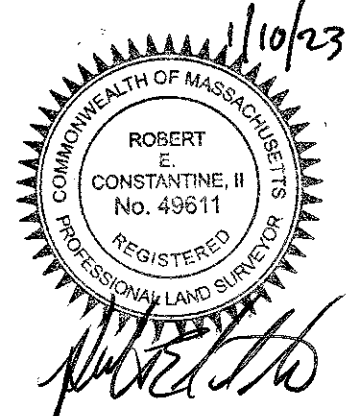
SCALE: = 1"=10'



TYPICAL UNIT LANDSCAPING

SCALE: = 1"=10'

TYPICAL UNIT PLANTING LEGEND			
SYMBOL	NAME	SIZE	QUANTITY
	MOUNTAIN LAUREL K.LATIFOLIA	3 GAL.	6
	EARLY AZALEA R.ROSEUM	3 GAL.	6
	CREeping JUNIPER JUNIPERUS HORIZONTALIS	3 GAL.	12
	DAYLILY HEMERCALLIS STELLA-D'ORO	5' MIN.	9
	PURPLE CONEFLOWER ECHINACEA PURPPUREA	3 GAL.	11
	DIXIELAND MAIDEN GRASS MISCATHUS SINENSIS DIXIELAND	3 GAL.	10
	BOXWOOD NORTH STAR BUXUS SEMPERVIRENS KATERBERG	3 GAL.	4
	SHADE TREE RED MAPLE / RED OAK ACER RUBRUM / QUERCUS RUBRA	4' MIN. 2.5" CAL.	SEE SITE PLAN



F4457

APPROVED DATE:

BELLINGHAM PLANNING BOARD

BEING A MAJORITY

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22 BUCKHILL ROAD
NORTHBOROUGH, MA 01532

DEED BOOK 38607 PAGE 308
PLAN BOOK 697, PLAN 40
MAP 59 LOT 60A

APPLICANT

RAVEN HOMES, INC.
22 BUCKHILL ROAD
NORTHBOROUGH, MA 01532

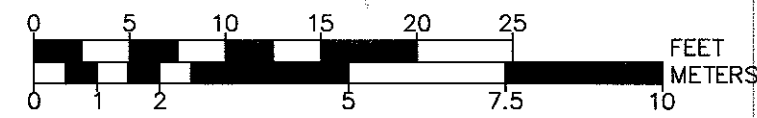
DEVELOPMENT PLAN
AND SPECIAL PERMIT
NORTH STREET &
BLACKSTONE STREET
BELLINGHAM
MASSACHUSETTS

TYPICAL UNIT UTILITY
AND LANDSCAPE LAYOUT

DECEMBER 30, 2022

DATE REVISION DESCRIPTION

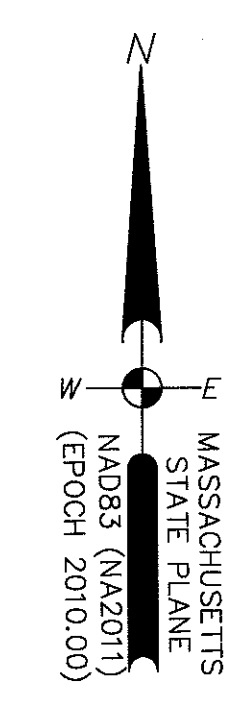
GRAPHIC SCALE: 1"=10'



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SHEET 11 OF 15

JOB NO. F4457

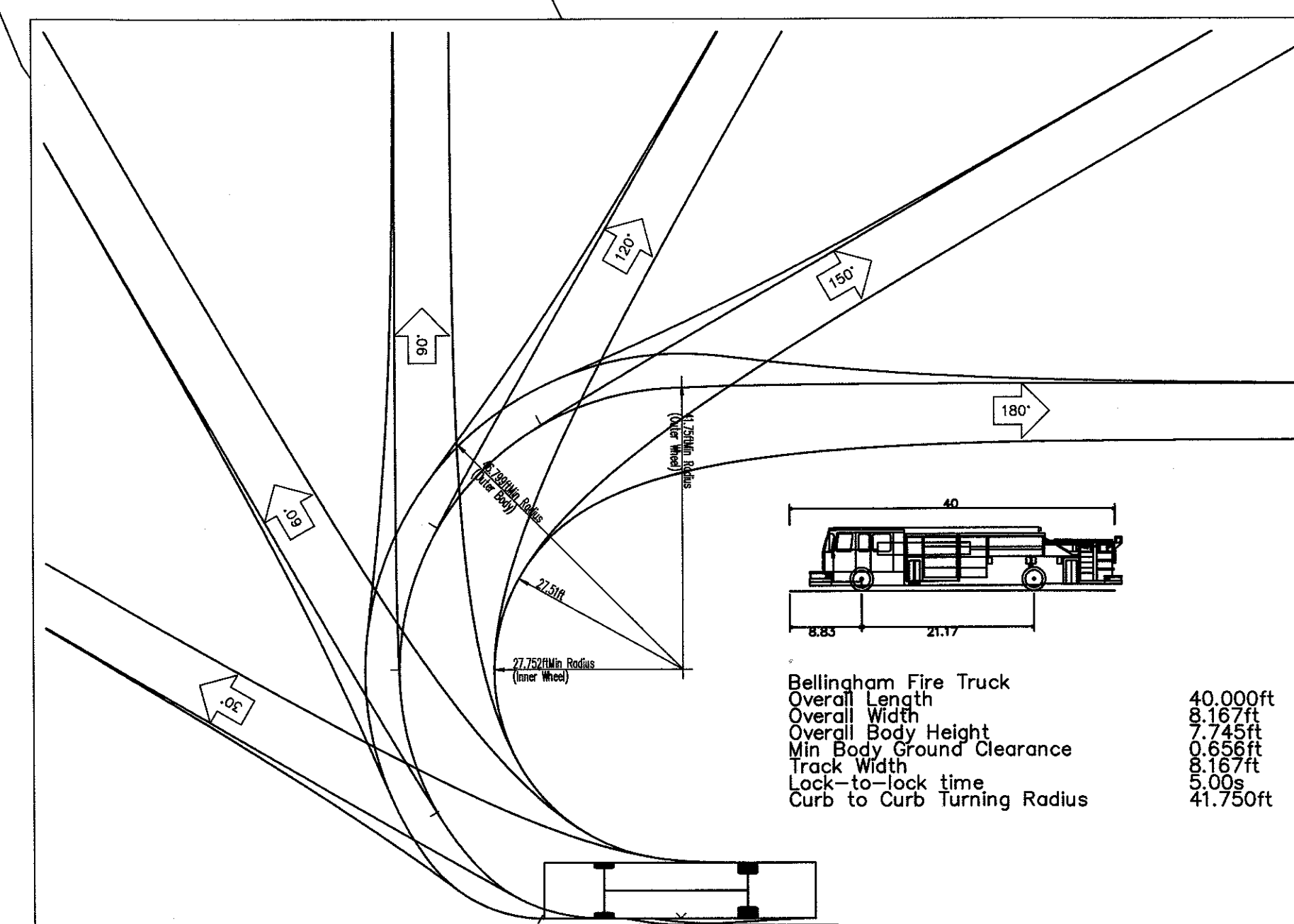


LOT 2
"CONSERVATION
RESTRICTION LAND"
551,608±SF
(12.66±AC) 17

— APPROXIMATE LIMIT OF
FLOOD ZONE X

APPROXIMATE 10

BLACKSTONE STREET

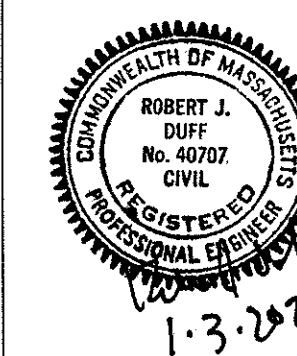
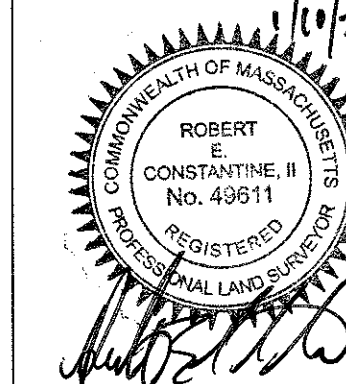


Bellingham Fire Truck	
Overall Length	40.000ft
Overall Width	8.167ft
Overall Body Height	7.745ft
Min Body Ground Clearance	0.656ft
Track Width	8.167ft
Lock-to-lock time	5.00s
Curb to Curb Turning Radius	41.750ft

Vehicle Tracking V22.00.2404(20210219) (c) Autodesk, Inc. www.autodesk.com

Notes:
Turn(s) based upon a design speed of 5.00mph.

Bellingham Fire Truck



F4457

APPROVED DATE:

BELLINGHAM PLANNING BOARD

BEING A MAJORITY

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NORTHBOROUGH, MA 01532

DEED BOOK 38607 PAGE 308
PLAN BOOK 697, PLAN 40
MAP 59 LOT 60A

APPLICANT

RAVEN HOMES, INC.
22 BUCKHILL ROAD
NORTHBOROUGH, MA 01532

DEVELOPMENT PLAN
AND SPECIAL PERMIT
NORTH STREET &
BLACKSTONE STREET
BELLINGHAM
MASSACHUSETTS


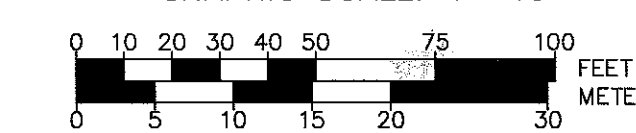
VEHICLE TRACKING

DECEMBER 30, 2022


GRAPHIC SCALE: 1"=40'

A horizontal graphic scale bar. The top scale is in feet, with markings at 0, 10, 20, 30, 40, 50, 75, and 100. The bottom scale is in meters, with markings at 0, 5, 10, 15, 20, and 30. The bar is divided into alternating black and white segments.

GRAPHIC SCALE: 1"=40'



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Halnon, Inc.

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SHEET 12 OF 15	JOB NO. F4457
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TESTING DATE: MAY 9, 2022 SOIL EVALUATOR: MICHAEL HASSETT

8'-0" 3/8"DIA. TRUSS ROD 8'-0" TENSION WIRE

TERMINAL POST GALVANIZED STEEL BAND (1/8"x7/8" MIN.) (TYP) TURNBUCKLE GRADE 3'-0" 3'-6" 12"

PULL POST 3'-0" 3'-6" 12" CLASS A CONCRETE FOOTING (TYP)

LINE POST 9 GAUGE FENCE FABRIC 6'-0"

BOTTOM RAIL 3'-0" 8"

RETAINING WALL EXPOSED FACE 3'-0"

SECURE POST TO WALL W/ (3) HEAVY DUTY GALV. STEEL BANDS

FENCE AT GRADE NOT TO SCALE

FENCE AT RETAINING WALL NOT TO SCALE

NOTES:

1. TOP TENSION WIRE SHALL BE 7 GAUGE ATTACHED WITH 12.5 GAUGE HOG RINGS, 12"O.C.
2. TOP RAIL WIRE TIES SHALL BE SPACED AT 24"MAX.
3. FENCE FABRIC TO BE LOCATED ON OUTSIDE OF FENCE POSTS.
4. BOTTOM OF FENCE FABRIC TO BE SECURED TO RETAINING WALL.



N.T.S.



N.T.S.



NOT TO SCALE



N.T.S.



N.T.S.

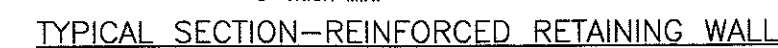


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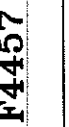
N.T.S.

CURB TRANSITION LENGTHS	
ROADWAY PROFILE GRADE	HIGH SIDE TRANSITION LENGTH (HSL)
=0%	6'-6"
>0%-1%	7'-6"
>1%-2%	9'-0"
>2%-3%	11'-0"
>3%-4%	14'-0"
>4%-5%	15'-0" MAX.



MODULAR CONCRETE UNIT
SCALE: NONE

- NOTES:
- FOR RETAINING WALLS GREATER THAN 4' IN HEIGHT, CONTRACTOR TO COMPLY WITH ALL REQUIRED STATE BUILDING CODE REQUIREMENTS



APPROVED DATE:

BELLINGHAM PLANNING BOARD

BEING A MAJORITY

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OWNER

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22 BUCKHILL ROAD
NORTHBOROUGH, MA 01532

DEED BOOK 38607 PAGE 308
PLAN BOOK 697, PLAN 40
MAP 59 LOT 60A

APPLICANT

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22 BUCKHILL ROAD
NORTHBOROUGH, MA 01532

**DEVELOPMENT PLAN
AND SPECIAL PERMIT
NORTH STREET &
BLACKSTONE STREET
BELLINGHAM
MASSACHUSETTS**

CONSTRUCTION DETAILS

DECEMEBR 30, 2022

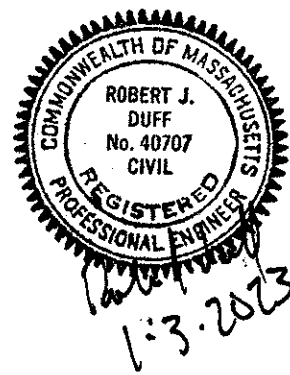
DATE	REVISION DESCRIPTION



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SHEET 13 OF 15

JOB NO. **F4457**



F4457

APPROVED DATE:

BELLINGHAM PLANNING BOARD

BEING A MAJORITY

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DEED BOOK 38607 PAGE 308
PLAN BOOK 697, PLAN 40
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DEVELOPMENT PLAN
AND SPECIAL PERMIT
NORTH STREET &
BLACKSTONE STREET
BELLINGHAM
MASSACHUSETTS
CONSTRUCTION
DETAILS

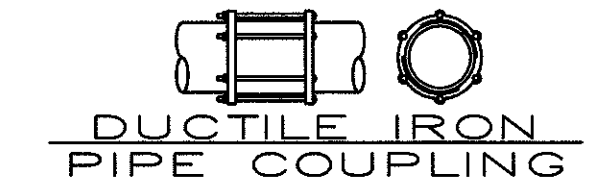
DECEMEBR 30, 2022

DATE	REVISION DESCRIPTION

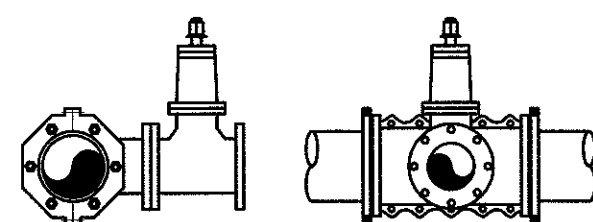
Guerriere & Halon, Inc.
ENGINEERING & LAND SURVEYING
55 WEST CENTRAL ST. PH. (508) 528-3221
FRANKLIN, MA 02038 FX. (508) 528-7921
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SHEET
15 OF 15

JOB NO.
F4457



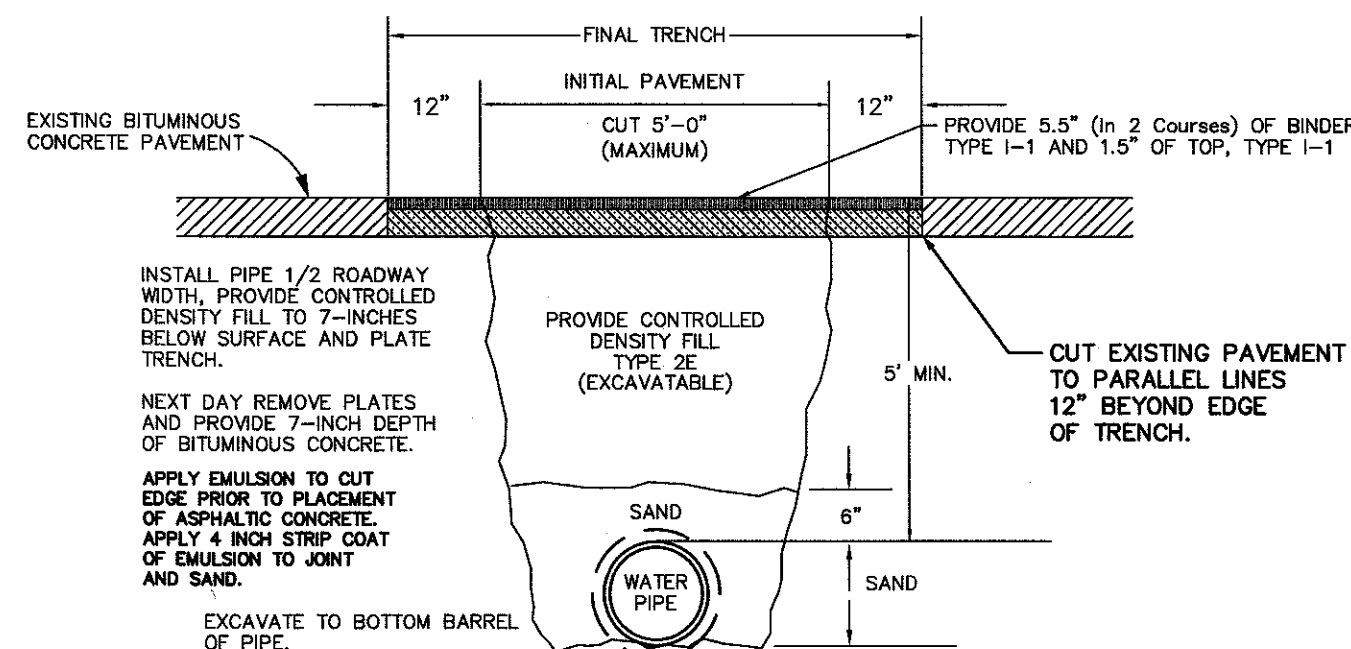
STYLE 501 & RC 501
BY ROMAC INDUSTRIES OR EQUIVALENT
TO BE USED FOR PIPE REPAIRS,
"OUT-INS", COUPLING DIFFERENT
TYPES OF PIPE, & CORRECTING
MISSALIGNED PIPE
(DI to C-900; DI to AC; C-900 to AC)



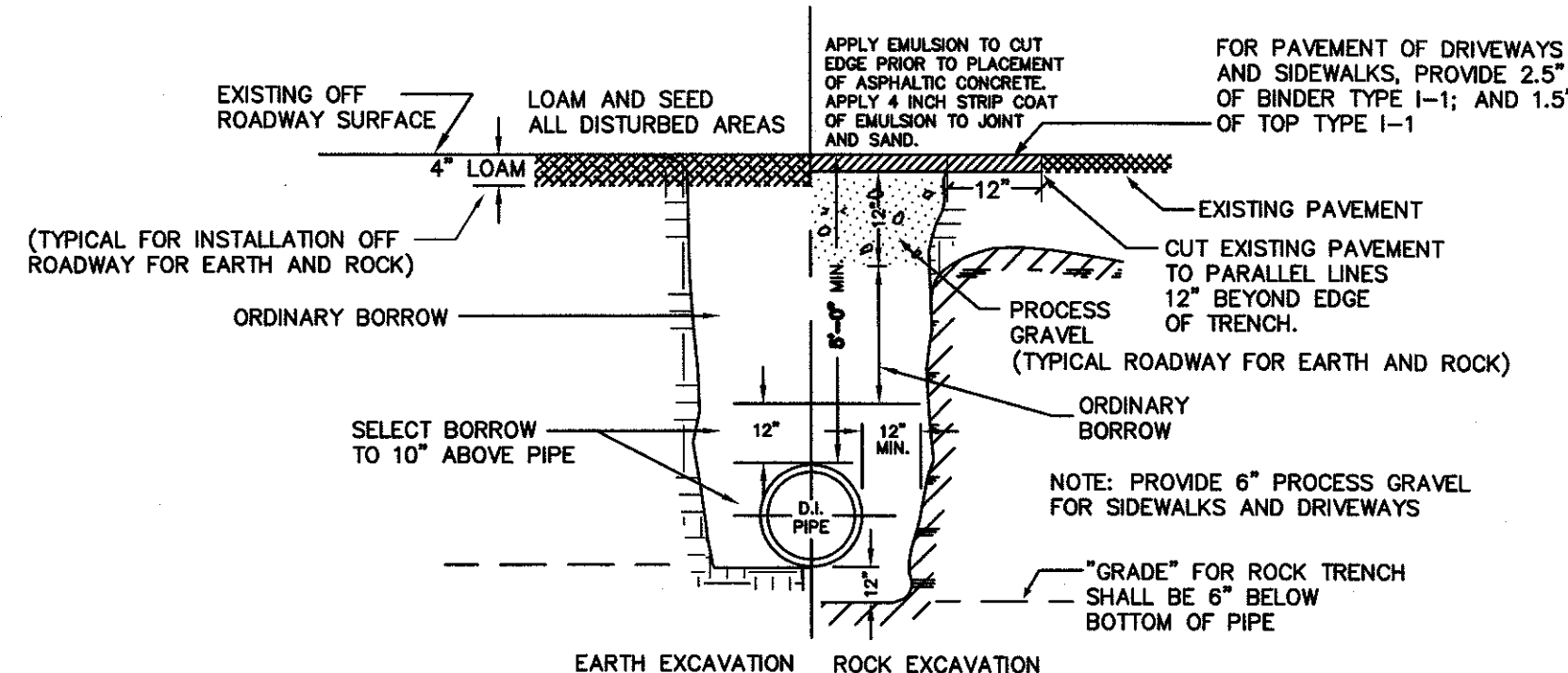
TAPPING SLEEVE & VALVE
MU TAPPING SLEEVE WITH MUELLER T-2360 (OR EQUIVALENT)
RESILIENT WEDGE TAPPING VALVE - MU x FL ENDS
OPEN LEFT

NOTE:
ALL MAIN LINE VALVES - (OPEN LEFT, NON RISING STEM)
SIZES 3" TO 12" - (GATE VALVES)
SIZES GREATER THAN 12" - (BUTTERFLY VALVES)

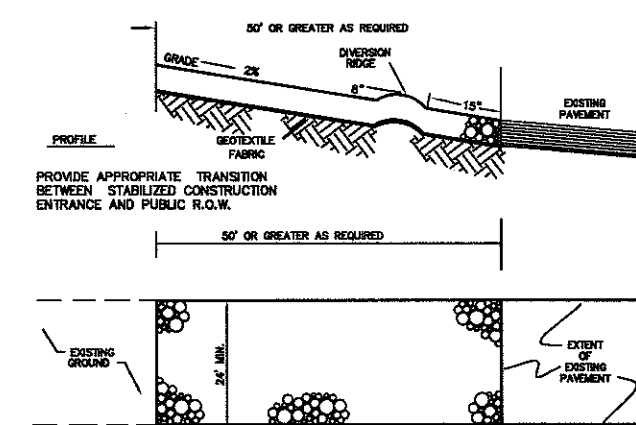
MUELLER - KENNEDY - DARLING - EPOXY COATED
MUELLER RESILIENT SEAT EPOXY COATED, AWWA APPROVED



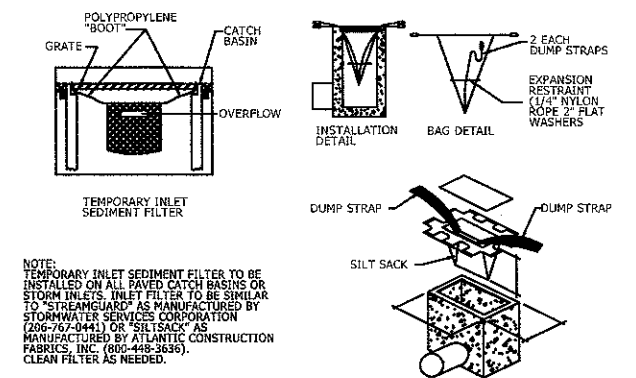
TYPICAL TRENCH RESURFACING
IN TOWN ROADS



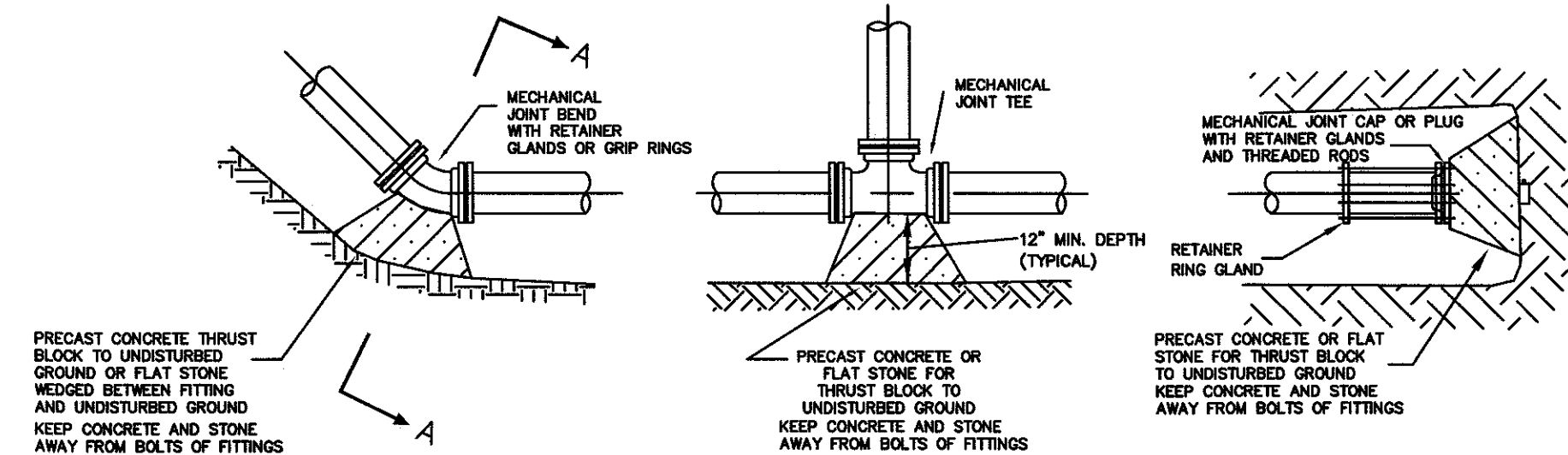
TYPICAL TRENCH SECTION
FOR DUCTILE IRON WATER MAINS



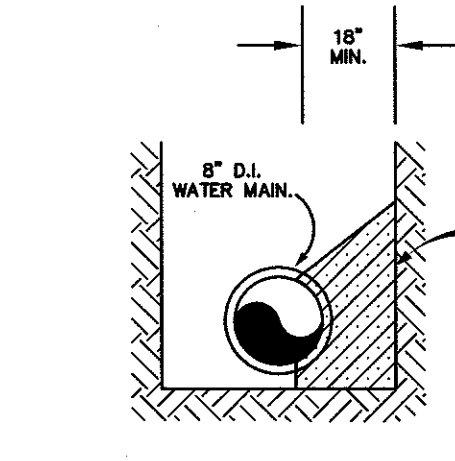
STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE



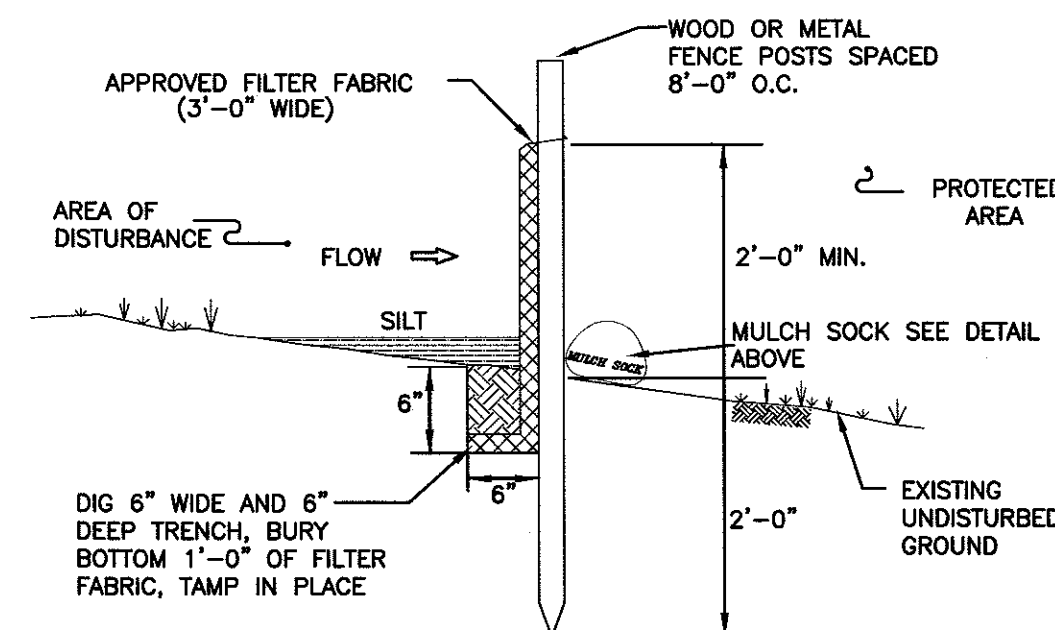
SILT SACK DETAIL
NTS



TYPICAL THRUST BLOCK DETAILS



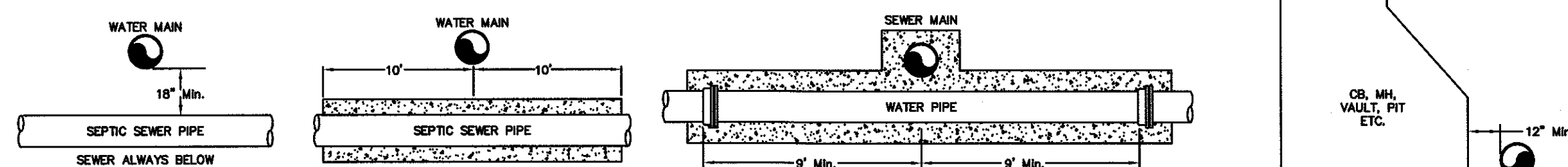
SECTION A-A
NOT TO SCALE



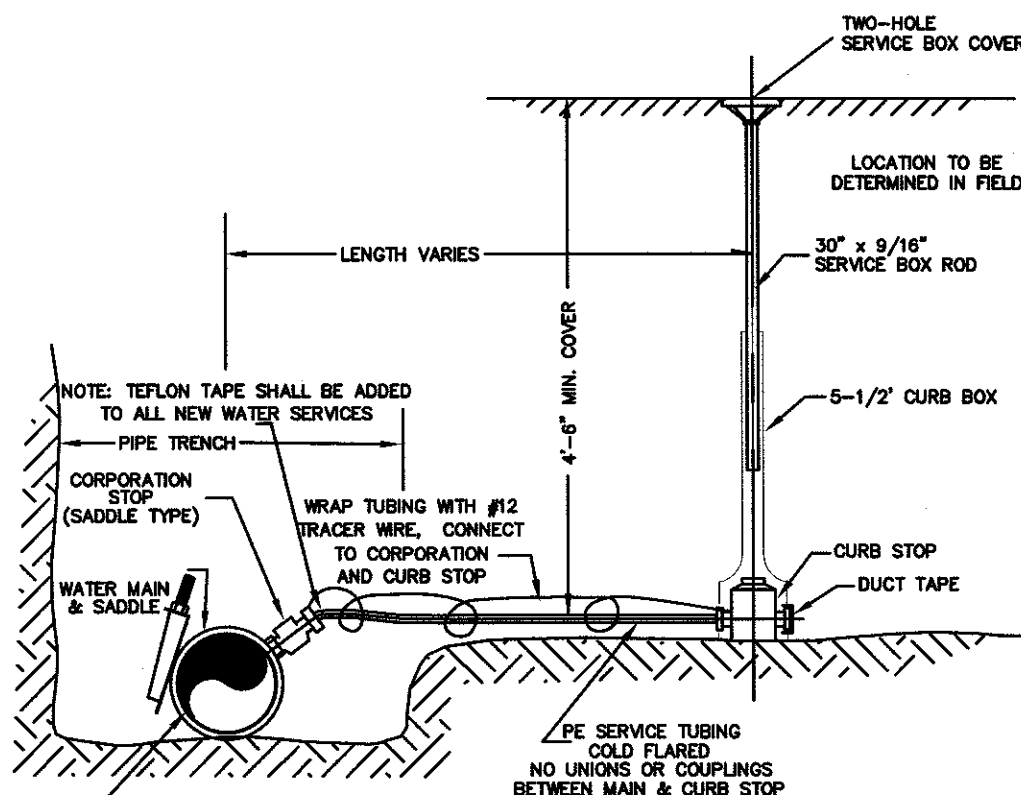
1. PLACE SILT FENCE AT LOCATIONS AS SHOWN ON THE GRADING AND DRAINAGE PLAN.
2. SILT FENCE SHALL BE INSTALLED SO WATER CANNOT BYPASS THE FENCE AROUND THE SIDES.
3. INSPECTION SHALL BE FREQUENT AND REPAIR OR REPLACEMENT SHALL BE MADE AS PROMPTLY AS POSSIBLE.
4. SILT FENCE SHALL REMAIN IN PLACE FOR THE DURATION OF THE PROJECT UNLESS OTHERWISE INSTRUCTED BY THE CONSERVATION COMMISSION.

SILT FENCE EROSION CONTROL

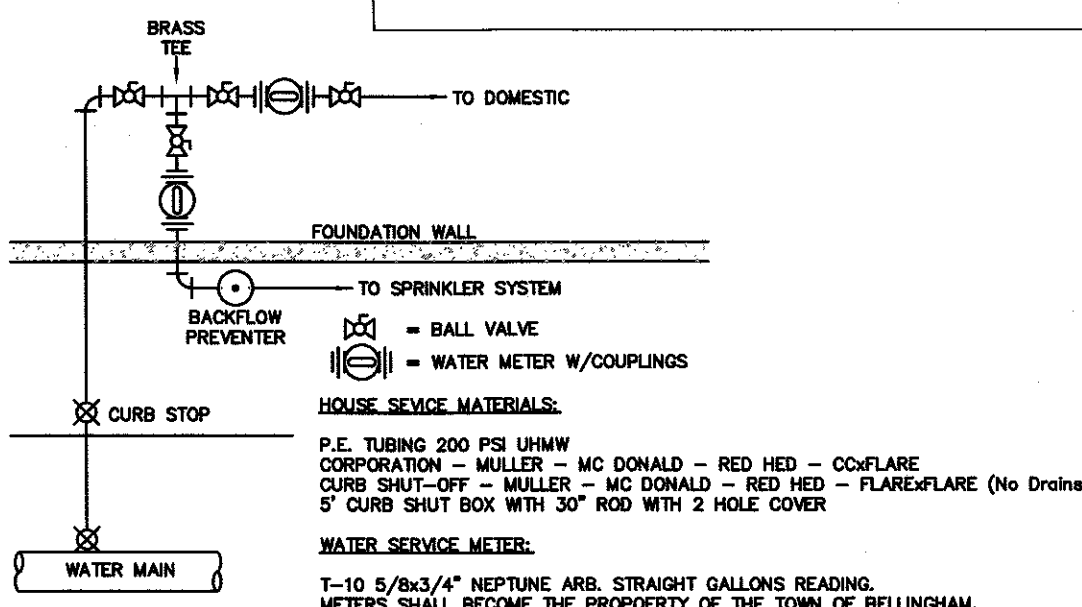
N.T.S.



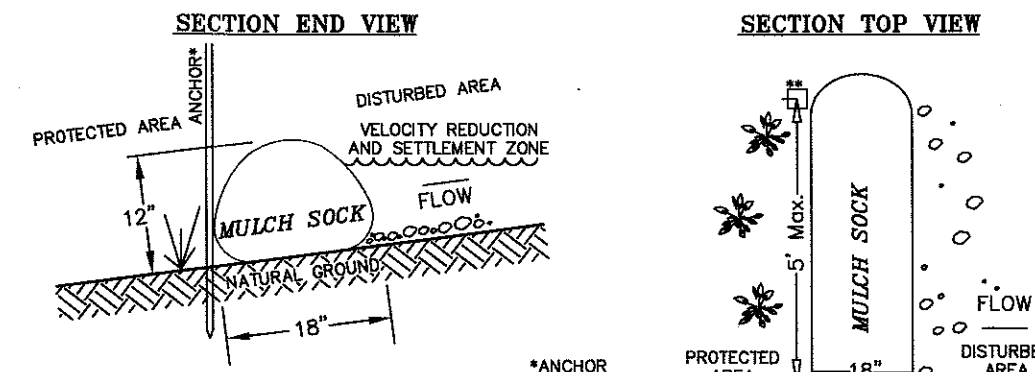
WATER / SEWER CROSSINGS



TYPICAL SERVICE CONNECTION



WATER SERVICE CONNECTION
WITH SECOND METER
(LAWN SPRINKLER SYSTEMS)



MULCH SOCK COMPONENTS:

OUTSIDE CASING: 100% organic hessian.
FILLER INGREDIENT: FiberWeb Mulch™
A blend of coarse and fine compost and shredded wood.
Particle sizes: 100% passing a 3" screen;
90-100% passing a 1" screen; 70-100%
passing a 0.75" screen; 30-75% passing
a 0.25" screen.
Weight: Approx. 850 lbs./cu.yd.
(Ave. 30 lbs./b.t.)

MULCH SOCK INSTALLATION:

With the newest technology and equipment,
sections can be constructed on site in
lengths from 1' to 100'.

Sections can also be delivered to the site
in lengths from 1' to 8'.

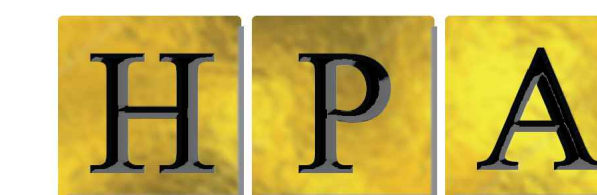
The flexibility of MULCH SOCK allows it to
conform to any contour or terrain while
holding a slightly oval shape at 12" high
by 18" wide.

Where section ends meet, there shall be
an overlap of 6" or greater. Both sides
shall be anchored (oak stakes, trees, etc.)
to stabilize the union. No additional
anchors are required on slopes less than
2:1. **Additional anchors are required at
section ends on the downslope or
upward slope on slopes greater than 2:1
to prevent movement.

MULCH SOCK DETAIL

NOT TO SCALE

FLOOR	LIVING SPACE
FIRST FLOOR	850 sf PER UNIT
SECOND FLOOR	1130 -1195 sf PER UNIT
EXTERIOR MATERIALS	
SIDING	CERTAINTEE CLAPBOARD
SHINGLE SIDING	CEDAR IMPRESSIONS
ROOF	CERTAINTEE LANDMARK FIBERGL
WINDOWS	HARVEY / VINYL W/66s, OR EQUAL
TRIM	VINYL & COIL STOCK
DOORS	THERMA-TRU, SMOOTH STAR SHAKE
GARAGE DOORS	CLOPAT, OR EQUAL



Design, Inc.

ARCHITECTS

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Milford, MA 01757
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(P) 508.384.8838
Contact@HPADesign.com

PROPOSED DESIGNS FOR:

RAVEN HOMES,
INC.

NORTH STREET &
BLACKSTONE STREET
BELLINGHAM, MA

A	1.3.23	ISS FOR BOARD REVIEW	

PROJECT #: 20220088

SEPTEMBER 12, 2022

DRAWN BY: JAR

CHECKED BY: HPA

SCALE: SEE DRAWING

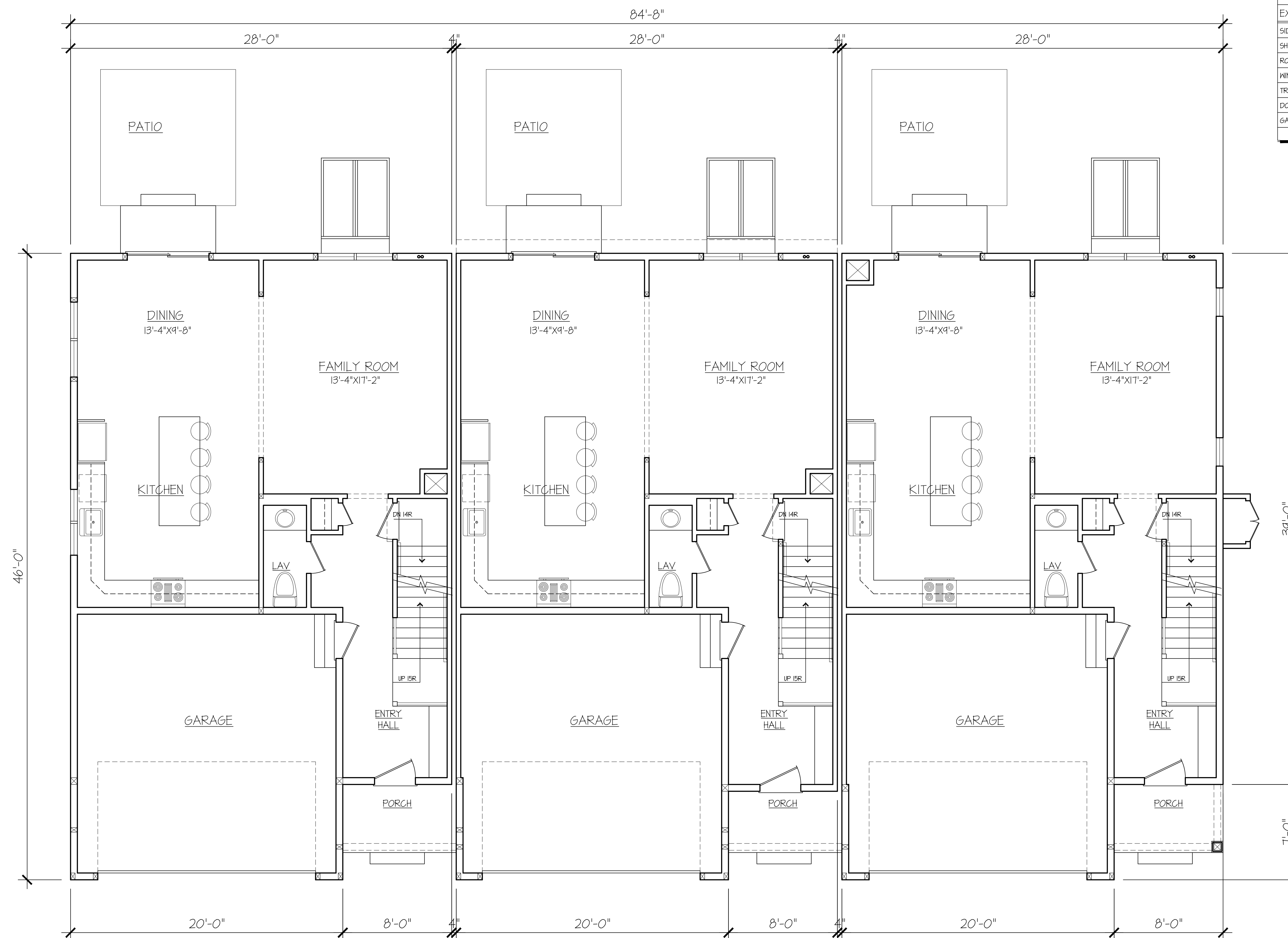
SHEET TITLE:

FIRST FLOOR PLAN

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11.1

Sheet 1 of 3



FIRST FLOOR PLAN

$$1/8'' = 1'$$



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BELLINGHAM, MA

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VISIONS:

PROJECT #: 20220088

SEPTEMBER 12, 2022

RAWN BY: JAR

HECKED BY: HPA

CALE: SEE DRAWING

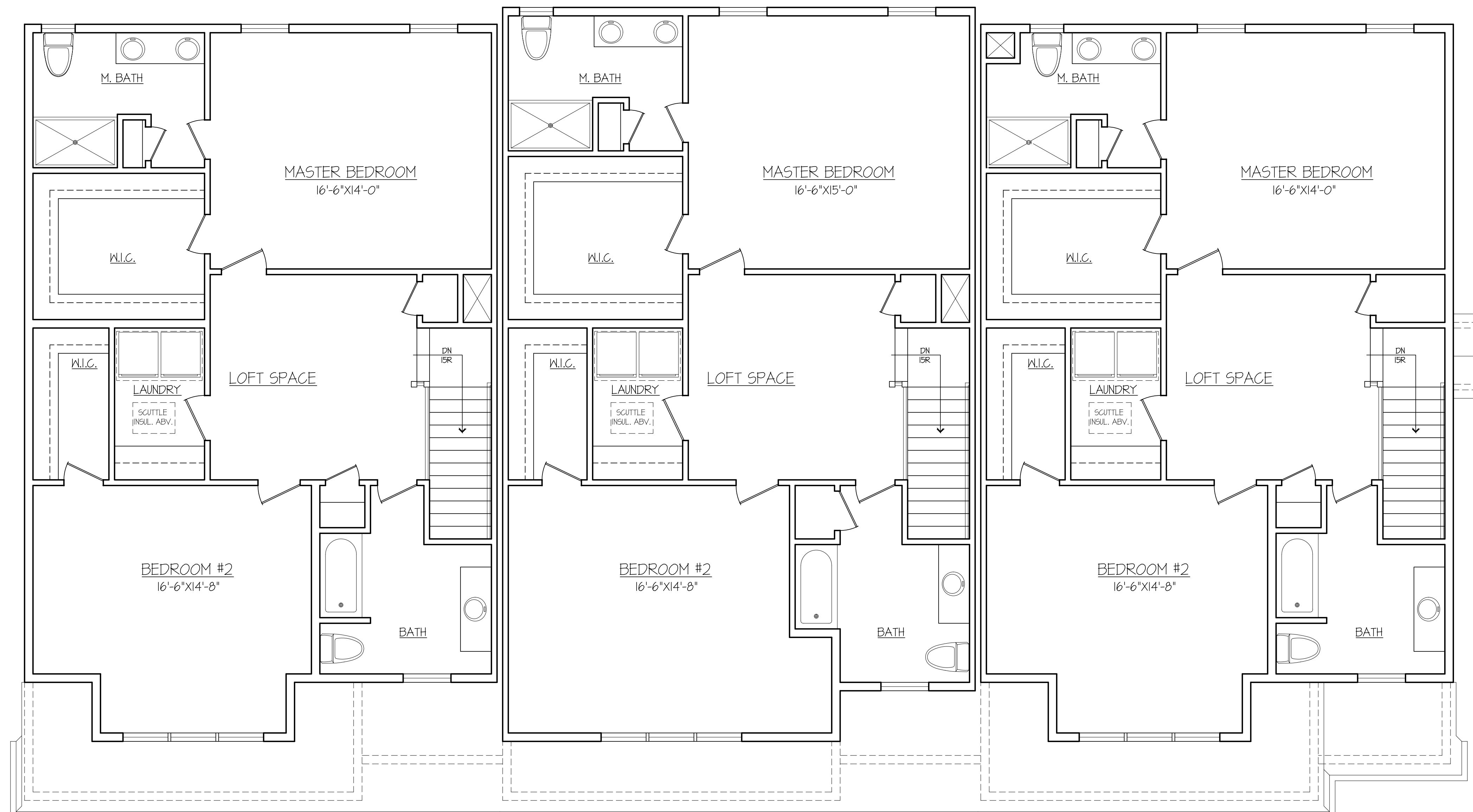
SHEET TITLE:

SECOND FLOOR PLAN

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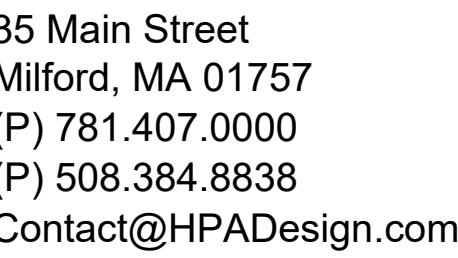
11.2

Sheet 2 of 3



SECOND FLOOR PLAN

$$1/8'' = 1'$$



RAVEN HOMES,
NC.

NORTH STREET &
BLACKSTONE STREET
BELLINGHAM, MA

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VISIONS:

PROJECT #: 20220088

SEPTEMBER 12, 2022

RAWN BY: JAR

HECKED BY: HPA

SCALE: SEE DRAWING

SHEET TITLE:

ELEVATION

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T1.5

Sheet 3 of 3



FRONT ELEVATION

A

$$1/4'' = 1'$$